

COUNCIL ASSESSMENT PANEL MEETING

13 January 2021

AGENDA – 9.1

Applicant: Rivergum Homes Pty Ltd	Landowner: D L Nottle & J L Nottle
Agent:	Originating Officer: Sarah Davenport
Development Application:	20/725/473
Application Description: Two storey detached dwelling, deck (maximum height 2.4m), retaining walls (maximum height 1m) & associated earthworks	
Subject Land: Lot:214 Sec: P85 FP:8131 CT:5117/63	General Location: 8 Itawara Place Bridgewater Attachment – Locality Plan
Development Plan Consolidated : 8 August 2019 Map AdHi/75	Zone/Policy Area: Country Living Zone - Country Living (Bridgewater) Policy Area
Form of Development: Merit	Site Area: 916m ²
Public Notice Category: Category 2 Merit	Representations Received: 1 Representations to be Heard: 1

1. EXECUTIVE SUMMARY

The purpose of this application is to replace the recently demolished Tudor style single storey dwelling with a new two storey weatherboard style dwelling.

The subject land is located within the Country Living Zone - Country Living (Bridgewater) Policy Area - and the proposal is a merit form of development. One representation was received in opposition from the neighbouring property to the South East. Initially the representation stated they did not wish to be heard, however, they have since changed their mind and now wish to address the panel with their concerns.

The new dwelling will comprise 3 bedrooms, 3 bathrooms (including ensuite), open plan combined kitchen and living area, 2 additional separate living areas, study and a balcony addressing the street. The dwelling will require retaining walls of up to 1m to retain cut, particularly in the North Western corner of the dwelling site. The land is serviced by mains sewer and potable water supply.

The dwelling is to be constructed using grey Duraplank and grey Colorbond.

As per the Council Assessment Panel (CAP) delegations, the CAP is the relevant authority for Category 2 applications where representors wish to be heard.

The main issues relating to the proposal are bulk and scale, siting and overshadowing.

In consideration of all the information presented, and following an assessment against the relevant zone and Council Wide provisions within the Development Plan, staff are recommending that the proposal be **GRANTED** Development Plan Consent, subject to conditions.

2. DESCRIPTION OF THE PROPOSAL

The proposal is for the following:

- Double storey detached dwelling comprising 3 bedrooms, 3 bathrooms, 2 living areas and study
- Deck – maximum height 2.4m from natural ground level
- Retaining walls – maximum height 1m

The proposed plans are included as **Attachment – Proposal Plans** with other information included as **Attachment – Application Information** and **Attachment – Applicant’s Professional Reports**.

3. BACKGROUND AND HISTORY

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
7 July 2020	20/665/473	Demolition of Existing Dwelling
11 May 1979	12521/129	Garage

4. REFERRAL RESPONSES

- **AHC Engineering**
Council’s engineer has review the proposed stormwater disposal method and has deemed that stormwater must be managed on site. A civil plan was submitted to Council on 21 December 2020 and incorporates a soakage trench to manage overflow from the development. Engineering are satisfied with the civil plan for the proposal but require all surface water to also discharge to the on-site soakage system.

The above responses are included as **Attachment – Referral Responses**.

5. CONSULTATION

The application was categorised as a Category 2 form of development in accordance with the procedural matters in the Country Living Zone requiring formal public notification. One representation was received in opposition to the proposed development and was submitted by an adjacent land owner. Initially the representor stated he did not wish to be heard, but he has since changed his position and now wishes to be heard. The hearing of the representation is at the discretion of the CAP.

The following representor wishes to be heard:

Name of Representor	Representor’s Property Address	Nominated Speaker
Mr Michael McGuire	31 First Avenue, Bridgewater	Himself

The applicants (or their representative – URPS) may be in attendance.

The issues contained in the representation can be briefly summarised as follows:

- Height of proposed dwelling
- Proximity of development in relation to property boundaries
- Perceived decline in property value

These issues are discussed in detail in the following sections of the report.

A copy of the submission is included as **Attachment – Representations** and the response is provided in **Attachment – Applicant’s Response to Representations**.

6. PLANNING & TECHNICAL CONSIDERATIONS

This application has been evaluated in accordance with the following matters:

i. The Site’s Physical Characteristics

The subject land is a 916m² rectangular allotment and has direct frontage to Itawara Place, a no-through council maintained road. The land is serviced by SA Water mains sewer and water supply. The allotment has a cross fall from North down to the South which is approximately 4m at the steepest point. The land falls a maximum of 1.5m in the building envelope. The proposal is mainly on a filled site with a section of cut at front of the dwelling to allow for the slope. There is existing vegetation on site but none which warrants removal as a result of the development.

ii. The Surrounding Area

Allotments within the streetscape and the Bridgewater Policy Area generally are of a similar configuration and size to the subject land measuring on average 1,000m² or less and have slopes of varying degrees. The streetscape is defined by reasonably vegetated rectangular allotments which follow a grid like street pattern. Dwellings within the locality generally originate from the 1970’s and 1980’s and are predominantly brick with tiled roofs. Dwellings in the locality are a mixture of single storey and double storey with some examples of more contemporary designs being introduced in recent times.

iii. Development Plan Policy considerations

a) Policy Area/Zone Provisions

The subject land lies within the Country Living Zone - Country Living (Bridgewater) Policy Area and these provisions seek:

- A residential zone primarily comprising of detached dwellings at very low densities, including affordable housing.
- Residential development sensitive to the particular topography of the area and which has minimal visual and environmental impacts.

The following are considered to be the relevant Policy Area provisions:

Objectives: 1

PDCs: 1, 2

The following are considered to be the relevant Zone provisions:

Objectives: 1, 2, 3

PDCs: 1, 6, 7, 11

Accordance with Zone

The Country Living Zone envisages primarily residential development at low densities and encourages the introduction of a variety of dwelling designs. New dwellings should be sympathetic to the topography of the land and the use of more contemporary building materials is supported. Two storey and split-level dwellings are envisaged, dependent on capacity to achieve setbacks and establish appropriate accesses. The proposal is to construct a new two storey detached dwelling, replacing a single storey detached dwelling and pursuant to Objective 1 and PDC 1 the development will not increase the density of development on the land. The proposed dwelling will utilise existing access from Itawara Place and the balance of cut and fill aligns with the zone's desired character statement and Objective 2 of the zone.

Whilst the design of the building is relatively simple, the use of Duraplank is considered appropriate for the peri urban setting. In accordance with PDC 7 the building setbacks from all property boundaries are in accordance with the numerical parameters for the Policy Area. Although the dwelling is two storey in nature, the design is relatively modest and has incorporated structural elements such as a verandah and deck to improve the articulation of the dwelling. In keeping with PDC 7, vegetated screening is to remain to maintain privacy and the location of the subject land on a dead end road and will not be readily visible from any arterial roads.

The proposal is considered to be consistent with the desired character statement and therefore accords with PDC 6 and Objective 3.

PDC 11 calls for two storey dwellings to inset the upper level to reduce visual bulk. The dwelling has not satisfied the policy as the dwelling walls are uniform the entire way around. As the dwelling has observed the setbacks for the policy area, in setting the upper level was not deemed essential to the development.

Appropriateness of Proposal in Locality

The Bridgewater Policy Area provisions are relatively brief, however the Desired Character Statement is quite clear on the intent for the area. Objective 1 and PDC 1 can be satisfied on the basis that the development accords with the Desired Character Statement.

The Bridgewater Policy Area specifically calls for a mixture of building designs, but envisages that designs maintain a modest scale. The Policy Area Desired Character Statement considers brick veneer dwellings to be typical in the locality with pre-coated steel pitched roofs, but this does not preclude other construction materials. The dwelling is considered to be a modest two storey detached dwelling. Whilst the dwelling is not proposed to be of brick veneer construction, it does include a front verandah and pre-colour coated metal pitched roof, in alignment with the

provisions of the Policy Area. The Duraplank cladding is considered acceptable due to the subject land's location at the end of a no-through road. It is not anticipated that the dwelling will detrimentally affect the amenity of the locality.

PDC 2 for the policy area designates the minimum setback requirements for new dwellings within the locality. The proposed development has satisfied the numerical parameters for the policy area.

b) Council Wide provisions

The following are considered to be the relevant Council Wide provisions:

Design and Appearance

Objectives: 1,

PDCs: 1, 2, 3, 5, 7, 9, 17, 18, 22

The proposed dwelling incorporates a hipped roof, Duraplank cladding and Colorbond roofing and has incorporated a mixture of window dimensions to improve articulation and break up the bulk of the building, pursuant to PDC 22. The proposed colours and materials schedule indicates the proposed dwelling will be finished in light grey coloured tones, in accordance with PDC 3. The proposed design is deemed to address Objective 1 and PDC 1 with regard to design and appropriateness of colour selection. The proposed dwelling is quite similar to a number of dwellings on adjacent First Street both in terms of size, design and materials. The proposed height of the dwelling is considered to be in keeping with the prevailing character in the neighbouring street and in alignment with PDC 1(a).

PDCs 7 and 17 call for development which will not encroach on neighbouring properties' access to sunlight. The proposed dwelling has been set back from front and side boundaries in accordance with the provisions for the Policy Area. Shadow diagrams were submitted as part of a response to the representation. As the drawings show, the dwelling will not overshadow the representor's private open space at any time on 21 June, however overshadowing of the building will occur between 12pm and 3pm on 21 June. Thus, in the extreme winter solstice there will be some overshadowing of the adjoining dwelling but as a minimum two hours of solar access will still be available it is considered the proposal will not create unreasonable overshadowing. As the response from URPS correctly acknowledges, the neighbouring dwelling does not have solar panels that would be affected by any overshadowing. The majority of the overshadowing will take place within the bounds of the subject land.

As previously addressed in the report, and in alignment with PDC 9, the development will not warrant substantial earthworks or retaining. An effort has been made to ensure the development is cut into the land to reduce the visual impact of the dwelling, and mirrors the footprint of the existing dwelling.

PDC 18 calls for new buildings to avoid overlooking via generous building setbacks, siting of balconies and landscape screening. The proposal has incorporated obscure glazing on the South Eastern side of the dwelling to the upper level wet areas to avoid any intrusion on privacy, and high level windows will be installed on the North Western side to prevent any overlooking. Furthermore, fixed screening has been incorporated with the balcony component in accordance with PDC 5. The front balcony will assist with passive surveillance of the streetscape. Whilst privacy concerns were not raised in the initial representation, the design addresses the policy intent as outlined in PDC 18.

Hazards

Objectives: 2, 4, 5

PDCs: 1, 2, 6, 7, 8, 9

The subject land is located in the medium bushfire risk area and proposed development is required to comply with the Minister's Code: Undertaking Development in Bushfire Protection Areas, in accordance with Objective 2, PDCs 1, 2, 6 and 7. PDCs 8 and 9 call for development which is located away from unacceptable fire risk and which has adequate access and water supply for fire-fighting purposes. The Minister's Code requires a minimum of 2,000L to be retained for fire-fighting purposes and the proposal includes a tank on the South Eastern side of the dwelling. The land has a slight incline and is not overly vegetated. The proposed dwelling is sited less than 30m from the road at the furthest point of the dwelling, and negates the need to have a CFS truck manouvering area on site.

It is considered that the proposal has satisfied the Minister's Code requirements.

Residential Development

Objectives: 1, 2, 4

PDCs: 1, 2, 3, 5, 7, 8, 9, 10

In accordance with Residential Development Objectives 1, 2 and 4 and PDCs 1 and 2, the proposed dwelling will be located on a SA Water serviced site and will utilize a contemporary design, including a variety of materials. The proposal incorporates fenestration of varying dimensions and a balcony providing interest in the presentation to the street. The Northern aspect of the proposal provides for appropriate access to solar light and the plans have also indicated that solar panels are to be roof mounted on the most north facing side of the dwelling. The development is considered to adequately address PDCs 8, 9 and 10.

In alignment with PDCs 5 and 7, the subject land is connected to SA Water infrastructure. Whilst there is Council stormwater infrastructure within the road reserve, the topography of the land and distance between the closest pipe to the subject land will prevent the development from being able to discharge to the system. Subsequently, Council's engineers have requested that stormwater be managed on site. Accordingly, the new dwelling will capture stormwater in a rainwater tank and direct any overflow to a soakage trench which is to be sited in the south-western corner of the allotment. A condition is recommended requiring the

stormwater management system to be constructed and connected to the approved soakage trench (refer to recommended Condition 7).

7. SUMMARY & CONCLUSION

The purpose of this application is to replace the previously existing single storey dwelling with a two storey weatherboard style dwelling.

The subject land is located within the Country Living Zone - Country Living (Bridgewater) Policy Area and the proposal is a merit form of development. One representation was received in opposition from the neighbouring dwelling to the South East.

The dwelling will require retaining walls of up to 1m to retain cut and will not warrant substantial earthworks.

The dwelling is to be constructed using grey Duraplank and grey Colorbond, similar to existing dwellings on First Avenue. Whilst the new dwelling is two storey, the proposal has addressed the zone and general policy provisions relating to double storey dwellings, building setbacks, and overlooking impacts. Stormwater will be managed on-site via a soakage trench system.

The proposal is sufficiently consistent with the relevant provisions of the Development Plan, and it is considered the proposal is not seriously at variance with the Development Plan. In the view of staff, the proposal has sufficient merit to warrant consent. Staff therefore recommend that Development Plan Consent be **GRANTED**, subject to conditions.

8. RECOMMENDATION

That the Council Assessment Panel considers that the proposal is not seriously at variance with the relevant provisions of the Adelaide Hills Council Development Plan, and GRANTS Development Plan Consent to Development Application 20/725/473 by Rivergum Homes Pty Ltd for two storey detached dwelling, deck (maximum height 2.4m), retaining walls (maximum height 1m) & associated earthworks at 8 Itawara Place Bridgewater subject to the following conditions:

(1) Development In Accordance With The Plans

The development herein approved shall be undertaken in accordance with the following plans, details and written submissions accompanying the application, unless varied by a separate condition:

- Site Plan, prepared by Rivergum Homes, issue 3, sheet 2 of 9 received by Council 17 July 2020
- Siteworks Civil Plan, prepared by RCI Consulting, Issue B, sheet 1 of 1, dated 31 August 2020, and On-site Retention of Stormwater Details received by Council 21 December 2020
- Lower Floor Plan, prepared by Rivergum Homes, issue 3, sheet 3 of 9 received by Council 17 July 2020
- Upper Floor Plan, prepared by Rivergum Homes, issue 3, sheet 4 of 9 received by Council 17 July 2020
- Elevations, prepared by Rivergum Homes, issue 3, sheet 5 of 9 received by Council 17 July 2020

- **Colours and Materials Schedule prepared by Rivergum Homes, received by Council 17 July 2020**

REASON: To ensure the proposed development is undertaken in accordance with the approved plans.

(2) External Finishes

The external finishes to the building herein approved shall be as follows:

WALLS: Greyology 2 or similar
ROOF: Gull Grey or similar

REASON: The external materials of buildings should have surfaces which are of a low light-reflective nature and blend with the natural rural landscape and minimise visual intrusion

(3) Residential Lighting

All external lighting shall be directed away from residential development and, shielded if necessary to prevent light spill causing nuisance to the occupiers of those residential properties.

REASON: Lighting shall not detrimentally affect the residential amenity of the locality.

(4) Decking/Balcony Screening

The front balcony of the dwelling shall be fitted with fixed screening prior to occupation as shown on Elevation Plan 2 and 4, prepared by Rivergum Homes, received by Council 17 July 2020 to a minimum height of 1.5 metres above balcony floor level. The screening shall be maintained in good condition at all times.

REASON: Buildings should be designed to not cause potential for overlooking of adjoining properties.

(5) Obscure Glazing To Windows

The south eastern upper level windows of the dwelling shall be glazed with fixed obscure glass to a minimum height of 1.5 metres above finished floor level. The glazing in these windows shall be maintained in good condition at all times.

REASON: Buildings should be designed to not cause potential for overlooking of adjoining properties.

(6) Fire-fighting Water Supply - Mains Water Supply Available

A supply of water independent of reticulated mains supply shall be available at all times for fire-fighting purposes:

- a minimum supply of 2,000 (two thousand) litres of water shall be available for fighting purposes at all times; and
- the water supply shall be located such that it provides the required water; and
- the water supply shall be fitted with domestic fittings (standard household taps that enable an occupier to access a supply of water with domestic hoses or buckets for extinguishing minor fires); and

- the water supply outlet shall be located at least 400mm above ground level for a distance of 200mm either side of the outlet; and
- a water storage facility connected to mains water shall have an automatic float switch to maintain full capacity; and
- where the water storage facility is an above-ground water tank, the tank (including any support structure) shall be constructed of non-combustible material.

REASON: To minimise the threat and impact of fire on life and property as your property is located in a MEDIUM Bushfire Prone Area

(7) Stormwater Management

- (i) All roof runoff and surface run-off generated by the development hereby approved shall be managed on-site in accordance with the civil design to prevent trespass onto adjoining properties and to the satisfaction of Council.
- (ii) The stormwater management system show be constructed and connected to the approved soakage trench (including overflow from rainwater tanks) within one month of occupation of the dwelling.

REASON: To minimise erosion, protect the environment and to ensure no ponding of stormwater resulting from development occurs on adjacent sites.

(8) Soil Erosion Control

Prior to construction of the approved development straw bales (or other soil erosion control methods as approved by Council) shall be placed and secured below areas of excavation and fill to prevent soil moving off the site during periods of rainfall.

REASON: Development should prevent erosion and stormwater pollution before, during and after construction.

NOTES

(1) Development Plan Consent Expiry

This Development Plan Consent (DPC) is valid for a period of 2 years commencing from the date of the decision (or if an appeal has been commenced the date on which it is determined, whichever is later). Building Rules Consent must be applied for prior to the expiry of the DPC, or a fresh development application will be required. The 2 time period may be further extended by Council agreement following written request and payment of the relevant fee.

(2) Erosion Control During Construction

Management of the property during construction shall be undertaken in such a manner as to prevent denudation, erosion or pollution of the environment.

(3) EPA Environmental Duty

The applicant is reminded of his/her general environmental duty, as required by Section 25 of the Environment Protection Act 1993, to take all reasonable and practical measures to ensure that the activities on the whole site, including during construction, do not pollute the environment in a way which causes, or may cause, environmental harm.

(4) Sewer Connection

The dwelling shall be connected to SA Water mains sewer supply. All work shall be to the satisfaction of SA Water.

(5) Works On Boundary

The development herein approved involves work on the boundary. The onus of ensuring development is in the approved position on the correct allotment is the responsibility of the land owner/applicant. This may necessitate a survey being carried out by a licensed land surveyor prior to the work commencing.

9. ATTACHMENTS

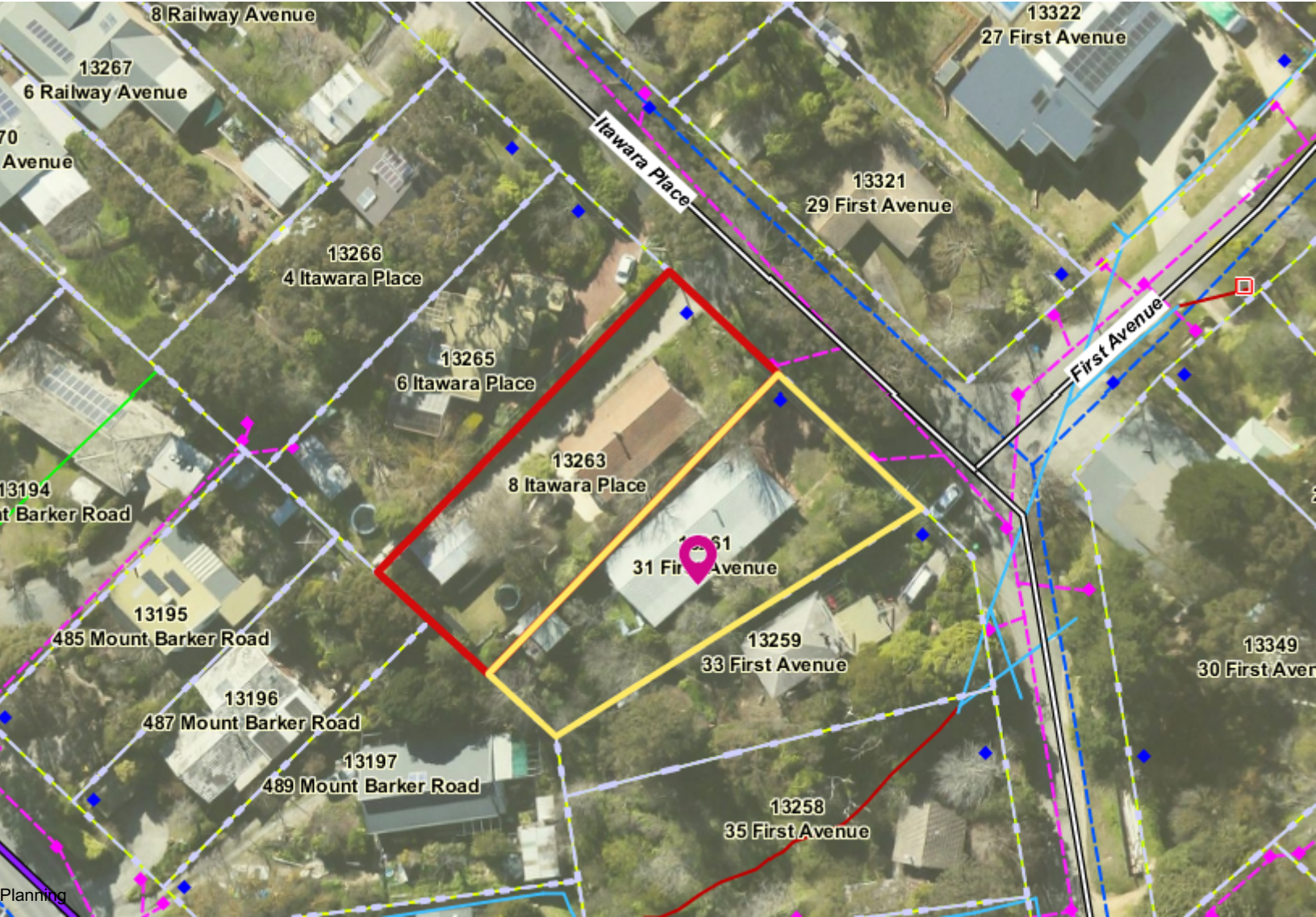
Locality Plan
Proposal Plans
Application Information
Applicant's Professional Reports
Referral Responses
Representation
Applicant's response to representations

Respectfully submitted

Concurrence

Sarah Davenport
Statutory Planner

Deryn Atkinson
Assessment Manager



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employees and servants expressly disclaim all liability or responsibility to any person using the information or advice contained herein. ©

Scale = 1:752.220

20 m



Annotations

- Representor
- Subject Land

Planners Summary

- PlanningSummary

AHC Core

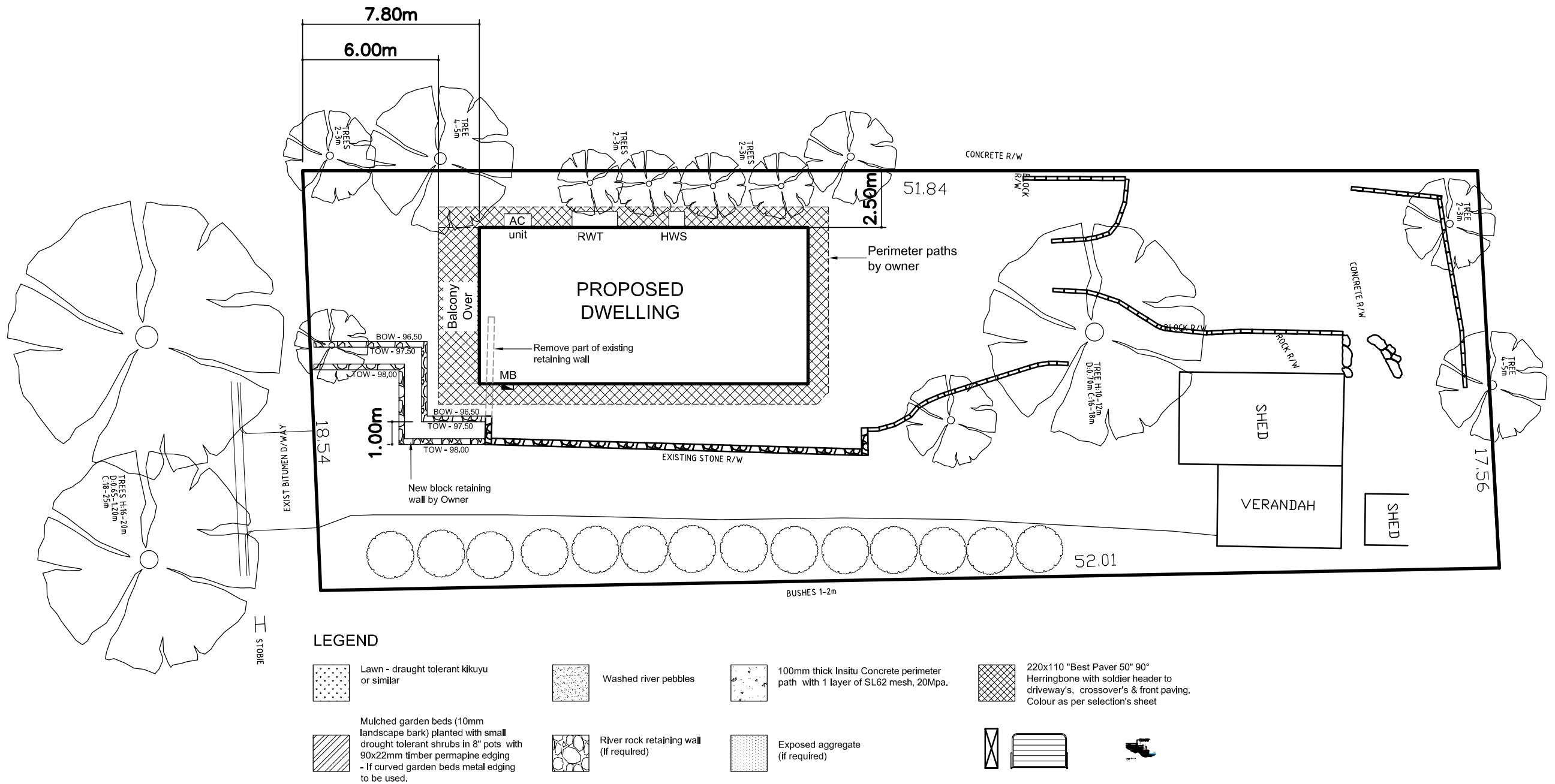
- RoadsStreetView
 - ADJOINING LGA RD
 - AHC & PRIVATE
 - AHC RD
 - DPTI RD
 - PRIVATE RD
 - SHARED RD

- PropertyOwner
- Parcels
- Roads
- AHC LGA
- Rivers
 - River
 - Creeks
 - Streams

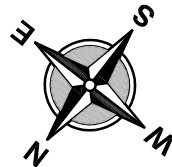
Stormwater Updated

- StormwaterPipesQAd
- PRIVATE_DrivewayPits
- PRIVATE_DrivewayPipes
- DPTI_Pits
- DPTI_Pipes

ITAWARRA PLACE



NOTE: These drawings must be read in conjunction with engineer's civil and drawings for FFL's, PL's and retaining wall extent and details



THIS PLAN SHALL NOT BE TAKEN AS A CADASTRAL OR IDENTIFICATION SURVEY. BOUNDARY DATA SHOWN IS TO BE TAKEN AS A GUIDE ONLY. IF REQUIRED, EXACT RESIDENCE LOCATION AND BOUNDARY LENGTHS TO BE ESTABLISHED BY QUALIFIED CONSULTANT

ADELAIDE HILLS COUNCIL
RECEIVED 17/07/2020

WORKING DRAWINGS
PLEASE SIGN HERE:
DATE:

DESIGN Palais Traditional		SHEET TITLE Site Plan	<div>rivergum homes</div> <div>387 - 391 South Rd, MILE END SOUTH SA 5031 Phone: (08) 8354 7800 Fax: (08) 8234 6099 A.B.N. 70 065 466 337 B.Lic. BLD 113681</div> <div>Web: rivergumhomes.com.au</div>	Ground Floor Living	100.05	PROPOSED RESIDENCE FOR: J. & D. Nottle Lot 214 Itawarra Place Bridgewater	SCALE	1: 200
AMENDMENT		DATE		First Floor Living	100.05		SHEET NO.	2 of 9
Contract Plans (BSI-KAS)		05.06.20		Porch	12.42	JOB NO.	19125	
Working Drawings (BSI-) (CH - HT)		18.06.20		Balcony	12.42	DRAWN	JD/BSI	
AMENDMENT: Re-locate house 500mm to the LHS (HT)		1.07.20				DATE	1.07.20	
				Total	224.94	ISSUE NO.	3	
				THE STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT EDITION OF NATIONAL CONSTRUCTION CODE. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DRAWINGS. WHERE SITE CONDITIONS DO NOT REFLECT THE INTENT SHOWN IN THE DRAWINGS OR WHERE SITE MEASUREMENTS CONFLICT WITH DIMENSIONS, LEVELS OR NOTATION SHOWN SEEK CLARIFICATION BEFORE COMMENCEMENT. THIS PLANS REMAINS THE EXCLUSIVE PROPERTY OF RIVERGUM HOMES AND ARE PROTECTED BY COPYRIGHT LAWS. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT WHETHER IT BE IN PART OR IN FULL, UNLESS WRITTEN PERMISSION IS GIVEN.				

NOTES:

ANY SURPLUS SPOIL FROM SITEWORKS IS THE OWNERS RESPONSIBILITY AND SHOULD BE REMOVED OR DISPERSED AS APPROPRIATE, UNLESS STATED OTHERWISE IN THE BUILDING CONTRACT. THIS SPOIL SHOULD BE STOCKPILED SUCH THAT IT DOES NOT OBSTRUCT SITE ACCESS AND CAN BE EASILY REMOVED FROM THE SITE.

ANY RETAINING WALLS SHOWN ON THIS PLAN ARE TO BE CONSTRUCTED BY THE OWNER EXCEPT WHERE THE RETAINING WALL FORMS PART OF THE BUILDING STRUCTURE OR WHERE SPECIFIED OTHERWISE WITHIN THE BUILDING CONTRACT.

RETAINING WALLS ADJACENT EXCAVATIONS, A SERVICE TRENCH/EASEMENT (PROPOSED OR EXISTING) OR IF FOUND IN FILL SHOULD HAVE AN UNDERMINING COMPONENT INCORPORATED IN THE DESIGN OF THEIR FOOTING/PIER SUPPORT SYSTEM.

OWNER TO RETAIN ANY MINOR CUT/FILL ON THE BOUNDARIES WITH A CONCRETE PLINTH, SLEEPER OR SIMILAR.

--- : STORMWATER DRAIN PIPES UNDER GRAVITY FLOW USED TO CONNECT SURFACE STORMWATER DRAIN PIPES & ALL DP's TO THE SOAKAGE TRENCH.

☐ : SOAKAGE TRENCH (REFER TO THE ATTACHED CALCS AND DETAIL SHEET)

ENSURE GRAVITY FLOW PIPES MAINTAIN SUFFICIENT GRADE TO MEET THE APPROPRIATE OUTLET AS SHOWN ON THIS PLAN. CONSTRUCT ANY SEALED SYSTEM PIPES SUCH THAT THEY DO NOT INTERFERE WITH THE GRAVITY FLOW SYSTEM.

WHERE GRATED SURFACE STORMWATER SUMPS ARE USED GRADE SOIL/PAVING IN TOWARDS SUMPS IN ACCORDANCE WITH THE "BENCH" NOTES ON THIS PAGE. ALTERNATIVELY CONSTRUCT LINED SPOON DRAINS WITH 0.30% GRADIENT AS PER THE DETAILS ON ATTACHMENT SHEET PD1.

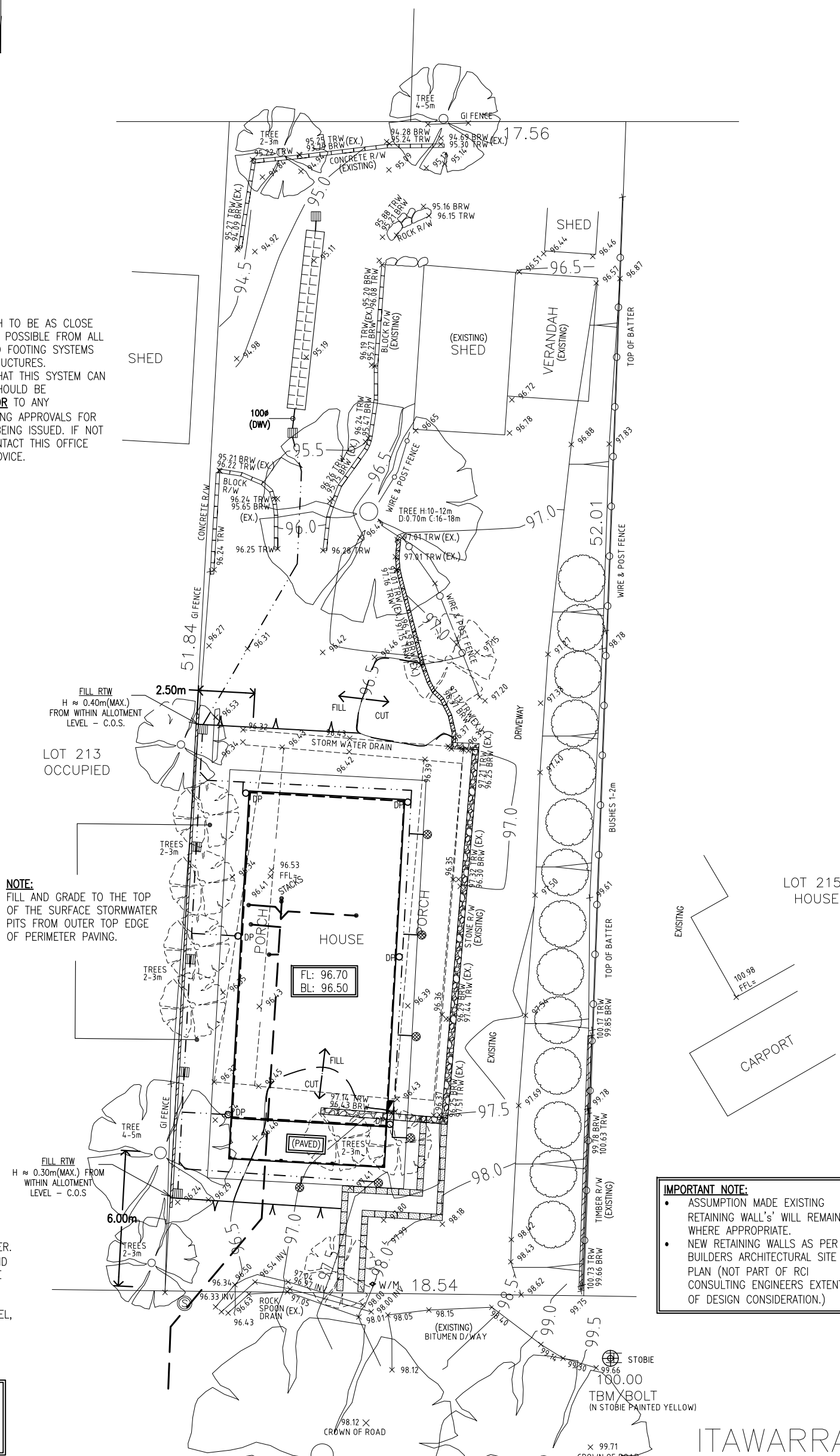
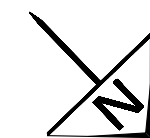
SUMP SIZES AND QUANTITY SHOWN ARE RECOMMENDED AS A MINIMUM. LOCATIONS AND SIZES MAY BE ALTERED AT THE DRAIN AND PAVING CONTRACTORS DISCRETION DEPENDING ON AREAS THEY SERVICE AND PAVEMENT TYPE USED.

NOTE:
DOWNPIPE LOCATIONS AS PER THE ARCHITECTURAL DRAWINGS. TO BE CONFIRMED BY THE BUILDER/BUILDING DESIGNER/ROOF PLUMBER (NOT PART OF RCI CONSULTING ENGINEERS EXTENT OF DESIGN CONSIDERATION).

KEY	
TK	TOP OF KERB
WT	WATER TABLE
BL	BENCH LEVEL
FL	FLOOR (POURED) LEVEL
C.O.S	CHECK ON SITE
(EX)	EXISTING
NEW STONE	NEW STONE RETAINING WALL
CONCRETE SLEEPER	CONCRETE SLEEPER RETAINING WALL
RWT	RAINWATER TANK
DPO	DOWNPIPE
METER BOX	METER BOX

NOTE:
SIP WAS NOT LOCATED DURING THE LEVEL CONTOUR SURVEY, BUT APPROXIMATE LOCATION HAS BEEN SUPPLIED BY SA WATER. BUILDER/BUILDERS PLUMBER TO CHECK AND CONFIRM LOCATION AND THAT FALL CAN BE ACHIEVED PRIOR TO COMMENCEMENT OF EARTHWORKS. WHERE FALL CAN NOT BE ACHIEVED WITH THE PROPOSED FLOOR LEVEL, CONTACT THIS OFFICE IMMEDIATELY FOR REVISED LEVELS.

NOTE:
REFER TO THE CSIRO DOCUMENT FOR THE EXTENT OF IMPERMEABLE TYPE PAVING RECOMMENDED TO BE PLACED AROUND THE PERIMETER OF A DWELLING



IMPORTANT NOTE:

- ASSUMPTION MADE EXISTING RETAINING WALLS' WILL REMAIN WHERE APPROPRIATE.
- NEW RETAINING WALLS AS PER BUILDERS ARCHITECTURAL SITE PLAN (NOT PART OF RCI CONSULTING ENGINEERS EXTENT OF DESIGN CONSIDERATION.)

SURVEY LEGEND

⊕	TEMPORARY BENCH MARK	★	LIGHT POLE	☐	SAPN
Ⓜ	MAN HOLE	⊙	SEWER IP	□	TELSTRA
🌳	TREE	■	PEG	▣	PSM
⊗	WATER METER	⊙	METAL PIN	----	FENCE
⊥	STOBIE	⊗	STAKE	---	SWO STORMWATER OUTLET
---	TRW TOP OF RETAINING WALL				
---	BRW BTM OF RETAINING WALL				

TREE DIMENSIONS
H= HEIGHT
D= TRUNK DIAMETER
C= SPREAD OF CANOPY

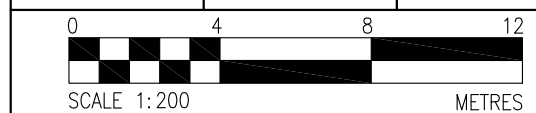
TITLE: SITEWORKS PLAN

ADDRESS: LOT 214 ITAWARRA PLACE
BRIDGEWATER

CLIENT: RIVERGUM HOMES GROUP
REF: 19125 – NOTTLE

Residential Commercial Industrial Consulting Engineers
A.B.N. 17 131 375 356
1 Hawke Street
ALBERT PARK, SA 5014
P (08) 8241 2326
F (08) 8241 2409
admin@rciconsulting.com.au
www.rciconsulting.com.au

JOB No. C28772
SHEET No. 1 of 1
ISSUE No. B
DRAWN : J.H. DESIGN: D.A. DATE: 19-Mar-20



No.	REVISION	BY	DATE
A	NEW DRAWINGS – DWELLING LOCATION, EXTENT OF RETAINING	J.H.	14.07.20
B	BUILDERS REQUEST – TANK REMOVED	J.H.	31.08.20

GENERAL NOTES:
SITEWORKS & STORMWATER DRAINAGE TO BE CONSTRUCTED BY THE OWNER OR THE OWNERS REPRESENTATIVE (IE. THE BUILDER WHERE STATED WITHIN THE BUILDING CONTRACT). THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH THE FINISHED CONSTRUCTION REPORT & ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THIS OFFICE IMMEDIATELY PRIOR TO WORKS PROCEEDING.

SOIL CLASSIFICATION: S/M-D
• 10mm THICK LAGGING AROUND STORMWATER AND SEWER DRAIN PENETRATIONS THROUGH EXTERNAL FOOTINGS
• FLEXIBLE CONNECTIONS IN SEWER & STORMWATER DRAINS NOT REQUIRED

BENCH:
BUILDING AREA TO BE BENCHED TO 200mm BELOW THE FINISHED FLOOR LEVEL.
GRADE SITE AWAY FROM HOUSE AS FOLLOWS:–
• GRADE PAVED AREAS 25mm IN 1000mm
• GRADE GRASSED AREAS 5mm IN 1000mm

IMPORTANT NOTE:
TO ASSIST IN AVOIDING A "DOWNHILL" MOVEMENT OF FILL ONCE IT HAS BEEN PLACED, A SERIES OF HORIZONTAL BENCHED PLATFORMS SHOULD BE EXCAVATED INTO THE GROUND WHEN THE EXISTING SLOPE IS 1 IN 8 OR GREATER. THIS BENCHING SHOULD BE UNDERTAKEN OVER THE ENTIRE AREA WHERE FILLING IS TO OCCUR.

SEWER:
THIS SEWER DESIGN IS BASED ON THE SHORTEST POSSIBLE RUN. BUILDER/PLUMBER TO CONFIRM SEWER CONNECTION INVERT LEVEL AND ASSUMED LAYOUT PROVIDED ON THIS DRAWING. CONTACT THIS OFFICE IMMEDIATELY IF ANY DISCREPANCIES EXIST AS THE FLOOR LEVEL AND/OR UNDERMINING PIER DEPTHS MAY NEED TO BE REVISED. TOP OF FLOOD GULLY AND PAVING AROUND FLOOD GULLY TO BE CONSTRUCTED 150mm BELOW THE LOWEST FIXTURE CONNECTED TO THE DRAIN.

STORMWATER:
GRAVITY FLOW STORMWATER SYSTEM IS TO BE LAID @ 1 IN 250 MIN GRADE WITH 100mm MIN COVER EXCEPT AS NOTED BELOW UNDERSIDE OF PAVING:–

- 50mm (SUBJECT TO PEDESTRIAN TRAFFIC)
 - 100mm (SUBJECT TO LIGHT VEHICULAR TRAFFIC)
 - 450mm (UNPAVED DRIVEWAYS)
- WHERE COVER CANNOT BE ACHIEVED ENCASE DRAIN PIPE WITHIN A CHS GALV. STEEL SLEEVE OF THICKNESS:
- 3.0mm (SUBJECT TO PEDESTRIAN TRAFFIC)
 - 5.0mm (SUBJECT TO LIGHT VEHICULAR TRAFFIC)

SURVEY:
THIS IS NOT A BOUNDARY SURVEY. THEREFORE THE RELATIONSHIP BETWEEN OCCUPATION AND THE PLOTTED BOUNDARY IS INDICATIVE. LEVELS ARE BASED ON A TEMPORARY DATUM (UNO). THE DATUM (SHOWN ON THIS PLAN) IS TO BE LOCATED PRIOR TO COMMENCING SITEWORKS.

DESIGN LEGEND

☐	300 SQUARE x DEPTH TO SUIT RAINWATER PIT (PVC) OR SIMILAR (U.N.O.)
⊗	GRADED SURFACE STORMWATER DRAIN 90# (U.N.O.)
---	STORMWATER PIPE (GRAVITY FLOW) – 90# PVC (U.N.O.) AT 1 IN 250 (0.40%) MIN FALL (U.N.O.) EXCEPT ON SEALED SYSTEM
---	STORMWATER PIPE (SEALED SYSTEM) – 90# PVC (U.N.O.)
---	90# AGRIC DRAIN (U.N.O.)
⬅	INTERNAL SEWER DRAIN LOCATION (TO BE CONFIRMED BY BUILDER)
---	SEWER PIPE 100# AT 1.65% MIN (1 IN 60)
TOP OF BATTER YY BOTTOM OF BATTER	BATTERS/EARTHWORK EMBANKMENTS TO BE 50% (1 IN 2) UNLESS NOTED OTHERWISE
🌳	EXISTING TREES AND STRUCTURES ON SITE TO BE DEMOLISHED/REMOVED BY OWNER PRIOR TO CONSTRUCTION, UNLESS OTHERWISE STATED.

ADELAIDE HILLS COUNCIL
RECEIVED 21 December 2020



Development Act 1993

Minister's Specification SA 78AA

September 2003

On-Site Retention of Stormwater

Table 3-Total required length of trench (metres)

ARI = 1 in 5 year, 2 hour storm event

Trench Dimensions (metres)		Soil Type	Catchment Area (m ²)									
			20	40	60	80	100	120	140	160	180	200
			Total required length of trench (metres)									
width	0.3	A/S	4.6	9.2	14	19	23	28	32	37	42	46
depth	0.5	M-D	8.1	16	24	33	41	49	57	65	73	81
width	0.3	A/S	2.6	5.3	7.9	11	13	16	19	21	24	27
depth	1	M-D	4.4	8.7	13	18	22	26	31	35	40	44
width	0.3	A/S	2.2	4.5	6.8	9.1	11	14	16	18	21	23
depth	1.2	M-D	3.7	7.4	11	15	19	22	26	30	33	37
width	0.6	A/S	2.5	5.0	7.6	10	13	15	18	20	23	25
depth	0.5	M-D	4.3	8.5	13	17	21	26	30	34	39	43
width	0.6	A/S	1.5	3.0	4.5	6.1	7.6	9.2	11	12	14	15
depth	1	M-D	2.3	4.6	7.0	9.3	12	14	16	19	21	23
width	0.6	A/S	1.2	2.6	3.9	5.2	6.6	7.9	9.2	11	12	13
depth	1.2	M-D	1.9	3.9	5.9	7.9	9.8	12	14	16	18	20
width	0.9	A/S	1.7	3.5	5.2	7.0	8.8	11	12	14	16	18
depth	0.5	M-D	2.9	5.8	8.7	12	15	17	20	23	26	29
width	0.9	A/S	1.0	2.1	3.1	4.2	5.3	6.4	7.5	8.6	9.6	11
depth	1	M-D	1.5	3.1	4.7	6.3	7.9	9.5	11	13	14	16
width	0.9	A/S	0.8	1.8	2.7	3.7	4.6	5.5	6.5	7.4	8.3	9.3
depth	1.2	M-D	1.3	2.7	4.0	5.3	6.7	8.0	9.4	11	12	13

$$\text{VOLUME REQUIRED} = 0.90 \times 1.20 \times 12.0 \text{ (ROOF + PAVING)}$$

$$= 13.0 \text{ m}^3$$

ALLOWING FOR $\frac{1}{3}$ VOID RATIO DUE TO AGGREGATE INFILL:

$$\text{ACTUAL VOLUME} = \frac{13.0}{3.0}$$

$$= 4.33 \text{ m}^3$$

USE PROTANK CRATE SYSTEM:

$$\therefore \text{EQUIVALENT VOLUME} = (2 \times 0.403) \times (11.0 \times 0.72) \times (2.0 \times 0.433) \times 0.95$$

$$= 5.25 \text{ m}^3 \text{ -- O.K.}$$

ADOPT: 0.806m WIDE X 7.92m LONG X 0.866m DEEP TRENCH

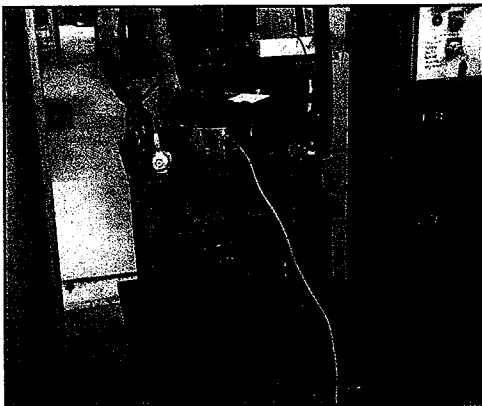
Global Synthetics ProTank® specifications

Module (units)	Width (mm)	Length (mm)	Height (mm)	Typical tank volume (litres)	Typical storage volume (litres)
Single (one)	403	720	443	129	123
Double (two)	403	720	866	252	239
Triple (three)	403	720	1289	374	355
Quad (four)	403	720	1712	497	472
Penta (five)	403	720	2135	620	589

Internal Void Ratio	95% Void
Material	100% recycled polypropylene + customised polymers can be utilised for special projects
Biological and Chemical Resistance	Unaffected by mould and algae, soil-borne chemicals, bacteria and bitumen, oil and light acid or alkaline solutions
Service Temperature	-10°C to 85°C
Flow Rate	2400 L/minute per single module area @ i = 0.01

ProTank® Module Configuration	Compressive Strength Unconfined	Minimum Recommended Cover	Maximum Recommended Cover	Maximum depth to bottom of Tank	Maximum height of Modules
Standard Duty Three Plate Module	21 T/m ²	<u>300mm</u>	1200mm	2400mm	1712 (4 high)
Heavy Duty Four Plate Module	24 T/m ²	600mm	2000mm	3000mm	2135 (5 high)
Ultra Duty Five Plate Module	28 T/m ²	600mm	2000mm	3000mm	2135 (5 high)

- Compressive strength results are derived from testing in an 'unconfined state', meaning that these are index tests which are more conservative than in-ground, backfilled and compacted conditions.
- Standard Duty Modules are not recommended for trafficable ('ride on vehicle') applications.
- Minimum and Maximum cover recommendations for Heavy and Ultra Duty Modules allow for 'light commercial' vehicles only. Applications for higher dynamic loads should be assessed separately by the project engineer.
- ProTank® modules must be installed in accordance with the 'ProTank® Assembly and Installation Guidelines'.



Quality Control is critical

We engage the University of Western Australia (UWA) to undertake regimented quality control compressive strength testing on **ProTank®**. UWA use a 'NATA calibrated' hydraulic Instron machine with a capacity of 500KN.

Resin quality directly influences deformation and allowable compressive loads. **ProTank®** exhibits ductile deformation under live and static loading (see Figure 1) whereas some competitor products with inferior quality resin exhibit 'explosive' brittle failure under live and static loading (Figure 2).

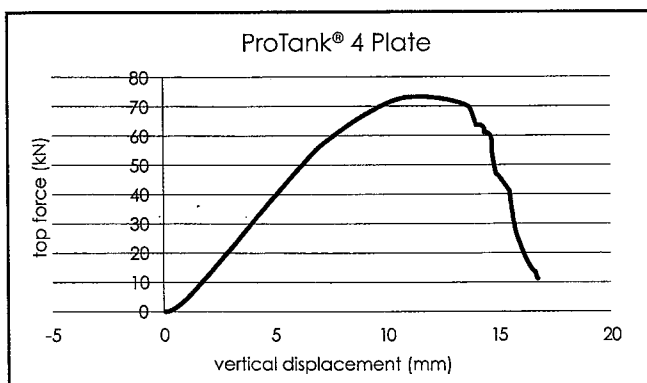


Figure 1: ProTank® Compressive Load Test

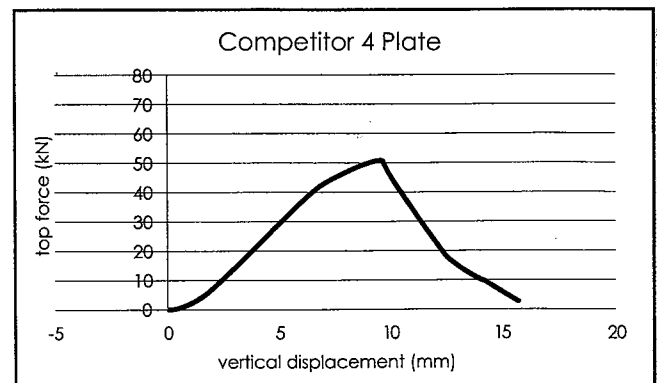
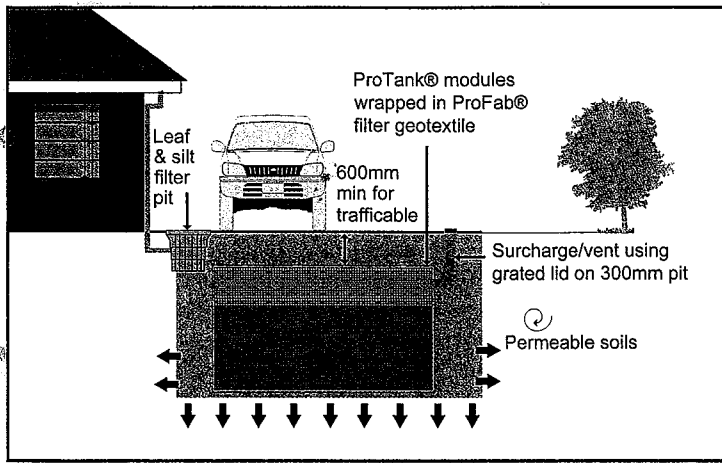


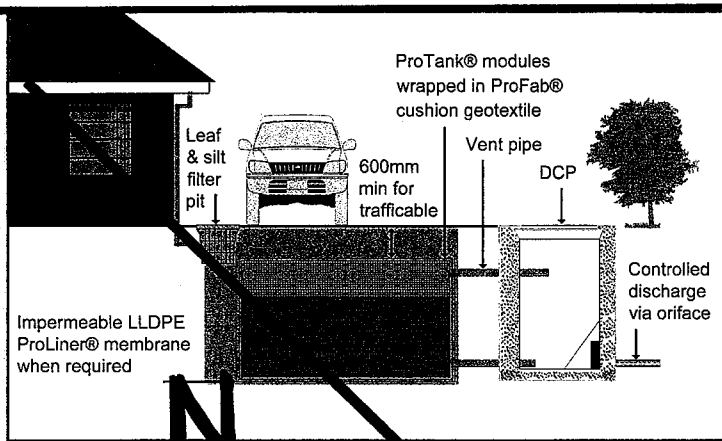
Figure 2: Competitor Product Compressive Load Test

ProTank® Domestic Applications



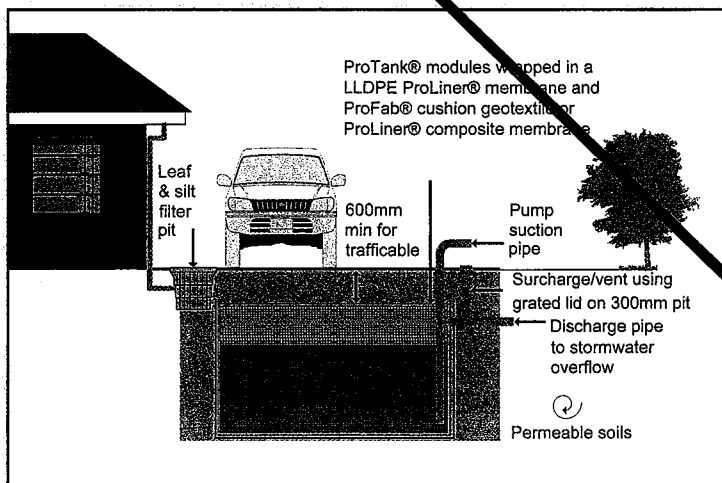
INFILTRATION SYSTEM

- Rapid aquifer recharge through all filtered surfaces
- Employs simple leaf and silt capture
- May be located under vehicle access areas
- Provision for peak flows
- Multiple access points for pipe connection
- Minimal trouble free installation and maintenance



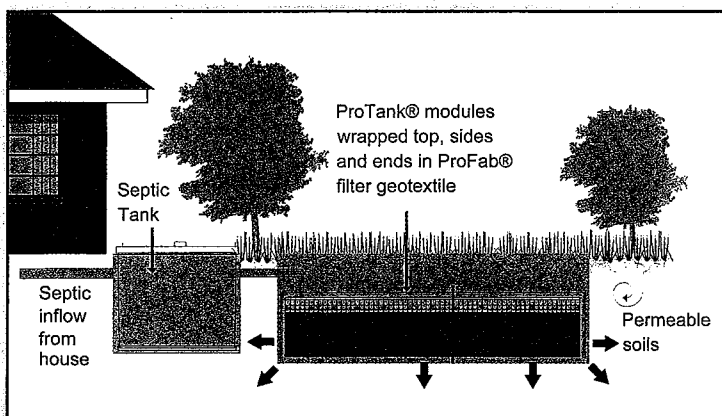
DETENTION SYSTEM

- Employs simple leaf and silt capture
- Controlled discharge to downstream environments
- May be located under vehicle access areas
- Modular design enables shaping to suit confined spaces
- Suitable for all soil types
- Minimal trouble free installation and maintenance



HARVESTING SYSTEM

- Captures storm water for re-use
- Employs simple leaf and silt capture
- May be located under vehicle access areas
- Modular design enables shaping to suit confined spaces
- Suitable for all soil types
- Provision for peak flow events
- Multiple access points for pipe connection
- Minimal trouble free installation and maintenance



LEACH DRAIN SYSTEM

- Fast and simple assembly with just two components
- Light weight for easy and safe handling
- Fewer modules required than other brands
- Multiple access points for pipe connection
- Maximum surface area for waste disposal
- Health Department approved

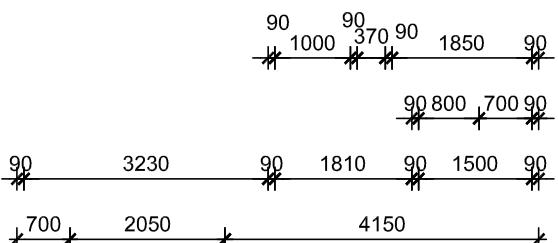
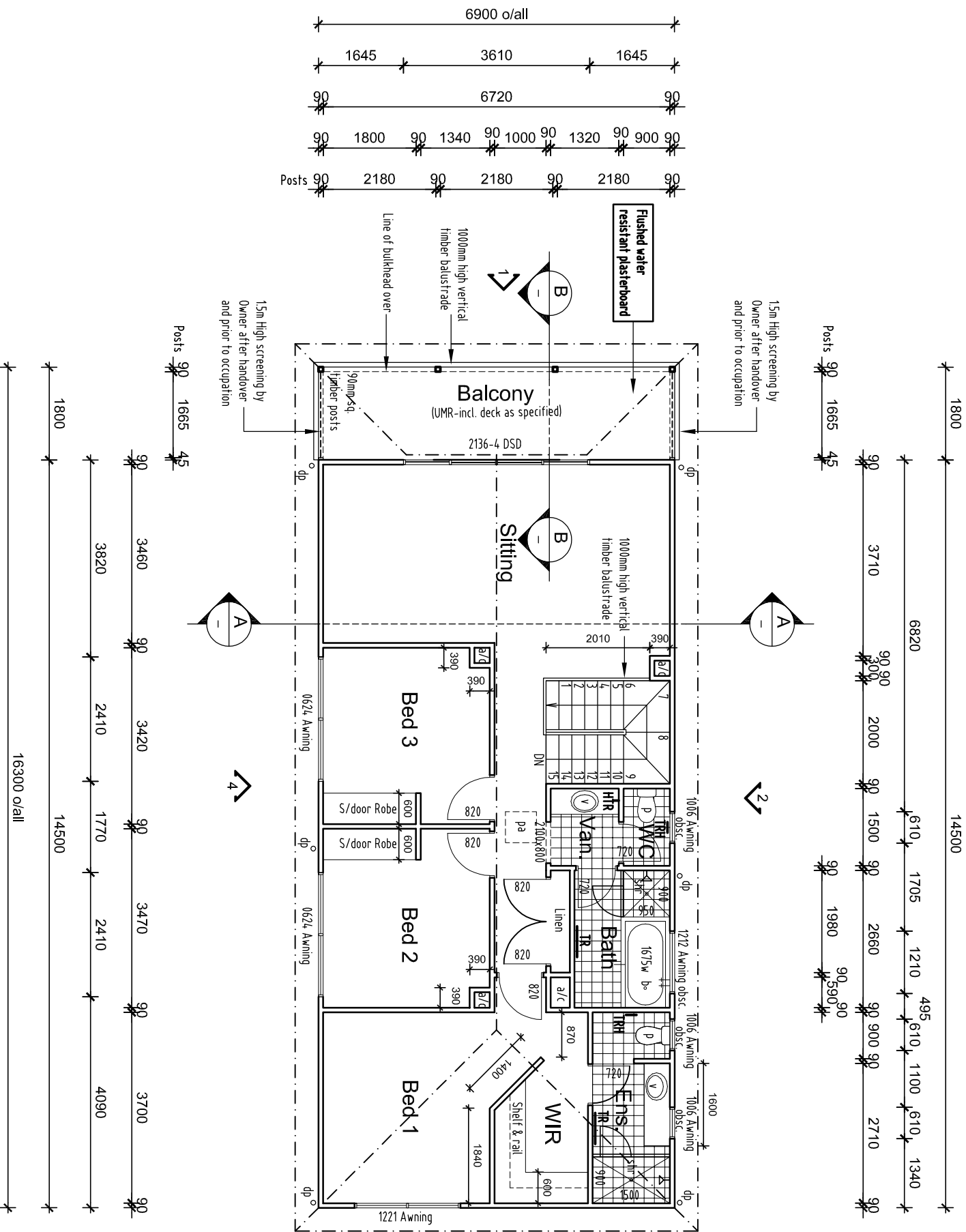
THE STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT EDITION OF NATIONAL CONSTRUCTION CODE. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DRAWINGS. WHERE SITE CONDITIONS DO NOT REFLECT THE INTENT SHOWN IN THE DRAWINGS OR WHERE SITE MEASUREMENTS CONFLICT WITH DIMENSIONS, LEVELS OR NOTATION SHOWN SEEK CLARIFICATION BEFORE COMMENCEMENT. THIS PLANS REMAINS THE EXCLUSIVE PROPERTY OF RIVERGUM HOMES AND ARE PROTECTED BY COPYRIGHT LAWS. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT WHETHER IT BE IN PART OR IN FULL, UNLESS WRITTEN PERMISSION IS GIVEN.

Bushfire Zone = Medium

Must be built in accordance AS3959-2018 (new to BCA 2019)

Items to be supplied and installed by builder if applicable:

- pridge 400mm high gable mid steel sleeves at ground level for pole frame columns
- Gable post/column shoes to be min. 75mm clearance to ground
- Base Infill required. Enclosed (with non combustible material i.e. cladding base Infill) sub floor materials can remain permeable
- Extra run of bearers and blocks required due to decking to be independent of house - timber decking gaps must be minimum 5mm
- Elevated decks to be independent of house using wall plate attached to external wall face
- Deck to be open at sides
- *Decking, stair treads and trafficable surfaces to be installed in accordance with Clause 5.7.3.3 of AS 3959-2018*
- Solid base Infill to perimeter of house (including behind deck) in standard cladding (minimum 6mm for fibre cement sheets), Continufe base Infill to sit minimum 30mm below ground level.
- Hinged external doors must be solid core with minimum thickness of 35mm. Flush Panel Solid Core Door rating 1
- Upgrade 45x820x38mm
- Upgrade from fibreglass screens to Aluminium door screens
- Upgrade from fibreglass screens to Aluminium to window screens
- windows less than 400mm above a horizontal surface to be metal and have 4mm thick toughened glass * Where double glazing is used then only the external face of glass needs to comply & all external fixtures must be metal
- Door frames must be bush fire resistant timber (Blackbutt or Merbau)
- Roller door up to 3m wide - nylon brush
- Roller door 3 - 5.6m wide - nylon brush
- External doors to be fitted with weather strips
- Vents & weepholes to be protected with corrosion resistant bronze wire mesh spark guards
- Roof of verandah, carport & awning roof which form part of the main roof must meet all the requirements of the main roof
- Verandah, carport & awning roof NOT forming part of the main roof must be lined with fibre cement sheeting minimum thickness 6mm
- All roof cappings & flashings to be scrubed out
- Sarking to entire roof area including verandahs under main roof
- Gables must be fully sarked
- Eave penetrations must be non-combustible and sealed to prevent gaps greater than 3mm. No lights to eaves
- Roof lights including shafts to be sealed at roof penetration to prevent gaps greater than 3mm
- Solatube skylight range to be used to meet requirements
- Roof lights installed in roofs where pitch is less than 18 degrees can not be used
- Britis A066 series evaporative cooler to be used to comply with bushfire requirements. Upgrade from standard (non bushfire) air con
- All components must be non-combustible and sealed at roof penetration to prevent gaps greater than 3mm
- Sealed exhaust fans
- Sealed IXL exhaust fan
- Roof Spinnways
- Openings in roof ventilators fitted with bronze mesh ember guards (EG whity bird)
- Openings in vent pipes must be metal and fitted with bronze mesh ember guards
- Above ground, exposed water and gas supply pipes must be metal (copper)



16 risers @ 175.63 mm high (max. 190mm)
15 treads @ 250mm

-2R+G (351.26 + 250 = 601.26)
NCC Code (Part 3.9.1 & 3.9.2) 700 max. 550 min.
Balustrade height of 1000mm with
125mm rx. gap between balusters and handrail
@ 865mm high

Non slip finish to treads

Lift off hinges to WC

ה

- Floor traps required to all wet areas
- 60mm setbacks to all showers
- 25mm setbacks to all wet areas

WORKING DRAWINGS

PLEASE SIGN HERE:

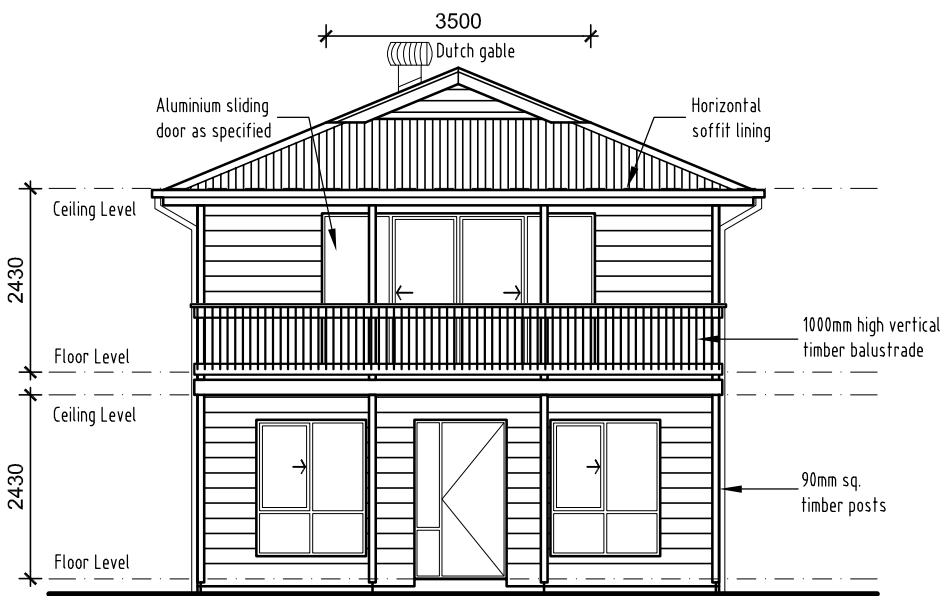
DATE:

DESIGN		Palais Traditional					
		SHEET TITLE Upper Floor Plan					
AMENDMENT		DATE					
Contract Plans (BSLKAS)		05.06.20					
Working Drawings (BSH) (CH - HT)		18.06.20					
AMENDMENT: Re-locate house 500mm to the LHS (HT)		1.07.20					
387 - 391 South Rd. MILE END SOUTH SA 5031							
Ground Floor Living		100.05					
First Floor Living		100.05					
Porch		12.42					
Balcory		12.42					
PROPOSED RESIDENCE FOR:		J. & D. Nottle					
		Lot 214 Ilawarra Place					
		Bridgewater					
SCALE		1:100					
SHEET NO.		4 of 9					
JOB NO.		19125					
DRAWN		JD/BSI					
DATE		1.07.20					
ISSUE NO.		3					

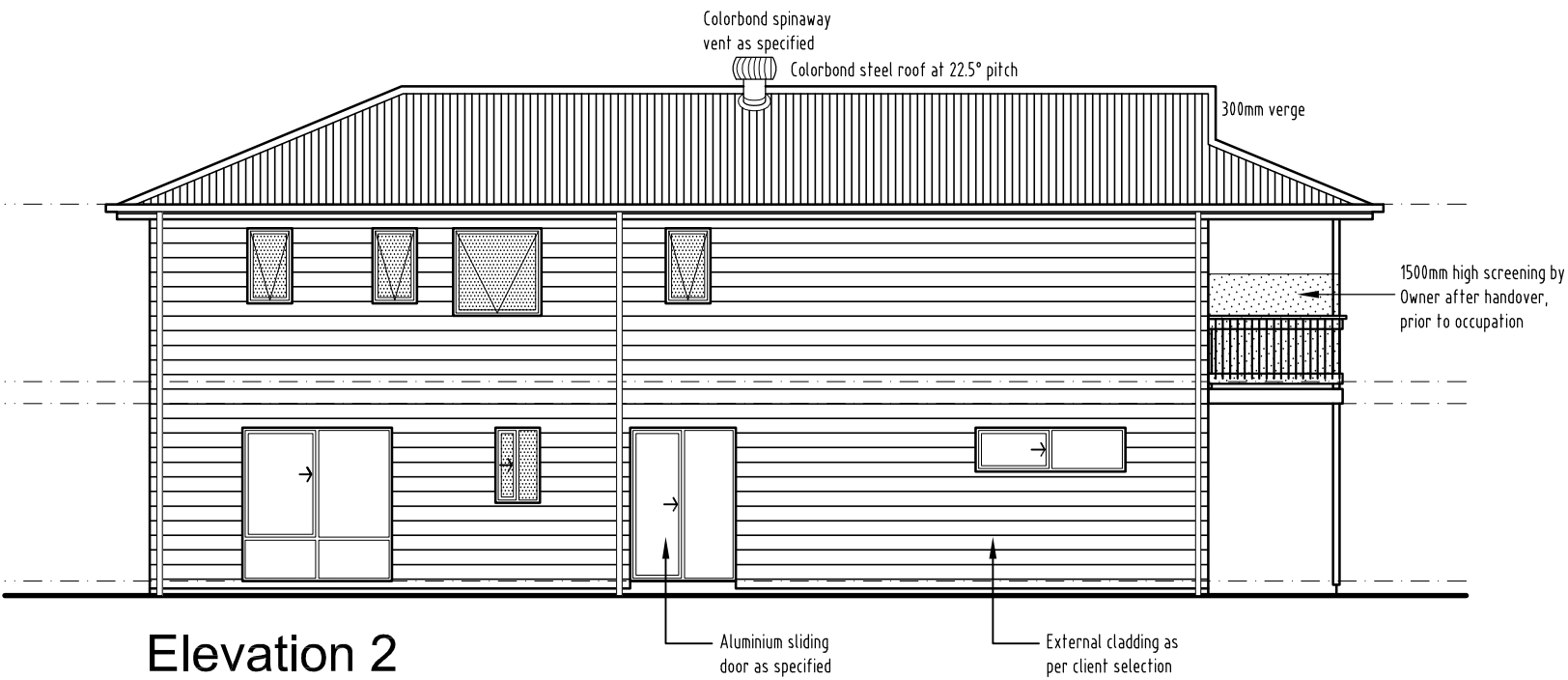
RECEIVED 17/07/2020

NOTE:
ALL WINDOW HEAD HEIGHTS TO BE AT
2100mm HIGH.
ALL DOORS TO HAVE TIMBER TRIM
ABOVE.

NOTE: All windows to upper floor to
have a restricted opening of 100mm to
comply with BCA requirements

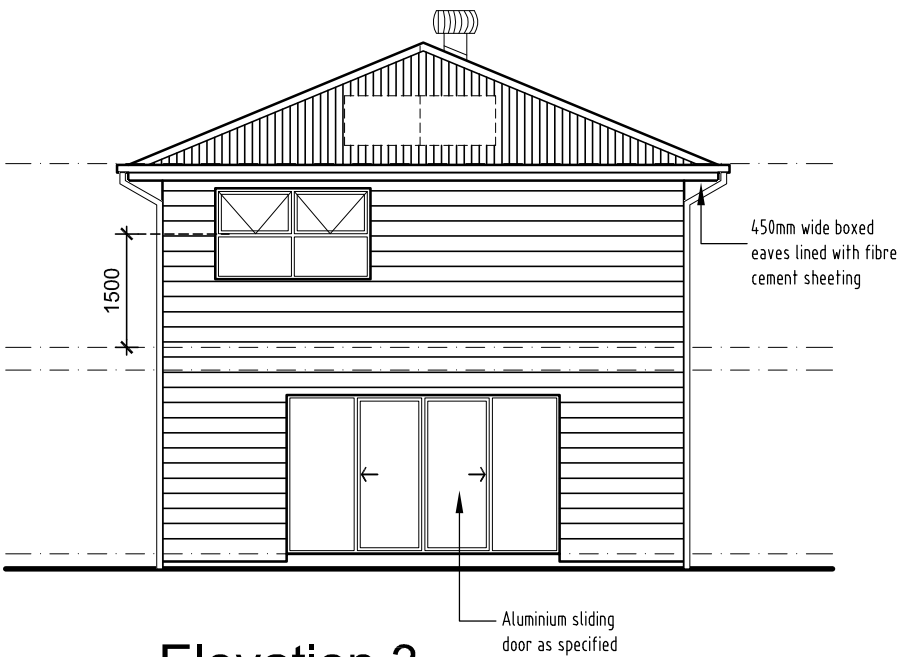


Elevation 1

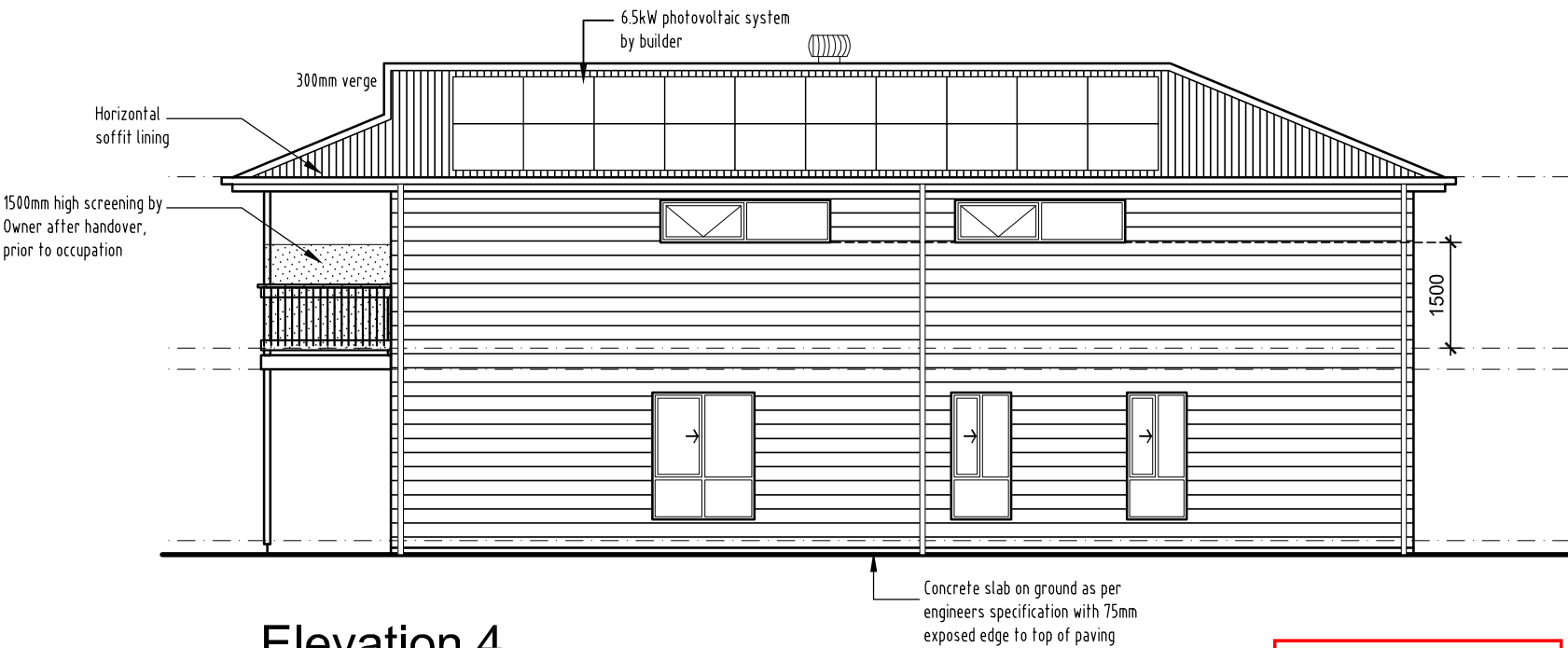


Elevation 2

Windows: Aluminium Awning as
shown. Aluminium Horizontal sliding
windows to remainder as specified



Elevation 3



Elevation 4

Concrete slab on ground as per
engineers specification with 75mm
exposed edge to top of paving

WORKING DRAWINGS

PLEASE SIGN HERE:

DATE:

ADELAIDE HILLS COUNCIL
RECEIVED 17/07/2020

DESIGN Palais Traditional	SHEET TITLE Elevations	rivergum homes 387 - 391 South Rd, MILE END SOUTH SA 5031 Phone: (08) 8354 7800 Fax: (08) 8234 6099 A.B.N. 70 065 466 337 B.Lic. BLD 113681 Web: rivergumhomes.com.au	Ground Floor Living 100.05	PROPOSED RESIDENCE FOR:	SCALE 1:100
AMENDMENT Contract Plans (BSI-KAS) Working Drawings (BSI-) (CH - HT) AMENDMENT: Re-locate house 500mm to the LHS (HT)	DATE 05.06.20 18.06.20 1.07.20		First Floor Living 100.05	J. & D. Nottle	SHEET NO. 5 of 9
			Porch 12.42	Lot 214 Itawarra Place	JOB NO. 19125
			Balcony 12.42	Bridgewater	DRAWN JD/BSI
			Total 224.94	THE STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT EDITION OF NATIONAL CONSTRUCTION CODE. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DRAWINGS. WHERE SITE CONDITIONS DO NOT REFLECT THE INTENT SHOWN IN THE DRAWINGS OR WHERE SITE MEASUREMENTS CONFLICT WITH DIMENSIONS, LEVELS OR NOTATION SHOWN SEEK CLARIFICATION BEFORE COMMENCEMENT. THIS PLANS REMAINS THE EXCLUSIVE PROPERTY OF RIVERGUM HOMES AND ARE PROTECTED BY COPYRIGHT LAWS. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT WHETHER IT BE IN PART OR IN FULL, UNLESS WRITTEN PERMISSION IS GIVEN.	DATE 1.07.20
					ISSUE NO. 3

Client **Mr Joshua Luke Nottle and Mrs Danielle Lee Nottle**
 Site Address **Lot 214 Itawara Place BRIDGEWATER SA 5155**
 Contract No. **19125**
 Pavilion Consultant

Date **19/06/2020**

External Material	\$	Colour
Roof		Gull Grey. Spinaway Gull Grey
Gutters		Gull Grey
Facias / Barges		Gull Grey
Downpipes		Against House Greyology 2 Against Posts Greyology 2 From Rainhead
Rainheads		
Brick		Colour Mortar * please note: standard mortar is made from natural material, rivergum homes cannot guarantee the constancy of its colour
Brick Lintel		
Render		Base Colour Feature Colour & Location
Cladding 1		Profile Duraplank Smooth: Colour Greyology 2
Cladding 2		Profile Colour
Posts		Greyology 2
Entrance Door		SPM xyl CLEAR COAT Frame Colour BLACK
Side Light		TRANSLUCENT BLACK
Laundry Door		Frame Colour
Other External Doors		Frame Colour
Windows / Aluminium Doors		<input type="checkbox"/> Pearl White <input type="checkbox"/> White Birch <input type="checkbox"/> Primrose <input type="checkbox"/> Paperbark <input type="checkbox"/> Monument <input type="checkbox"/> Woodland Grey <input checked="" type="checkbox"/> Satin Black <input type="checkbox"/> Ultra Silver <input type="checkbox"/> Surfmist <input type="checkbox"/> Dune <input type="checkbox"/> Other Colour _____
Balustrade		Greyology 2
Garage Door		Panel Lift – Colour
Rear Garage Door		
Fencing		Front: Pier Colour Infill Colour Side: Rear: Fencing by: <input type="checkbox"/> Builder <input type="checkbox"/> Owner
Other (Colour)		Base Infill Gable Infill Greyology 2 Battens Finials Mouldings LOSP Balcony Bearer Flashing Capping
Other		MIDWOOD: BLACK BEAN.

1. Rivergum Homes do not advise that you choose a dark colour for the render or external timber doors as it may void the manufacturer's warranty and has the potential to warp or crack as a result of heat expansion.
2. No further external changes will be accepted after this appointment.
3. Client requested changes will incur a minimum \$1,000.00 administration fee.

Client Signature: _____

Date: 22-6-2020

REAL PROPERTY ACT, 1886



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5117 Folio 63

Parent Title(s) CT 4189/693
Creating Dealing(s) CONVERTED TITLE
Title Issued 15/04/1993 **Edition** 8 **Edition Issued** 12/11/2007

Estate Type

FEE SIMPLE

Registered Proprietor

JOSHUA LUKE NOTTLE
DANIELLE LEE NOTTLE
OF 8 ITAWARA PLACE BRIDGEWATER SA 5155
AS JOINT TENANTS

Description of Land

ALLOTMENT 214 FILED PLAN 8131
IN THE AREA NAMED BRIDGEWATER
HUNDRED OF NOARLUNGA

Easements

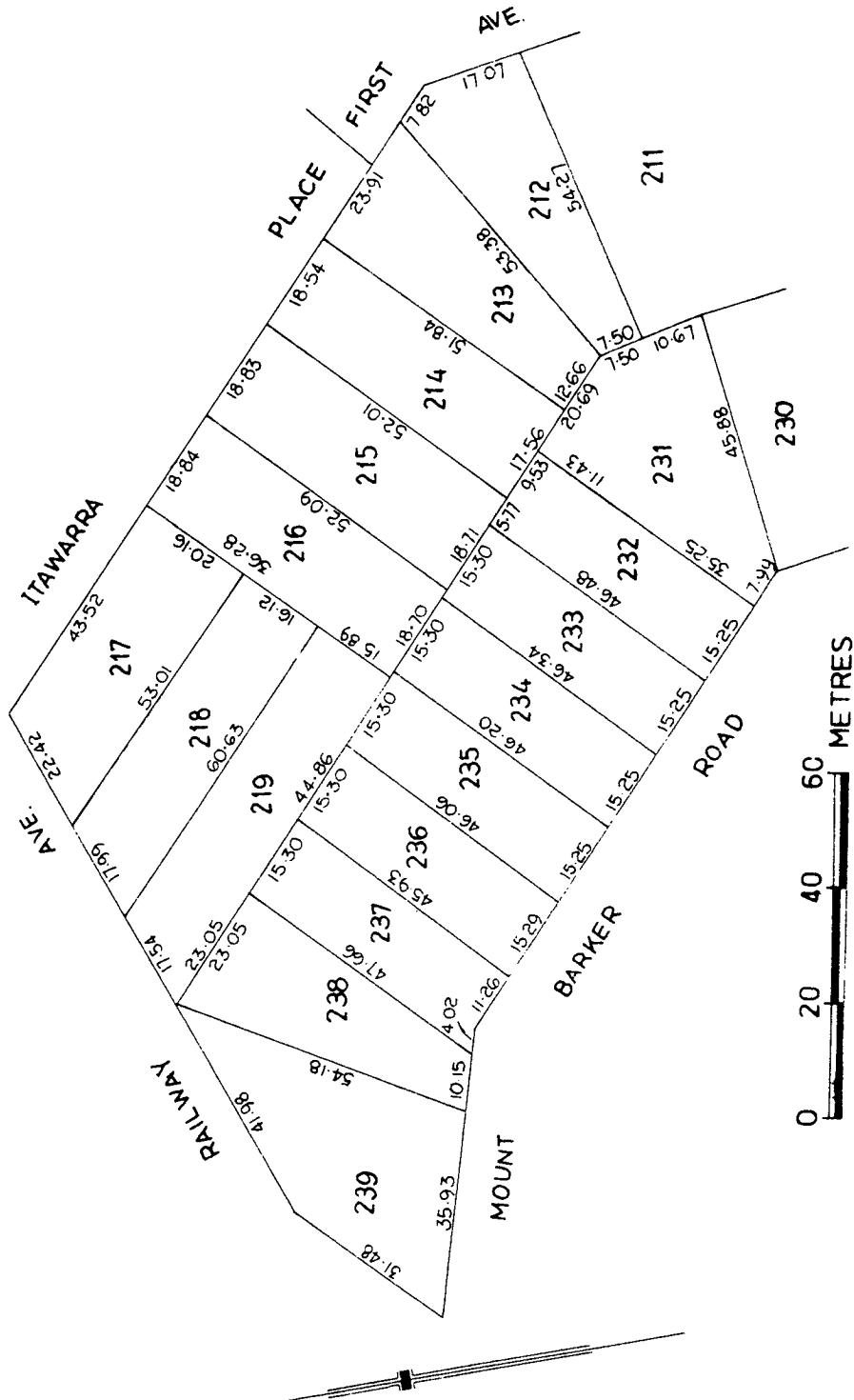
NIL

Schedule of Dealings

Dealing Number	Description
10826234	MORTGAGE TO ING BANK (AUSTRALIA) LTD.

Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Notations on Plan	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL



Sarah Davenport

From: Ari Mudugamuwa
Sent: Monday, 21 December 2020 12:36 PM
To: Sarah Davenport
Subject: RE: URGENT RE: Adelaide Hills Council Advice - Development Application 20/725 - 8 Itawara Place- Eng comments
Attachments: 19125CIV CIVIL PLAN V2.PDF

Hi Sarah,

In reference to Marie's comments on 21 August 2020, proposed onsite SW disposal system is acceptable to engineering, subject to the fact that all surface water (within the property) as well to be discharged to the onsite disposal system.
(Reason- just to avoid any SW nuisance on adjoining properties)

Further reference to engineering is not required

Regards

Ari Mudugamuwa
Senior Civil Engineer | Engineering

From: Sarah Davenport <sdavenport@ahc.sa.gov.au>
Sent: Monday, 21 December 2020 11:39 AM
To: Ari Mudugamuwa <amudugamuwa@ahc.sa.gov.au>
Subject: FW: URGENT RE: Adelaide Hills Council Advice - Development Application 20/725 - 8 Itawara Place

Hi Ari

I've just got stormwater details sent to me – they are essential for a report im writing up today.

Are you able to provide any comments?? I can make it a reserved matter if need be

Steve's advice is also below.

Kind Regards

Sarah

From: Patrick Sweeney <p.sweeney@rivergumhomes.com.au>
Sent: Monday, 21 December 2020 11:21 AM
To: Sarah Davenport <sdavenport@ahc.sa.gov.au>
Cc: Daniel Dal Zotto <d.dalzotto@rivergumhomes.com.au>
Subject: RE: URGENT RE: Adelaide Hills Council Advice - Development Application 20/725 - 8 Itawara Place

Hi Sarah,

Apologies now attached.

Regards,

Patrick Sweeney | Compliance Administrator

| E customercare@rivergumhomes.com.au
387 - 391 South Road, Mile End South SA 5031 | PO Box 191, Torrensvile SA 5031
T +61 8 8354 7800 | www.rivergumhomes.com.au



We wish you a safe & happy Christmas!

OUR OFFICES WILL BE CLOSED

FROM 25TH DECEMBER 2020 AND WILL FORMALLY RE-OPEN AGAIN ON THE 11TH JANUARY 2021 WITH LIMITED STAFF ON CALL FOR EMERGENCIES DURING THIS TIME.

Please see our website for opening times of our display homes

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From: Sarah Davenport <sdavenport@ahc.sa.gov.au>
Sent: Monday, 21 December 2020 11:07 AM
To: Patrick Sweeney <p.sweeney@rivergumhomes.com.au>
Subject: RE: URGENT RE: Adelaide Hills Council Advice - Development Application 20/725 - 8 Itawara Place

Hi Patrick

Sorry but I needed to stormwater details. The request required details of the current stormwater discharge arrangement and details of the proposed stormwater solution.

Thanks

From: Patrick Sweeney <p.sweeney@rivergumhomes.com.au>
Sent: Monday, 21 December 2020 11:02 AM
To: Sarah Davenport <sdavenport@ahc.sa.gov.au>
Cc: Daniel Dal Zotto <d.dalzotto@rivergumhomes.com.au>
Subject: URGENT RE: Adelaide Hills Council Advice - Development Application 20/725 - 8 Itawara Place

Hi Sarah,

Attached is the engineering footing report & plan.

Regards,

Patrick Sweeney | Compliance Administrator

| E customercare@rivergumhomes.com.au
387 - 391 South Road, Mile End South SA 5031 | PO Box 191, Torrensvile SA 5031
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We wish you a safe & happy Christmas!

OUR OFFICES WILL BE CLOSED

FROM 25TH DECEMBER 2020 AND WILL FORMALLY RE-OPEN AGAIN ON THE 11TH JANUARY

2021 WITH LIMITED STAFF ON CALL FOR EMERGENCIES DURING THIS TIME.

Please see our [website](#) for opening times of our display homes

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From: Sarah Davenport <sdavenport@ahc.sa.gov.au>

Sent: Monday, 21 December 2020 10:39 AM

To: Daniel Dal Zotto <d.dalzotto@rivergumhomes.com.au>

Cc: Compliance <compliance@rivergumhomes.com.au>

Subject: URGENT RE: Adelaide Hills Council Advice - Development Application 20/725 - 8 Itawara Place

Hi Daniel and Sharleene

I have taken this one over from Marie – are you able to forward me the stormwater details ASAP.

I can't seem to find a response from her request in August and its essential to have for the CAP report.

Thanks

Sarah Davenport
Statutory Planner
Adelaide Hills Council

p 08 8408 0400

e sdavenport@ahc.sa.gov.au

w ahc.sa.gov.au

Visit me at: 28 Onkaparinga Valley Road, Woodside
PO Box 44 Woodside SA 5244

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From: Marie Molinaro

Sent: Friday, 21 August 2020 9:16 AM

To: 'Daniel Dal Zotto' <d.dalzotto@rivergumhomes.com.au>

Cc: 'compliance@rivergumhomes.com.au' <compliance@rivergumhomes.com.au>

Subject: RE: Adelaide Hills Council Advice - Development Application 20/725 - 8 Itawara Place

Hi Daniel & Sharleene

Public notification will close on 9 September.

The application looks fairly straightforward, and only question at this stage is for stormwater.

Council Engineering have reviewed, and are hoping to get some information about how stormwater is currently managed – see response below:

The application appears to be replacing the existing dwelling and not much change to impervious surface areas, however there is risk that discharge down the back of the block may cause issues with adjoining property owners. Confirm the existing stormwater management on site.

Can you please check/respond and then we can review further.

Kind regards
Marie

Marie Molinaro – Statutory Planner | Strategy and Development
Adelaide Hills Council

From: Daniel Dal Zotto [<mailto:d.dalzotto@rivergumhomes.com.au>]
Sent: Friday, 21 August 2020 7:03 AM
To: Marie Molinaro
Subject: RE: Adelaide Hills Council Advice - Development Application 20/725 - 8 Itawara Place

Hi Marie,

Can you please confirm the closing date on the public Notification?

“Council has commenced the public notification process for Two storey detached dwelling, deck (maximum height 2.4m), retaining walls (maximum height 1m) & associated earthworks. Letters have been sent to adjoining land owners.

Documentation regarding the application will be available on Council’s website at www.ahc.sa.gov.au/Resident/planning-and-building/current-development-applications#public from 27 August 2020 until 09 September 2020, to enable interested parties to determine whether they wish to make a representation. Due to COVID-19, our Customer Service Centres are operating at limited capacity and Regulation 3A of the Development Regulations 2008 no longer requires Council to have hardcopy information available for viewing until 30 September 2020.

After the public notification period ends a copy of any representations received by Council will be forwarded to you for a written response.

Please contact me via mmolinaro@ahc.sa.gov.au or 8408-0585 should you have any queries in this regard.”

Regards

Daniel Dal Zotto | Documentation Manager (SA Retail)

DT +61 8 8354 7891 | **E** d.dalzotto@rivergumhomes.com.au
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SOUTH AUSTRALIAN DEVELOPMENT ACT, 1993
REPRESENTATION ON APPLICATION – CATEGORY 2 NOTIFICATION

Development Number: **20/725/473**

My Name: **MICHAEL M'GUIRE**

Postal Address: **P.O. Box 255 MILANG SA 5256**

Contact No: [REDACTED]

Email: [REDACTED]

(by providing an email address you agree to receive any related future correspondence electronically)

This representation is in relation to the application by: **Rivergum Homes Pty Ltd**

Nature of Development: **Two storey detached dwelling, deck (maximum height 2.4m), retaining walls (maximum height 1m) & associated earthworks**

Proposed to be located at: **8 Itawara Place Bridgewater SA 5155**

My representation: **(cross out whichever does not apply below)**
Supports the proposed development **OR** Opposes the proposed development

My interests are: **(cross out whichever does not apply below)**
owner of local property OR occupier of local property
~~a representative of a company OR other~~
~~organisation affected by the proposal OR a private citizen~~

The address of the property affected is:

31 FIRST AV BRIDGEWATER Postcode: **5155**

The specific aspects of the application to which I make representation are:

- 1) **HEIGHT: CURRENT FLOOR LEVEL OF MY PROPERTY IS 2M BELOW 8 ITAWARA PL**
ADDITIONAL STORY ELEVATES IT TO OVER 8 METRES ABOVE MY FOOTINGS. SO SUN SHADOW EXTENDED
2) **PROXIMITY TO BOUNDARY – ALREADY HOUSES ARE CLOSE** 3) **RESALE VALUE OF MY PROPERTY**
My objections (if any) could be overcome by: **REDUCED BY 1) + 2).....**

RELOCATING BUILD CONSIDERABLY FURTHER BACK AND AWAY FROM
BOUNDARY OR SINGLE STOREY BUILD I.E. LARGER BLOCK ANYWAY, ABLE TO ACCOM.
(cross out whichever does not apply below) **LARGER FOOTPRINT.**

~~I do wish to be heard in support of my representation by appearing personally or being represented by the following person.....~~

OR

I do not wish to be heard in support of my representation.

"Please note that, in accordance with Section 38 (10)(a) of the *Development Act 1993*, the Council Assessment Panel may, in its absolute discretion, allow a person who made a representation to appear personally or by representative before it to be heard in support of the representation."

Please note that no right of appeal to the Environment, Resources and Development Court exists for a person or body who submit a Category 2 representation.

Date: **7/9/20** Signature: **[Signature]**

The closing time and date for Representations is 5.00pm on 09 September 2020.

"Please note that in accordance with Section 38(8) of the *Development Act 1993*, a copy of this representation is forwarded to the Applicant for their information and response. Further a copy of your representation (including your name and address) will become public and can be viewed on the web."

Ref: 20ADL-0763



29 October 2020

Ms Marie Molinaro
Statutory Planner
Adelaide Hills Council
By Email: mmolinaro@ahc.sa.gov.au

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12/154 Fullarton Road
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MELBOURNE
4 Brunswick Place
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www.urps.com.au
ABN 55 640 546 010

Dear Marie

Response to Representations – Development Application 20/725/473 – 8 Itawara Place, Bridgewater

Thank you for providing the Category 2 representation received for the development proposed at 8 Itawara Place, Bridgewater (Development Application 20/725/473).

I provide you with our response to the representations below.

Response to Representations

The following representation was received during the public notification period.

Number	Representor	Address	Supports the proposed development?	Wishes to be heard by CAP?
1	Michael McGuire	31 First Avenue, Bridgewater	No	No

One representation was received who does not wish to be heard by the CAP.

I have collated the pertinent issues and addressed them under their corresponding headings below.

Height

The representor has indicated that their current floor level is 2 metres lower than the subject land (8 Itawara Place) and that an additional storey elevates the development over 8 metres above their footings.

In response, I note the following:

- The proposed dwelling will be constructed in the place of the existing dwelling on the land.
- Only minor earthworks are required at the south-eastern side boundary to ensure a sufficient levelled area around the perimeter of the dwelling and this will require a small retaining wall of 300-400mm on the boundary.
- The ground floor of the proposed dwelling is only marginally above (approximately 70 millimetres) that of the existing dwelling on the subject land.

- Two-storey detached dwellings, such as that proposed development, are specifically anticipated by the Desired Character of the Country Living (Bridgewater) Policy Area.
- The proposed floor to ceiling heights are only 2.43 metres meaning a total eave height of 5.4 metres. This is lower than most two-storey dwellings which commonly have 3 metre floor to ceiling heights. Despite the two-storey nature and the proposed level of fill, the dwelling is not higher than it needs to be and satisfies building heights as anticipated by the Policy Area.
- The pitch of the roof has intentionally been kept low to minimise the total height of the building whilst ensuring suitable design proportions.
- All components of the proposed dwelling will be setback 2.5 metres from the south-eastern side boundary. This setback satisfies the 1 and 2 metre setback guideline within Principle 2 of the Policy Area.
- The existing allotment sizes will remain unchanged. This will retain the spacious setting and separation between respective dwellings.

Despite the natural slope of the land, the proposed building height and scale is anticipated. Further, the side boundary setback clearly achieves the respective Development Plan guideline so as not to unreasonably impose upon neighbouring properties.

Boundary setbacks

The representor has raised concern with the proximity of the development to the property boundaries.

In response, the table below provides an assessment of the proposed boundary setbacks against the Development Plan.

Boundary	Development Plan Setback Guideline	Proposed Setback	Achieved?
Primary Road Frontage	6 metres	6 metres to balcony, 7 metres to façade wall.	Yes
North-Western Side Boundary	1 metre (walls up to 3 metres) 2 metres (walls up to 6 metres)	8.5 metres for entire building	Yes
South-Eastern Side Boundary	1 metre (walls up to 3 metres) 2 metres (walls up to 6 metres)	2.5 metres for entire building	Yes
Rear Boundary	4 metres (single storey) 8 metres (two-storey)	29.5 metres for entire building	Yes

The proposed development achieves all boundary setbacks as guided by Principle 2 of the subject Policy Area. In particular, the proposed dwelling is setback 500 millimetres more from the south-eastern boundary adjacent the representors property.

Shadowing

The representor has raised concern about the shadow cast by the proposed development due to its height and boundary setback.

Council Wide, Design and Appearance Principle 17 states:

17 The design and location of buildings should enable direct winter sunlight into adjacent dwellings and private open space and minimise the overshadowing of:

(a) windows of main internal living areas

(b) upper-level private balconies that provide the primary open space area for a dwelling

(c) solar collectors (such as solar hot water systems and photovoltaic cells).

As explained above, the proposed building height and boundary setbacks satisfy the applicable Development Plan guidelines. Notwithstanding this, the applicant has prepared shadow diagrams that represent the shadow cast by the development at 9am, midday and 3pm on 21 June (winter solstice – worst case scenario).

These shadow diagrams indicate:

- Overshadowing will not be encountered by the representor through the morning on 21 June.
- The proposal will overshadow the north-western side of 31 First Avenue and portion of the roof.
- The proposal will not overshadow the primary open space area or the main internal living area of 31 First Avenue.
- The dwelling at 31 First Avenue does not have solar collectors on the roof.

On this basis, the proposal largely satisfies Principle 17 with respect overshadowing.

Further, I note that the dwelling at 31 First Avenue is constructed close to the north-western boundary and on an excavated site; in this respect, some level of overshadowing is unavoidable. Regardless, the level of shadow cast by the proposal will not be detrimental to neighbouring amenity and the proposal reasonably minimises overshadowing through its compliant building height and boundary setbacks.

Property Values

The representor has raised concern about the value of their properties, implying a reduction will be encountered as a result of the proposed development.

These comments are simply speculative and an effect upon land values is not contemplated by the Development Plan. This is not a valid planning matter in this circumstance.

Conclusion

I trust I have addressed the concerns raised by the representor in sufficient detail.

We now look forward to your support acknowledging that this application displays a high degree of planning merit to warrant Development Plan Consent.

Please call me on 8333 7999 if you have any questions in respect of this matter.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Philip Harnett', with a stylized, cursive script.

Philip Harnett

Associate



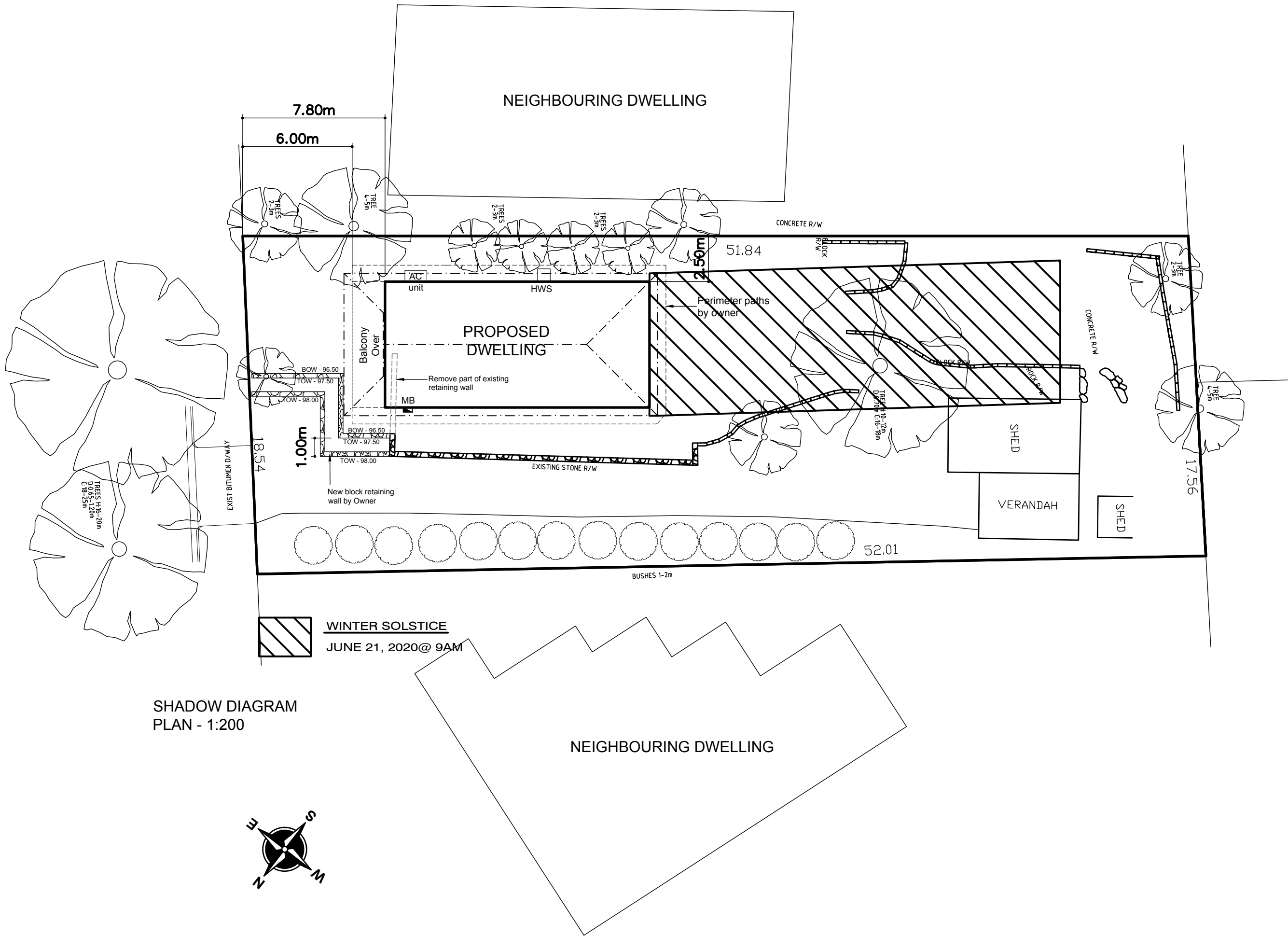
NEIGHBOURING DWELLING



RISE
@ 12PM

NEIGHBOURING DWELLING

ITAWARRA PLACE



SHADOW DIAGRAM
PLAN - 1:200