

COUNCIL ASSESSMENT PANEL MEETING

12 May 2021

AGENDA – 8.4

Applicant: Ryan & Rebeka Probert	Landowner: R A & R Probert
Agent: N/A	Originating Officer: Sarah Davenport
Development Application:	21/60/473
Application Description: Single storey detached dwelling, two water tanks (22,500L) & associated earthworks & change of use of existing dwelling to domestic outbuilding	
Subject Land: Sec: 882 HDP:105500 CT:5383/693	General Location: 44 Orana Drive Mylor Attachment – Locality Plan
Development Plan Consolidated : 8 August 2019 Map AdHi/3 & 42	Zone/Policy Area: Watershed (Primary Production) Zone - Rural Landscape Policy Area
Form of Development: Merit	Site Area: 4.84 hectares
Public Notice Category: Category 1	Representations Received: N/A Representations to be Heard: N/A

1. EXECUTIVE SUMMARY

The purpose of this application is to obtain Development Plan Consent for the development of a new single storey detached dwelling along with the decommissioning and conversion of the existing dwelling to be a domestic outbuilding.

The subject land is located within the Watershed (Primary Production) Zone - Rural Landscape Policy Area and the proposal is a Category 1 'consent on merit' form of development, therefore no public notification process is required or permitted.

As per the Adelaide Hills Council Instrument of Delegation "D" made pursuant to the *Planning, Development and Infrastructure Act 2016*, the CAP is the relevant authority, in all circumstances where a development application is lodged for a staff member, elected member or person engaged by Council, and the Assessment Manager determines the matter warrants delegation to the CAP. The application has been considered by the Assessment Manager who has determined delegation to the Council Assessment Panel should be exercised to ensure the decision process is transparent.

The main issue relating to the proposal is a transparent process with regards to a new development proposed by a staff member. In all other respects the proposal of a *detached dwelling* and *domestic outbuilding*, is a 'merit' form of development in the zone, and are contemplated by planning policy.

In consideration of all the information presented, and following an assessment against the relevant zone and Council Wide provisions within the Development Plan, staff are recommending that the proposal be **GRANTED** Development Plan Consent, subject to conditions

2. DESCRIPTION OF THE PROPOSAL

The proposal is for the following:

- Single-storey detached dwelling.
- Two additional Water Tanks of 22,500 litres.
- Associated earthworks for the dwelling site.
- De-commissioning of the existing detached dwelling and conversion for use as a domestic outbuilding.

The proposed dwelling is dimensioned 23.68 metres in length x 12.51 metres in width (overall dimensions include under main roof double garage and alfresco) with a height of 5.0 metres above natural ground level and 4.0 metres from the finished pad level to the topmost point of the skillion roof. The proposed building is to be upon a prepared pad on the gently sloping site with a maximum of 1.0 metre of fill at the north-eastern aspect of the dwelling's footprint and a small proportion of excavation at the dwelling's south-western corner.

The dwelling is to be situated some 57 metres from the Orana Drive frontage, approximately 89 metres from the nearest part of the eastern side boundary, 86 metres from the western side boundary and approximately 167 metres from the northern (rear) property boundary.

The proposed dwelling maintains separation distances of approximately 15 metres from the existing dwelling (to be converted to domestic outbuilding), approximately 58 metres to the existing outbuilding to the north and approximately 40 metres to the existing shed to the south-west.

The proposed building is to be finished in a composite of external materials and finishes including weathertex 'weathergroove' vertically expressed plank external cladding in 'natural' (timber texture and appearance) finish with window & door frames, external posts, panel lift door, downpipes and trims in Colorbond © 'monument' and roof sheeting in Colorbond © 'monument'.

The existing dwelling on the site is to be retained, in a decommissioned state, with plumbing services and kitchen/bathroom fixtures to be removed such that it can be converted to, and used as a domestic outbuilding for domestic storage.

The proposed plans are included as **Attachment – Proposal Plans** with other information included as **Attachment – Application Information**.

3. BACKGROUND AND HISTORY

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
22/9/2020	783/20	Domestic outbuilding

4. REFERRAL RESPONSES

The applicant provided a pre-lodgement advice from the SA Country Fire Service (CFS) with their application. The Council therefore use this advice instead of undertaking a referral pursuant to Section 37 of the Act and Schedule 8 of the *Development Regulations 2008*, as the proposed development is situated within the High Bushfire Risk Zone as provided in Bushfire Protection Area Figure AdHi(BPA)/1.

- **CFS**

The applicant has undertaken formal pre-lodgement consultation with the SA Country Fire Service pursuant to Section 37AA of the Act, the details and the response are accordingly included as part of the lodgement detail pursuant to Section 37 and Schedule 8.

The CFS have assessed the Bushfire Attack Level of the site as BAL 19 and assessed the plans and details for the proposal raising no objection to the proposal subject to a group of standard conditions (refer recommended conditions 5-8).

- **AHC EHU**

Council's Environmental Health Officer has granted approval to install a waste water treatment system (refer 21/W055/473).

The above responses are included as **Attachment – Referral Responses**.

5. CONSULTATION

The application was categorised as a Category 1 form of development not requiring formal public notification pursuant to Schedule 9 Part 1 (2)(a).

6. PLANNING & TECHNICAL CONSIDERATIONS

This application has been evaluated in accordance with the following matters:

- i. The Site's Physical Characteristics

The subject land is 4.84 hectares in area and contains an existing dwelling, outbuildings and shed. The land is gently sloping with a gradient of approximately 1:8 with the land sloping away from its high point in the south-eastern corner to its low point in the north-eastern corner.

The land is generally cleared featuring intermittent vegetation, with the exception of established vegetation about the existing & proposed dwellings location and along part of the eastern side boundary. The latter appears to be part of an artificial drainage course from a dam adjacent to the south (Allotment 2 in FP11712).

- ii. The Surrounding Area

The surrounding locality exhibits undulating land and allotments of similar proportions in the size range of 0.5 of a hectare to 4 hectares typically. The locality exhibits areas of substantial vegetation, more prominent and dense in the steeper hillsides on the northern side of Leslie Creek Road.

Allotments typically exhibit single detached dwellings, domestic and rural related outbuildings upon the large land holdings and often have dams associated with hobby farming activities, horse keeping and low intensity horticulture.

iii. Development Plan Policy considerations

a) *Policy Area/Zone Provisions*

The subject land lies within the **Watershed (Primary Production) Zone** and **Rural Landscape Policy Area** and these provisions seek:

- *to maintain and enhance natural resources of the Mount Lofty Ranges particularly water resources.*
- *to protect the long term sustainability of primary production activities.*
- *to enhance amenity and landscape value through preservation and restoration of native vegetation.*
- *to support and develop the tourism industry with accommodation, attractions & facilities and increase visitation and overnight stays in the region; and*
- *to support Primary Production and low density rural living land uses within the Policy Area and exclude incompatible land uses in these areas.*

The following are considered to be the relevant **Rural Landscape Policy Area** provisions:

Objectives: 1, 2, 3 & 4
PDCs: 2, 5 & 6

The following are considered to be the relevant **Watershed (Primary Production) Zone** [W (PP)] provisions:

Objectives: 4 & 5
PDCs: 1, 2, 3, 8, 9, 11, 14, 15, 16, 23, 29, 39 & 70

Accordance with the Watershed (Primary Production) Zone and Policy Area

The proposal is not offensive or prejudicial to the intent of the W(PP) zone and it is aligned with the Rural Landscape Policy Area provisions which actively seek to establish rural living type land uses amongst more dedicated primary production land uses provided that proposed developments are compatible and maintain desired characteristics and amenity of the locality.

The building will not impair the amenity of the locality as the dwelling itself is low profile and incorporates dark natural colours and low reflectivity finishes which will blend in with the surrounding natural and built environment.

The existing dwelling, which is to be converted to an outbuilding and used for domestic storage, is of little consequence to the overall development and is substantially concealed behind the existing vegetation on the property's front boundary.

The applicant's indication that the existing dwelling structure is to be demolished in the future should not be relied upon as the building is proposed to be formally converted in Planning and Building rules respects in this application. Accordingly a condition is recommended to limit the use of the existing building as an outbuilding (refer to recommended condition 4).

Form of Development

Development of dwellings in the subject Zone and Policy area is clearly contemplated by the Development Plan, specifically by PDC 23 and where development will contribute to a *scenically attractive, and pleasant rural character*.

The proposal will establish a detached dwelling with adequately low profile and contemporary built form which will be situated inconspicuously within the rural / semi-rural environment.

Appropriateness of Proposal in Locality

The proposed development is highly unlikely to present any dissimilar or conflicting land use issues within the nearby or broader locality as it shares similar characteristics of rural living land uses, and contains detached dwellings and outbuildings developed on the surrounding land parcels.

Appearance of Land and Buildings

PDCs 1, 2, 11 & 14 seek buildings that have a high standard of design, with respect to external appearance, choice of materials and colours, being sited to blend with, preserve and enhance the character and amenity of the locality which is considered to be satisfied by the proposed new dwelling's design, appearance and siting.

Conservation

The proposed development does not represent any conflicts with the conservation values of the Zone or Policy Area. A small proportion of vegetation is to be affected by the siting of the building. However, this vegetation appears to have been established with, and generally about the same time as the existing dwelling and is not considered to be of a high conservation value.

Notably the existing landscaping/vegetation at the site frontage includes non-native species, feral blackberry, fruit trees, poplar, prickly pear and Aleppo pine trees, some of which are invasive or *declared* pest species in the Landscapes SA Adelaide Hills and Mt Lofty Natural Resources Management area.

b) *Council Wide provisions*

The **Council Wide** provisions of relevance to this proposal seek (in summary):

- *appropriate design and appearance standards for buildings.*
- *orderly and sustainable development.*
- *avoidance of incompatible land uses.*
- *residential development meeting appropriate standards.*

The following are considered to be the relevant **Council Wide** provisions:

Design and Appearance

Objectives: 1

PDCs: 1, 3, 9 & 18

Interface between Land Uses

Objectives: 1

PDCs: 2 & 15

Hazards

Objectives: 1, 2 & 5

PDCs: 1, 7 & 8

Orderly and Sustainable Development

Objectives: 1, 3, 4 & 6

PDCs: 1 & 2

Residential Development

Objectives: 1 & 2

PDCs: 9, 13 & 14

Siting and Visibility

Objectives: 1

PDCs: 1, 2, 3, 4, 6, 7, 9, & 10

The proposal does not intend to change the land use as there has been long established residential development on the subject land. The proposal does however better accord with the Council Wide provisions of the Development Plan through improved siting of the new dwelling. This includes increased setbacks from larger trees and heavier vegetation which could pose a risk to the siting of the existing dwelling from a bushfire perspective, and by developing a much higher standard of design and finish of the built form in the locality.

It is noted that the siting of the proposed new dwelling will be substantially concealed from clear and direct view and similarly, the existing dwelling which is to be retained and used as a domestic outbuilding, is also concealed by existing vegetation.

The proposal provides for all necessary requirements for residential development including augmenting the existing water supply associated with the existing shed and dwelling which will ensure both potable domestic and firefighting water supplies are adequate for the development.

The site affords more than adequate space for an on-site wastewater treatment system and disposal areas to be established on the land and does not represent any risk to water resources, with the nearest watercourse situated some 450 metres to the north, on the opposite side of Leslie Creek Road. The nearest dam is also in excess of 100 metres from the proposed development and wastewater infrastructure, with other dams in the order of 200 metres from the wastewater disposal area.

The proposed dwelling is not considered to address risk from a bushfire. However, the CFS advice identifies a bushfire attack level of BAL 19 which can be adequately satisfied with conventional building work. As a result of development on the site and renewed residential use, the land is likely to be managed to a higher degree with adequate measures to reduce the bushfire risk in the areas immediately surrounding the new dwelling, shed and outbuilding. The proposal is therefore considered to address the above Council Wide provisions related to design and appearance, interface between development uses, hazards, orderly and economic development, residential development and siting and visibility.

The proposed development provides clustered and inconspicuous development of the land in a manner which is consistent with the intent of the Zone and particularly the Policy Area and is complimentary to the development and land uses in the surrounding locality.

c) Other Considerations

The existing dwelling is to be converted to a domestic outbuilding and is proposed to be adequately decommissioned by way of removal of the internal fixtures, such as the laundry, kitchen and bathroom fittings, and capping of the plumbing and drainage.

The existing wastewater system will also be decommissioned in accordance with the relevant environmental health requirements.

7. SUMMARY & CONCLUSION

The proposal assessed against the provisions of the Adelaide Hills Development Plan is considered to demonstrate considerable merit insofar that it vastly improves upon the existing form and appearance of the dwelling, notwithstanding the existing dwelling will be retained for domestic outbuilding use/storage.

The proposal otherwise suitably blends within the surrounding rural/semi-rural environment in which it will be situated, is of a high standard of design and appearance and is considered highly unlikely to create any interface issues with surrounding land uses.

The proposed development neither establishes any unreasonable risk or susceptibility to bushfire and will not propagate or perpetuate any risk to the environmental values of the Watershed Protection Area.

The proposal is therefore considered to be sufficiently consistent with the relevant provisions of the Development Plan, and it is considered the proposal is not seriously at variance with the Development Plan. In the view of staff, the proposal has sufficient merit to warrant consent. Staff therefore recommend that Development Plan Consent be **GRANTED**, subject to conditions.

8. RECOMMENDATION

That the Council Assessment Panel considers that the proposal is not seriously at variance with the relevant provisions of the Adelaide Hills Council Development Plan, and GRANTS Development Plan Consent to Development Application 21/60/473 by Ryan & Rebeka Probert for Single storey detached dwelling, two water tanks x (22,500L) & associated earthworks & change of use of existing dwelling to domestic outbuilding at 44 Orana Drive Mylor subject to the following conditions:

(1) Development In Accordance With the Plans

The development herein approved shall be undertaken in accordance with the following plans, details and written submissions accompanying the application, unless varied by a separate condition:

- Maxwell Consulting Engineers plans SD1 and S1 amended 31 March 2021
- E Design Plans - Sheets 1.1, 1A, 1B, 2.1, 3.1, 4.1, 5.1, 6.1 and 7 all amended 27 February 2021

(2) External Finishes

The external finishes to the building herein approved shall be as follows:

WALLS: Weathertex 'weathergroove' or similar
ROOF: Colorbond © 'monument' or similar

(3) Driveways

Driveways shall be constructed with hard-standing, all-weather materials and designed to provide safe and convenient all weather access.

(4) Restriction On the Use of the Outbuilding

The converted outbuilding shall not be used for human habitation, commercial or industrial purposes. Any such activity may constitute a change in use and will require separate development approval.

SA Country Fire Services Conditions of Consent:

(5) Access to Dwelling

Access to the building site shall be of all-weather construction, with a minimum formed road surface width of 3 metres and must allow forward entry and exit for large fire-fighting vehicles.

The all-weather road shall allow fire-fighting vehicles to safely enter and exit the allotment in a forward direction by incorporating either:

- A loop road around the building, OR
- A turning area with a minimum radius of 12.5 metres, OR
- A 'T' or 'Y' shaped turning area with a minimum formed length of 11 metres and minimum internal radii of 9.5 metres.

Private access shall have minimum internal radii of 9.5 metres on all bends.

Vegetation overhanging the access road shall be pruned to achieve a minimum vehicular clearance of not less than 4 metres in width and a vertical height clearance of 4 metres.

(6) Access to dedicated water supply

The water supply outlet shall be easily accessible and clearly identifiable from the access way and at a distance of no greater than 30 metres from the proposed dwelling:

- **The dedicated water supply and its location should be identified with suitable signage (i.e. blue sign with white lettering “FIRE WATER”).**
- **Access to the dedicated water supply shall be of all-weather construction, with a minimum formed road surface width of 3 metres.**
- **Provision shall be made adjacent to the water supply for a flat hardstand area (capable of supporting fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes) that is a distance equal to or less than 6 metres from the water supply outlet.**
- **SA CFS appliance inlet is rear mounted; therefore the outlet/water storage shall be positioned so that the SA CFS appliance can easily connect to it rear facing.**
- **A gravity fed water supply outlet may be remotely located from the tank to provide adequate access.**
- **All non-metal water supply pipes for bushfire fighting purposes (other than flexible connections and hoses for fire-fighting) shall be buried below ground to a minimum depth of 300mm with no non-metal parts above ground level.**
- **All water supply pipes for draughting purposes shall be capable of withstanding the required pressure for draughting.**

(7) Water Supply

A minimum supply of 22,000 litres of water shall be available at all times for bushfire fighting purposes.

- **The minimum requirement of 22,000 litres may be combined with domestic use, providing the outlet for domestic use is located above the 22,000 litres of dedicated fire water supply in order for it to remain as a dedicated supply.**
- **The bushfire fighting water supply shall be clearly identified and fitted with an outlet of at least 50mm diameter terminating with a compliant SA CFS fire service adapter, which shall be accessible to bushfire fighting vehicles at all times.**
- **The water storage facility (and any support structure) shall be constructed of non-combustible material.**
- **The dedicated fire-fighting water supply shall be pressurised by a pump that has –**
 - i. A minimum inlet diameter of 38mm, AND**
 - ii. Is powered by a petrol or diesel engine with a power rating of at least 3.7kW (5hp), OR**
 - iii. A pumping system that operates independently of mains electricity and is capable of pressurising the water for fire-fighting purposes.**
- **The dedicated fire-fighting water supply pump shall be located at or adjacent to the habitable building to ensure occupants safety when operating the pump during a bushfire. An ‘Operations Instruction Procedure’ shall be located with the pump control panel.**

- The fire-fighting pump and any flexible connections to the water supply shall be protected by a non-combustible cover that allows adequate air ventilation for efficient pump operation.
- All bushfire fighting water pipes and connections between the water storage facility and a pump shall be no smaller in diameter than the diameter of the pump inlet.
- All non-metal water supply pipes for bushfire fighting purposes (other than flexible connections and hoses for fire-fighting) shall be buried below ground to a minimum depth of 300mm with no non-metal parts above ground level.
- A fire-fighting hose (or hoses) shall be located so that all parts of the building are within reach of the nozzle end of the hose and if more than one hose is required they should be positioned to provide maximum coverage of the building and surrounds (i.e. at opposite ends of the habitable building).
- All fire-fighting hoses shall be capable of withstanding the pressures of the supplied water.
- All fire-fighting hoses shall be of reinforced construction manufactured in accordance with AS2620 or AS 1221.
- All fire-fighting hoses shall have a minimum nominal internal diameter of 18mm and a maximum length of 36 metres.
- All fire-fighting hoses shall have an adjustable metal nozzle, or an adjustable PVC nozzle manufactured in accordance with AS 1221.
- All fire-fighting hoses shall be readily available at all times.

(8) Vegetation

A vegetation management zone (VMZ) shall be established and maintained within 20 metres of the habitable building (or to the property boundaries – whichever comes first) as follows:

- i. The number of trees and understorey plants existing and to be established within the VMZ shall be reduced and maintained such that when considered overall a maximum coverage of 30% is attained, and so that the leaf area of shrubs is not continuous. Careful selection of the vegetation will permit the 'clumping' of shrubs where desirable, for diversity, and privacy and yet achieve the 'overall maximum coverage of 30%'.
- ii. Reduction of vegetation shall be in accordance with SA Native Vegetation Act 1991 and SA Native Vegetation Regulations 2017.
- iii. Trees and shrubs shall not be planted closer to the building(s) than the distance equivalent to their mature height.
- iv. Trees and shrubs must not overhang the roofline of the building, touch walls, windows or other elements of the building.
- v. Shrubs must not be planted under trees and must be separated by at least 1.5 times their mature height.
- vi. Grasses within the zone shall be reduced to a maximum height of 10cm during the Fire Danger Season.
- vii. No understorey vegetation shall be established within 1 metre of the habitable building (understorey is defined as plants and bushes up to 2 metres in height).
- viii. Flammable objects such as plants, mulches and fences must not be located adjacent to vulnerable parts of the building such as windows, decks and eaves
- ix. The VMZ shall be maintained to be free of accumulated dead vegetation.

Compliance with the fire protection requirements is not a guarantee the habitable building will not burn, but its intent is to provide a 'measure of protection' from the approach, impact and passing of a bushfire.

NOTES

(1) **Development Plan Consent Expiry**

Development Plan Consent (DPC) is valid for a period of twenty four (24) months commencing from the date of the decision or, if an appeal has been commenced the date on which the appeal is determined.

Building Consent must be applied for prior to the expiry of the DPC and lodged through the PLANSA portal unless a private certifier was engaged prior to 19 March 2021. The time period may be further extended by Council agreement following written request and payment of the relevant fee.

(2) **Erosion Control During Construction**

Management of the property during construction shall be undertaken in such a manner as to prevent denudation, erosion or pollution of the environment.

(3) **EPA Environmental Duty**

The applicant is reminded of his/her general environmental duty, as required by Section 25 of the Environment Protection Act 1993, to take all reasonable and practical measures to ensure that the activities on the whole site, including during construction, do not pollute the environment in a way which causes, or may cause, environmental harm.

(4) **Department of Environment and Water (DEW) - Native Vegetation Council**

The applicant is advised that any proposal to clear, remove limbs or trim native vegetation on the land, unless the proposed clearance is subject to an exemption under the Regulations of the Native Vegetation Act 1991, requires the approval of the Native Vegetation Council. The clearance of native vegetation includes the flooding of land, or any other act or activity that causes the killing or destruction of native vegetation, the severing of branches or any other substantial damage to native vegetation. For further information visit:

[www.environment.sa.gov.au/Conservation/Native_Vegetation/
Managing_native_vegetation](http://www.environment.sa.gov.au/Conservation/Native_Vegetation/Managing_native_vegetation)

Any queries regarding the clearance of native vegetation should be directed to the Native Vegetation Council Secretariat on 8303 9777. This must be sought prior to Full Development Approval being granted by Council.

9. ATTACHMENTS

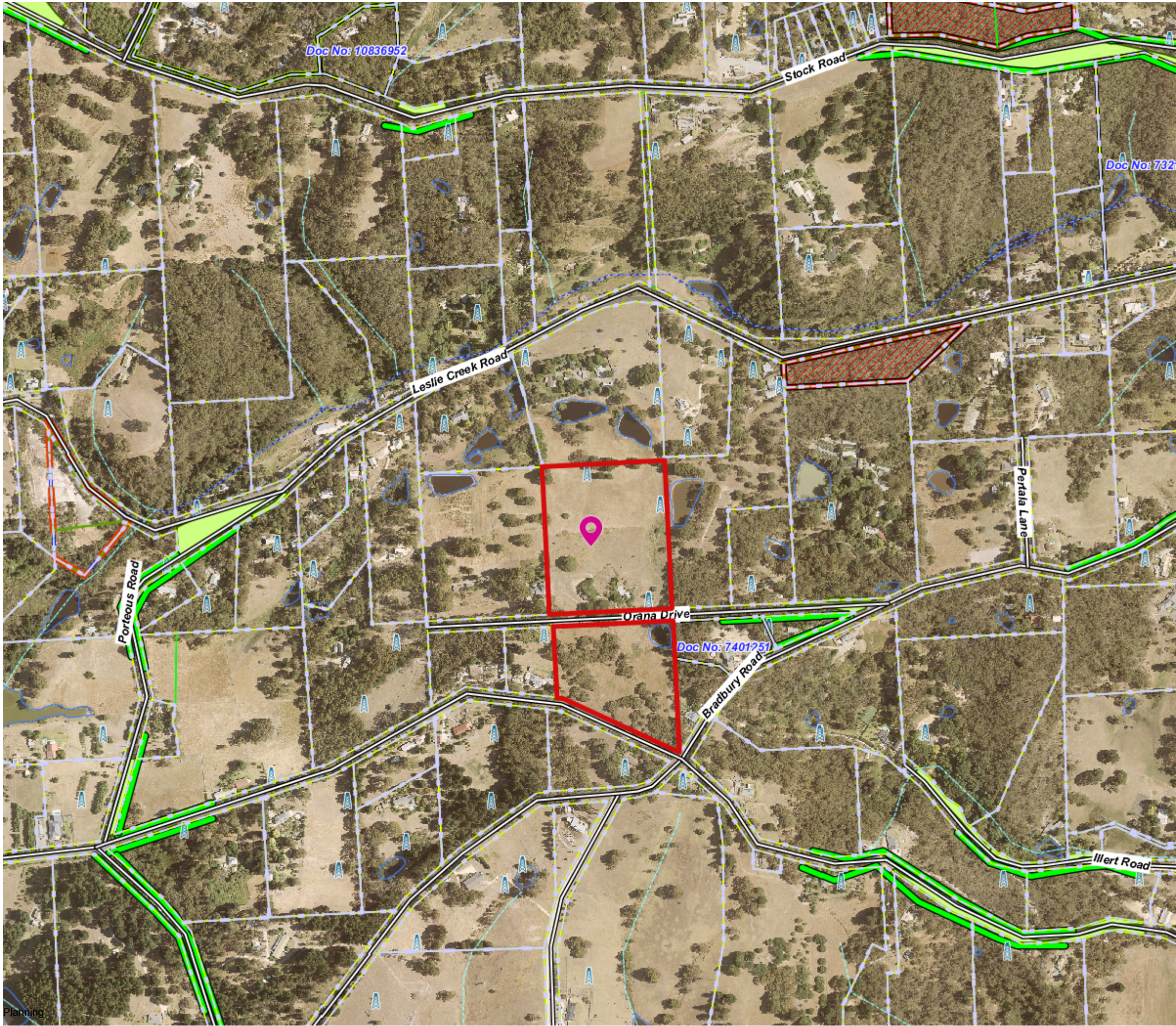
Locality Plan
Proposal Plans
Application Information
Referral Responses

Respectfully submitted

Concurrence

Sarah Davenport
Statutory Planner

Deryn Atkinson
Assessment Manager



Annotations

- Subject Land

Planners Summary

- PlanningSummary

AHC Core

- Parks
- Townships
- RoadsStreetView
 - ADJOINING LGA RD
 - AHC & PRIVATE
 - AHC RD
 - DPTI RD
 - PRIVATE RD
 - SHARED RD

- PropertyOwner
- Parcels
- Roads
- Suburbs
- Rivers
 - River
 - Creeks
 - Streams

Stormwater Updated

Zones_ Policy & Landuse

- Zones
- Policy

LMAs & Heritage

- LMA LSG Sourced
- LMA AHC Sourced
- HeritageITEMs
 - Local
 - State

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DrillHoles (Bores) & Surface Water

- Drill Holes (aka Bores)
- Waterbodies (Dams)
- Rivers
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 - Intermittent Stream
 - Stream

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ADELAIDE HILLS COUNCIL
RECEIVED 6 April 2021

LEGEND

- EXISTING SPOT LEVEL
(TAKEN BY BUILDER)
- EXISTING CONTOURS
- Ø100 UPVC
STORMWATER LINE
(MIN. 1 IN 100 GRADE U.N.O.)
- Ø100 UPVC SEALED
ROOFWATER SYSTEM
(MIN 1 IN 100 GRADE U.N.O.)
- PM
PUMPING MAIN (TO STREET
WATER TABLE)
- DN
DN100 DOWNPIPE
- PROVIDE AT LEAST 7
DOWNPIPES OF DN100 SIZE,
EACH CONNECTED TO NO
MORE THAN 65m² OF ROOF
AREA
- 300SQ GRATED DRAINAGE PIT
- BATTER (1 IN 2 U.N.O.)
- DRAINAGE INDICATOR
- SURFACE DRAIN TO FOLLOW
GROUND SURFACE
- PERIMETER PAVING TO BE MIN.
1m WIDTH WITH 5% FALL
- PAVED/SEALED AREA
- COMPACTED GRAVEL/ROAD BASE
- FL
UFL
LFL
BL
SL
TBM
RW HT
BRW
- POURED SLAB LEVEL
UPPER FLOOR LEVEL
LOWER FLOOR LEVEL
BENCH PLATFORM LEVEL
SURFACE LEVEL
TEMPORARY BENCH MARKER
RETAINING WALL HEIGHT
TOP OF RETAINING WALL
BOTTOM OF RETAINING WALL

STORMWATER SURFACE DRAIN
DISCHARGE VIA
SPREADER PIPE WITH 100-150mm
ROCK PITCHING SURROUNDING PIPE
TO CONTROL EROSION

SW PIPES TO BE EXTENDED
DOWNSLOPE UNTIL GRAVITY FLOW
IS ACHIEVED

ENSURE STORMWATER DISCHARGES
CLEAR OF WASTEWATER DISPOSAL

ALL DRAINS MUST BE
SET INTO NATURAL
GROUND, NOT FILL

STORMWATER SURFACE
DRAIN DISCHARGE VIA
SPREADER PIPE WITH
100-150mm ROCK
PITCHING SURROUNDING
PIPE TO CONTROL
EROSION

SPOON DRAIN
TO DIRECT
DISCHARGE
TO GRATED
DRAINS

UNLINED SWALE DRAINS TO
DIRECT OVERLAND FLOWS
AWAY FROM THE RESIDENCE

ALL SURFACE DRAINS REQUIRE
SEASONAL MAINTENANCE BY
THE OWNER

300mm WIDE
GRATED STRIP DRAIN
TO CAPTURE RUN-OFF
FROM DRIVEWAY

WHERE ACHIEVABLE, INTRODUCE A
SPOON THROUGH THE DRIVEWAY TO
TO DIRECT RUN-OFF AWAY FROM
STORMWATER DRAINAGE

ROOFWATERS TO BE CONNECTED TO 22500L
RAINWATER TANK VIA A SEALED SYSTEM

MASTER PLUMBER REQUIRED TO CONNECT
THE ROOF DRAINAGE SYSTEM TO THE
RAINWATER TANK, AND FROM THE TANK
BACK TO THE RESIDENCE FOR REUSE (MIN.
1000L REQUIRED)

UNLINED SWALE DRAINS TO
DIRECT OVERLAND FLOWS
AWAY FROM THE RESIDENCE

ALL SURFACE DRAINS REQUIRE
SEASONAL MAINTENANCE BY
THE OWNER

WASTEWATER
DISPOSAL AS PER
WASTEWATER
DESIGN

SEPTIC TANK AS PER
WASTEWATER
DESIGN

ALL SURFACE DRAINS
AND DISCHARGE MUST
BE DIRECTED AWAY
FROM WASTEWATER
DISPOSAL AREAS

EXISTING RESIDENCE
TO BE
DECOMMISSIONED

GENERAL & SURVEY NOTES
ALL DETAILS ON ENGINEERING SURVEY MUST BE
CONFIRMED ONSITE PRIOR TO UNDERTAKING WORKS

WHERE BOUNDARY PEGS CANNOT BE FOUND, A
BOUNDARY IDENTIFICATION SURVEY IS REQUIRED

DEPTH AND LOCATION OF EXISTING SERVICES TO BE
DETERMINED BY CONTRACTOR

CERTIFICATE OF TITLE TO BE REFERENCED FOR
EASEMENT DETAILS

THIS DOCUMENT IS TO BE READ IN CONJUNCTION
WITH THE FOOTING REPORT

ENGINEER TO BE CONTACTED IF DISCREPANCIES ARE
FOUND

BENCH PLATFORM
BUILDING AREA TO BE BENCHMARKED TO 200mm BELOW
THE POURED SLAB LEVEL WHERE A SLAB IS USED

PERIMETER AROUND BUILDING (1m) TO BE GRADED
AWAY AT 1 IN 20 FALL U.N.O.

GRADED AREAS TO BE GRADED AWAY AT 1 IN 200
(U.N.O.) OR STEEPER

1:2 CUT/FILL BATTERS SHOWN, U.N.O.
BATTERS SHOWN ARE INDICATIVE AND MAY VARY
WITH SITE CONDITIONS

STORMWATER/SEWER PIPES:
STORMWATER PIPES TO BE LAID AS PER AS3500

MINIMUM COVER AND GRADE TO BE MAINTAINED
U.N.O.

WHERE COVER CANNOT BE MAINTAINED, PIPE TO BE
ENCASED IN CONCRETE 100mm THICK OR ENCASED
WITHIN A CAST IRON SLEEVE OF 2.9mm FOR
PEDESTRIAN TRAFFIC AND 5mm FOR LIGHT VEHICLE
TRAFFIC

STORMWATER PIPES TO BE SET AND BACKFILLED TO
AS 3725: 2007

STORMWATER PIPES MUST NOT BE SUSPENDED
THROUGH FILL - THIS MAY REQUIRE DEEP DRAINS TO
BE INSTALLED, OR SUPPORTING STRUCTURES
CONSTRUCTED TO PROVIDE A STABLE BASE TO LAY THE
PIPES

LAGGING AND FLEXIBLE CONNECTIONS
SITE CLASSIFICATION: TO BE CONFIRMED VIA SOIL
CLASSIFICATION AND FOOTING REPORT

LAGGING THICKNESS TO BE CONFIRMED VIA SOIL
CLASSIFICATION AND FOOTING REPORT
AS GENERAL SPECIFICATIONS:
PROVIDE MIN. 20mm THICK LAGGING FOR A, S, M,
H1 & SITES
INCREASE TO 40mm THICK LAGGING FOR H2-D, E & P
SITES

FLEXIBLE CONNECTIONS LIKELY REQUIRED

LAGGING TO BE PROVIDED FOR ALL PIPE
PENETRATIONS THROUGH FOOTING BEAMS

ADDITIONAL STORMWATER SYSTEM NOTES
ALL COMPONENTS OF THE STORMWATER DRAINAGE
SYSTEM (SUCH AS GRATED PITS, STRIP DRAINS, SPOON
DRAINS, SUMPS ETC) SHOWN ARE TO BE PROVIDED BY
THE OWNER TO ENSURE THAT ALL SURFACE WATER IS
CAPTURED AND DISCHARGED TO THE INTENDED
LOCATIONS (TOWARDS THE NATURAL DRAINAGE PATH
LEADING TO THE DAM) BY THE NOMINATED METHODS

ADDITIONAL ROOFWATER SYSTEM NOTES
ALL COMPONENTS OF THE ROOFWATER DRAINAGE
SYSTEM ARE TO BE PROVIDED BY THE OWNER
FOR SEALED SYSTEMS, PROVIDE FLEXIBLE
CONNECTIONS AT BASE OF DOWNPIPES.

A	31/03/21	Initial release

AMENDMENTS

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MAXWELL CONSULTING ENGINEERS
ABN: 85 600 518 741 AON: 600 518 741
12 James Schofield Dr, Adelaide Airport, 5950
Phone: 0424 795 745
Email: engineering@maxwellprojectservices.com.au

CLIENT:	PROBERT RESIDENCE
PROJECT TITLE:	ME1692
SITE ADDRESS:	44 ORANA DRIVE MYLOR
DRAWING TITLE:	SITEWORKS & DRAINAGE PLAN
SHEET NO.:	SD1
SCALE:	1:200 @ A2
DATE:	31/03/21
DESIGNED:	SY
DRAWN:	SY

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SITEWORKS &
DRAINAGE PLAN



EXISTING RESIDENCE TO
BE DECOMISSIONED

THE LOCATIONS SHOWN ARE
APPROXIMATE DUE TO THE
SURVEY EXTENT

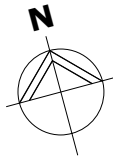
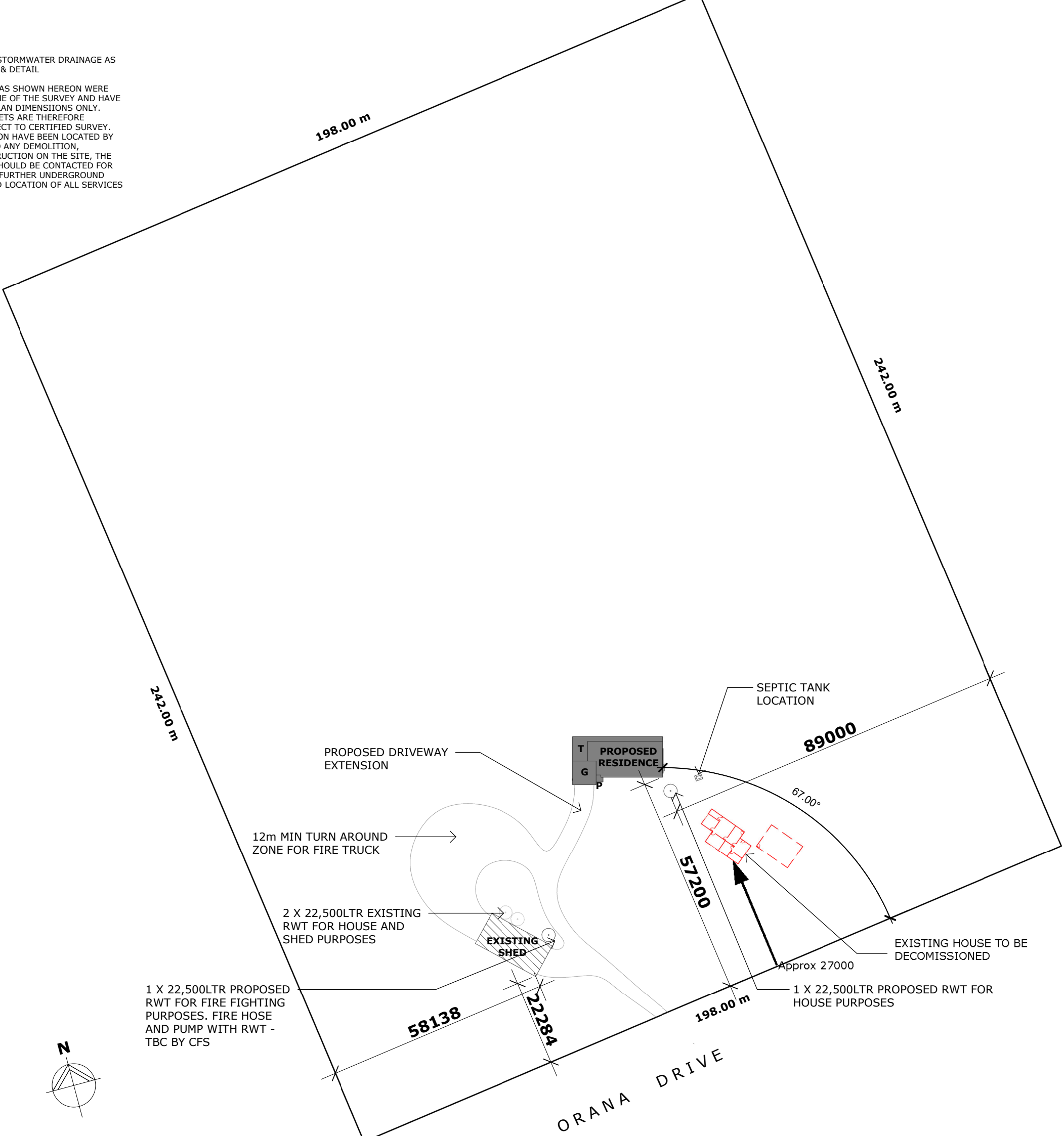
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SITE NOTES:

SITE WORKS, LEVELS & STORMWATER DRAINAGE AS
PER ENGINEERS DESIGN & DETAIL

THE TITLE BOUNDARIES AS SHOWN HEREON WERE
NOT MARKED AT THE TIME OF THE SURVEY AND HAVE
BEEN DETERMINED BY PLAN DIMENSIONS ONLY.
HOUSE AND FENCE OFFSETS ARE THEREFORE
PRELIMINARY AND SUBJECT TO CERTIFIED SURVEY.
SERVICES SHOWN HEREON HAVE BEEN LOCATED BY
FIELD SURVEY. PRIOR TO ANY DEMOLITION,
EXCAVATION OR CONSTRUCTION ON THE SITE, THE
RELEVANT AUTHORITY SHOULD BE CONTACTED FOR
POSSIBLE LOCATION OF FURTHER UNDERGROUND
SERVICES AND DETAILED LOCATION OF ALL SERVICES

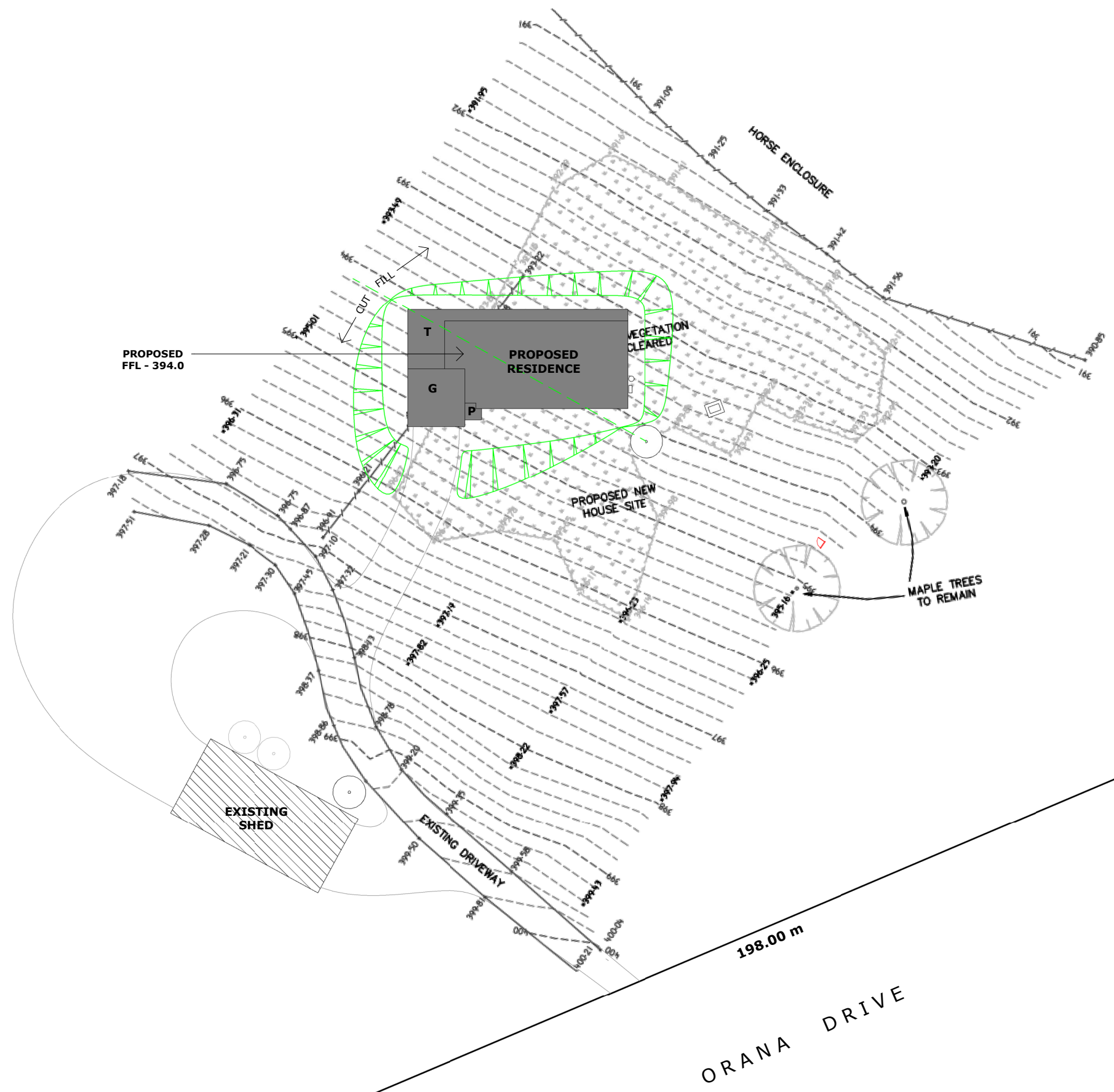


PROPOSED DWELLING

SITE
RYAN AND REBEKA PROBERT
44 ORANA DRIVE,
MYLOR

DATE: 27.2.21 SCALE: 1 : 1000 SHEET: 1 VERSION: 1

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design

PROPOSED DWELLING

SURVEY SITE PLAN

RYAN AND REBEKA PROBERT

**44 ORANA DRIVE,
MYLOR**

DATE: 27.2.21 SCALE: 1 : 500 SHEET: 1A VERSION:

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design

PROPOSED DWELLING

CONTEXT SITE PLAN

RYAN AND REBEKA PROBERT

**44 ORANA DRIVE,
MYLOR**

DATE: 27.2.21 SCALE: 1 : 1000 SHEET: 1B VERSION:

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GENERAL BUILDING NOTES:

THIS RESIDENCE TO BE CONSTRUCTED IN ACCORDANCE WITH THE BCA AND TO AUSTRALIAN STANDARDS

WEATHERTEX WEATHERGROOVE NATURAL 150MM EXTERNAL CLADDING, 90mm TIMBER STUD CONSTRUCTION, PROCLIMA WRAPPED EXTERNALLY OF STUDS, 13MM PLASTERBOARD INTERNALLY

COLORBOND SHEET ROOF AT 5 DEG PITCH 600mmW x 900mmH BULKHEAD OVERHANG

WAFFLE POD CONCRETE SLAB CONSTRUCTION AS PER ENGINEERS REPORT

ALL BRICK PIERS SHALL BE REINFORCED AS PER ENGINEERS REPORT

2700H CEILING HEIGHT

WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALE. CONTRACTORS / TRADES SHALL CHECK ALL INFORMATION / DOCUMENTATION IS CORRECT PRIOR TO COMMENCING WORK AND ORDERING OF MATERIALS. ALL INTERNAL DIMENSIONS SHOWN DENOTE TIMBER STUD FRAME TO TIMBER STUD FRAME DIMENSIONS. WHILST ACCURACY IS ENDEAVORED E DESIGN DO NOT TAKE ON THE RESPONSIBILITY OF THE BUILDER. IT IS THE BUILDER RESPONSIBILITY TO ENSURE INFORMATION IS CORRECT PRIOR TO ORDERING MATERIAL AND PRIOR TO CONSTRUCTION & ENGAGEMENT OF SUPPLIERS/CONTRACTORS

NO VARIATION MAY BE MADE TO THIS DRAWING WITHOUT THE PRIOR APPROVAL OF THE BUILDER AND/OR DESIGNER

DOWNSPIPE SPACING IS NOT TO EXCEED 12M AVERAGE. DOWNSPIPES ARE TO BE INSTALLED WITHIN 1.2M OF A VALLEY GUTTER. WHERE IT IS NOT POSSIBLE TO LOCATE A DOWNSPIPE WITHIN 1.2M OF THE VALLEY GUTTER AN OVERFLOW MUST BE PROVIDED IN THE GUTTER.

WINDOW SIZES MAY CHANGE TO SUIT MANUFACTURERS SIZES AND BRICKWORK. REFER TO WINDOW SCHEDULE.

TERMITE TREATMENTS INSTALLED TO MANUFACTURERS SPECS. SHALL COMPLY WITH AS3660.

GLASS DOORS, SIDELIGHTS, GLAZING SCREENS, WINDOWS IN WET AREAS WILL BE OF SAFETY GLASS WHERE REQUIRED BY AS 1288 AND BCA. DRAFT PROTECTION DEVICE TO EXTERNAL SWING DOORS

INTERNAL DOORS 2400mm HIGH UNLESS NOMINATED OTHERWISE & EXTERNAL DOORS AS NOMINATED

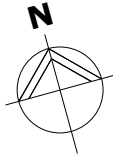
WC DOOR TO BE INSTALLED WITH HINGES WHICH ARE REMOVABLE FROM THE OUTSIDE - OTHERWISE DOOR TO SWING OUTWARDS

SELF CONTAINED SMOKE ALARM COMPLYING WITH AS3786-1993. INTERCONNECTED TO MAINS POWER WITH A 9V BATTERY BACKUP

ENERGY RATING REQUIREMENTS

- (READ IN CONJUNCTION WITH ENERGY REPORT)
- R5.0 BULK CEILING INSULATION
 - R3.0 EXTERNAL WALL INSULATION
 - R2.0 INTERNAL WALL INSULATION
 - PROCLIMA WRAPPED EXTERNALLY OF WALL STUDS, CEILING & ROOF
 - DOUBLE GLAZING AS SPECIFIED

AREAS SQM	
LIVING	175.3
GARAGE	38.2
TERRACE	48.3
PORCH	2.9
	264.6



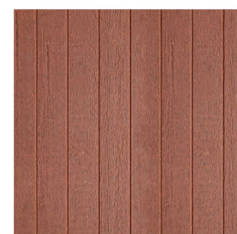
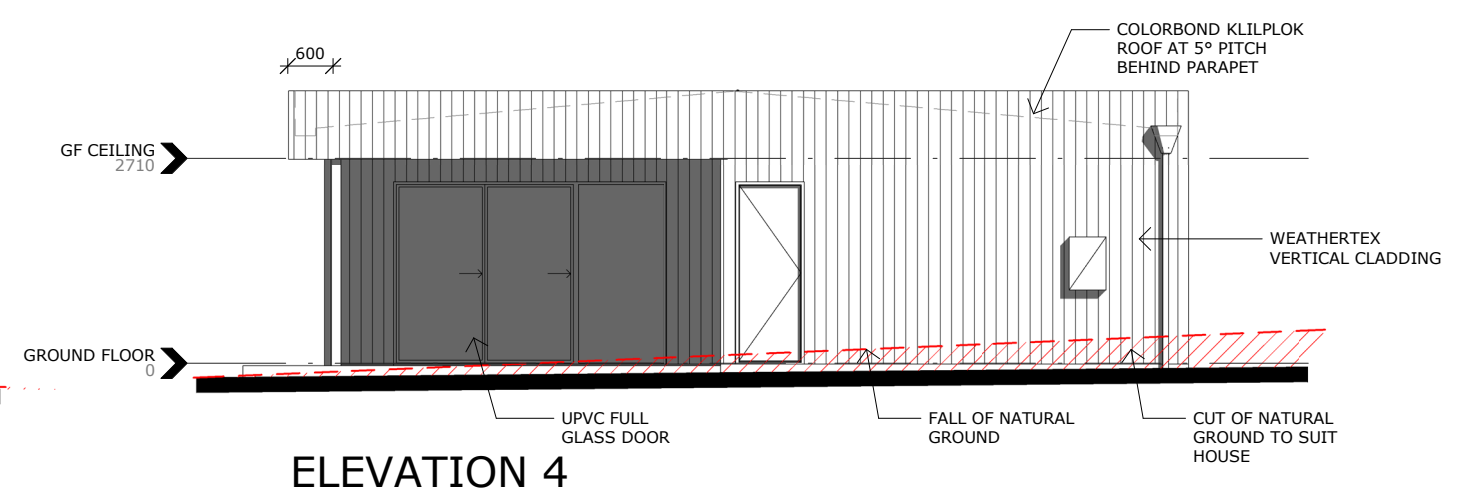
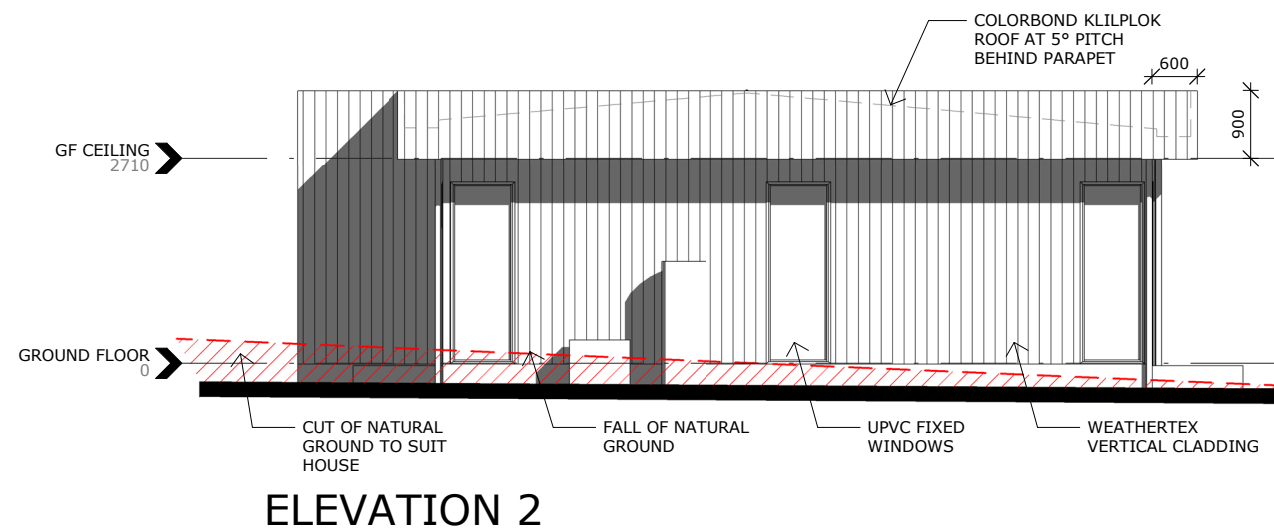
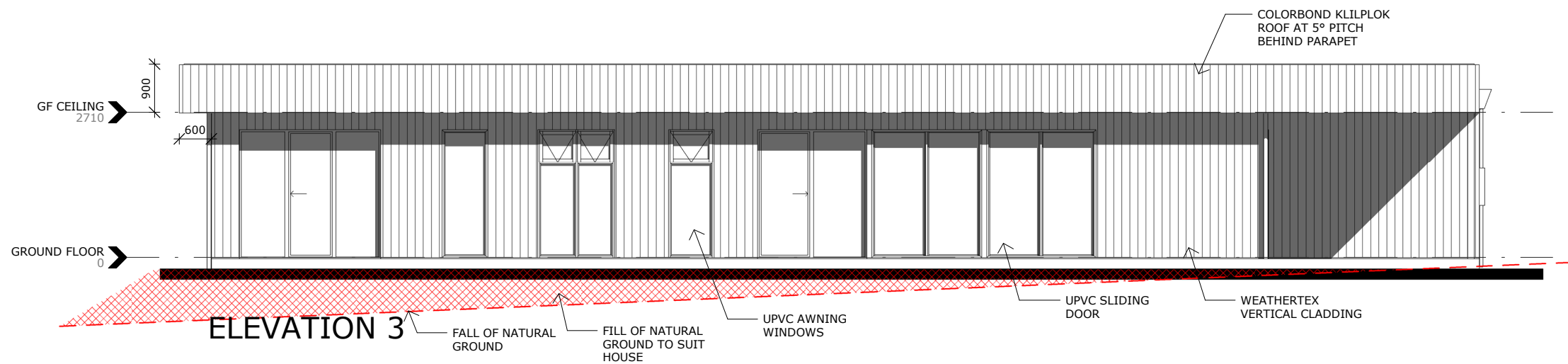
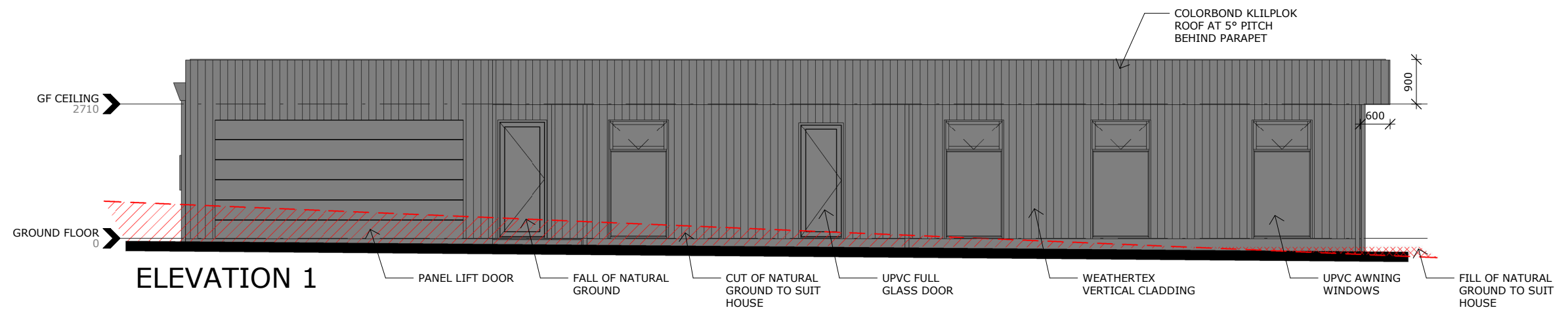
design

PROPOSED DWELLING

GROUND FLOOR
RYAN AND REBEKA PROBERT
44 ORANA DRIVE,
MYLOR

DATE: 27.2.21 SCALE: 1 : 100 SHEET: 2 VERSION: 1

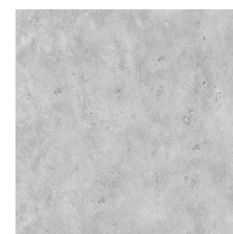
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WALLS -
WEATHERTEX
WEATHERGROOVE
NATURAL



WINDOWS, DOORS,
DOWNPIPES, SERVICE BOXES,
POST & PANEL DOOR -
COLORBOND 'MONUMENT'



FLOORS & EXPOSED EDGE -
MILKY BURNISHED
CONCRETE



ROOF -
COLORBOND 'MONUMENT'

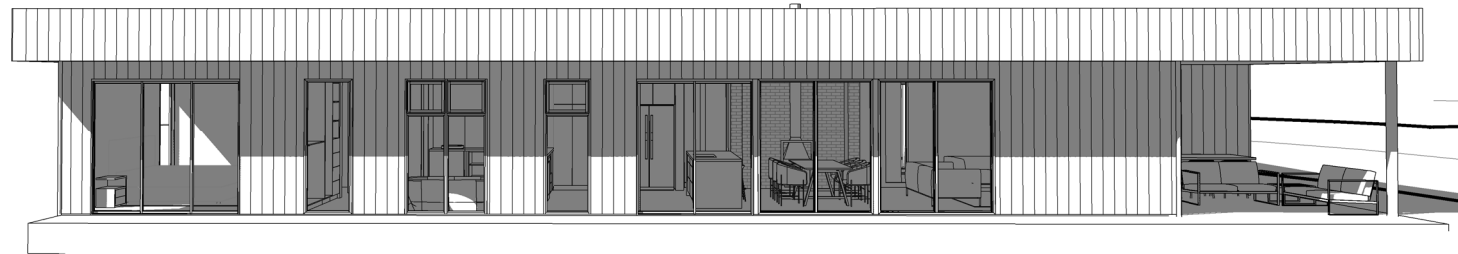
design

PROPOSED DWELLING

ELEVATIONS
RYAN AND REBEKA PROBERT
44 ORANA DRIVE,
MYLOR

DATE: 27.2.21 SCALE: 1:100 SHEET: 3 VERSION: 1

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SUMMER SOL 9AM



WINTER SOL 9AM



SUMMER SOL 12PM



WINTER SOL 12PM



SUMMER SOL 5PM



WINTER SOL 3PM

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PROPOSED DWELLING

SHADOW ELEVATIONS

RYAN AND REBEKA PROBERT

**44 ORANA DRIVE,
MYLOR**

DATE: **27.2.21** SCALE: SHEET: **5** VERSION: **1**

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Existing Dwelling Floorplan + decommission plan.



Existing house to be decommissioned & used as excess storage until such time is ready to be demolished in years to come.

current budget doesn't allow demolition

PLAN APPROX. TO BE CONFORMED ON SITE

design

PROPOSED DWELLING

EXISTING PLAN

RYAN AND REBEKA PROBERT

**44 ORANA DRIVE,
MYLOR**

DATE: 27.2.21 SCALE: 1:100 SHEET: 7 VERSION:

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Door Schedule						
Mark	Type	Height	Width	Sill Height	Head Height	Comments
1	24.36 USD	2420	3610	-20	2400	uPvc + DG
2	24.10 UD	2400	1000	0	2400	uPvc + DG
3	24.50 PANEL DOOR	2420	5000	-20	2400	
4	24.09	2340	820	0	2340	uPvc + DG OBSC
5	24.09 UD	2340	900	0	2340	uPvc + DG
6	24.27 USD	2420	2650	-20	2400	uPvc + DG
7	24.21 USD	2420	2050	-20	2400	uPvc + DG

Window Schedule						
Mark	Type	Height	Width	Sill Height	Head Height	Comments
1	24.12 UAW	2400	1210	0	2400	uPvc + DG
2	24.12 UAW	2400	1210	0	2400	uPvc + DG
3	24.12 UAW	2400	1210	0	2400	uPvc + DG
4	24.12 UAW	2400	1210	0	2400	uPvc + DG
5	24.09 UFW	2400	850	0	2400	uPvc + DG
6	24.09 UFW	2400	850	0	2400	uPvc + DG
7	24.09 UFW	2400	850	0	2400	uPvc + DG
8	24.09 UFW	2400	850	0	2400	uPvc + DG
9	24.142 UAW	2400	1450	0	2400	uPvc + DG
10	24.09 UAW	2400	850	0	2400	uPvc + DG
11	24.21 UFW	2400	2050	0	2400	uPvc + DG
12	24.21 UFW	2400	2050	0	2400	uPvc + DG
13	07.06 FSL	700	550			uPvc + DG
14	07.06 FSL	700	550			uPvc + DG

Room Schedule			
Name	Area	Perimeter	Floor Finish
office	12 m²	14.2 m	POLISHED CONCRETE
bed 2	10 m²	12.6 m	POLISHED CONCRETE
bath	7 m²	12.3 m	LARGE TILES
bed 3	10 m²	12.6 m	POLISHED CONCRETE
garage	36 m²	24.0 m	CONCRETE
terrace	49 m²	60.0 m	SANDBLASTED CONCRETE
living	24 m²	19.5 m	POLISHED CONCRETE
ensuite	8 m²	14.4 m	LARGE TILES
robe	8 m²	14.2 m	POLISHED CONCRETE
entry	6 m²	12.2 m	POLISHED CONCRETE
master bed	19 m²	18.3 m	POLISHED CONCRETE
pantry	8 m²	16.8 m	POLISHED CONCRETE
kitchen	13 m²	21.6 m	POLISHED CONCRETE
dining	13 m²	15.3 m	POLISHED CONCRETE
porch	3 m²	7.2 m	SANDBLASTED CONCRETE
hall	14 m²	26.6 m	POLISHED CONCRETE
l'dry	8 m²	11.4 m	LARGE TILES
	247 m²	313.3 m	



PROPOSED DWELLING

SCHEDULES

RYAN AND REBEKA PROBERT

44 ORANA DRIVE,

MYLOR

Development Application Form

What are you applying for? (please tick the appropriate box)

- ☐ BRC only (under Schedule 1A)
☐ Complying (Res Code)
☐ Development Plan Consent only at this time (planning only)
☒ DPC only (will be using Private Certifier for Building Consent)
☐ I have Development Plan Consent and now seek Building Rules Consent for full Development Approval
☐ Full Development Approval (both Development Plan and Building Rules Consent)

OFFICE USE ONLY

SCANNED

Development Application No:

DA: 473/60/21 / 473

VG: 3306304000

VG: A: 10482

A: _____

I consent to receive documentation, including Decision Notification Forms and Final Plans electronically (via email or web portal to applicant) Yes ☒ No ☐

APPLICANT

Name: Ryan & Rebeka Probert
 Postal Address: PO BOX 93, MYLOR Post Code: 5153
 Phone: 0433035069 Email: rebekap15@gmail.com

OWNER

Name: as above
 Postal Address: _____ Post Code: _____
 Phone: _____ Email: ryan@isc-coiloves.com

BUILDER

Name: LBD Projects Builders Lic. No. 189108
 Postal Address: 28A Malvern Avenue, Malvern Post Code: 5061
 Phone: _____ Email: _____

CONTACT PERSON FOR FURTHER INFORMATION

Name: Rebeka Probert
 Postal Address: _____ Post Code: _____
 Phone: 0884080465 Email: _____

EXISTING LAND USE: livestock and rural

DATE STAMP

DESCRIPTION OF PROPOSED DEVELOPMENT:

single storey detached dwelling & associated earthworks with decommission of existing dwelling and conversion to outbuilding upon completion of new dwelling.

ADELAIDE HILLS COUNCIL
RECEIVED 19/01/2021

LOCATION OF PROPOSED DEVELOPMENT			
Street No. 44	Lot No. <div></div>	Street Name Orana Drive	Township/Suburb Mylor
Sect/Part No. 882/884E		File/Deposited Plan No. HDP:105500	Certificate of Title CT3138/83 5383/693

Building rules classification sought Present classification

Does either schedule 21 or 22 of the Development Regulations 2008 apply?
activities of environmental significance ☐ Yes / ☒ No

Has the Construction Industry Training Fund Act 1993 levy been paid?
for development cost >\$40,000 ☐ Yes / ☒ No

DEVELOPMENT COST (excluding fit out costs): \$

350000

 Area:

264.60

 m²

I acknowledge that copies of this application and supporting documents may be provided to interested persons in accordance with the Development Regulations 2008.

SIGNATURE:

Rebeka Probert

 DATED:

19/01/2021

Note: if completing in PDF there is no need to print and sign; your typed name will be considered a legal signature.

Please send your application and payment to Adelaide Hills Council, PO Box 44 Woodside SA 5244
or developmentadmin@ahc.sa.gov.au



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 6244 Folio 58

Parent Title(s) CT 5383/693

Creating Dealing(s) RT 13367054

Title Issued	25/09/2020	Edition	1	Edition Issued	25/09/2020
--------------	------------	---------	---	----------------	------------

Estate Type

FEE SIMPLE

Registered Proprietor

REBEKA PROBERT
RYAN ANTHONY PROBERT
OF 44 ORANA DRIVE MYLOR SA 5153
AS JOINT TENANTS

Description of Land

SECTION 882
HUNDRED OF NOARLUNGA
IN THE AREA NAMED MYLOR

Easements

NIL

Schedule of Dealings

Dealing Number	Description
13353821	MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA (ACN: 123 123 124)

Notations

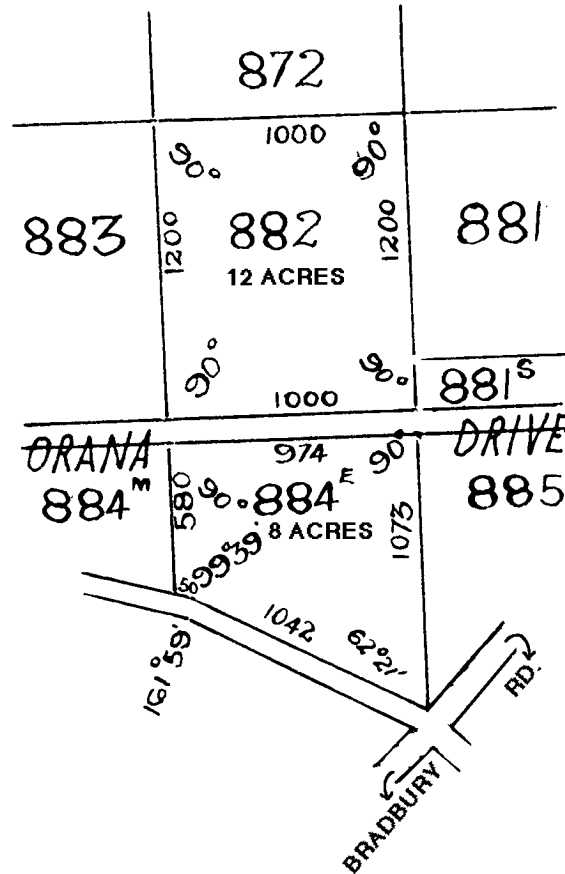
Dealings Affecting Title NIL

Priority Notices NIL

Notations on Plan NIL

Registrar-General's Notes NIL

Administrative Interests NIL



FOR METRIC CONVERSION	
1 FOOT	= 0.3048 METRES
1 INCH	= 0.0254 METRES
1 ACRE	= 0.404686 HECTARES
1 ROOD	= 1011.7 m ²
1 PERCH	= 25.29 m ²

Certificate of Title

Title Reference: CT 6244/58
Status: CURRENT
Parent Title(s): CT 5383/693
Dealing(s) Creating Title: RT 13367054
Title Issued: 25/09/2020
Edition: 1

Dealings

Lodgement Date	Completion Date	Dealing Number	Dealing Type	Dealing Status	Details
17/08/2020	19/08/2020	13353821	MORTGAGE	REGISTERED	COMMONWEALTH BANK OF AUSTRALIA (ACN: 123 123 124)

DEVELOPMENT ASSESSMENT SERVICE

Your Ref: 37aa
Our Ref: Adelaide Hills DA
Please refer to: 20210115-01ap

15 January 2021

44 Orana Drive
MYLOR SA 5153

ATTN: REBEKA PROBERT

Dear Rebeka,

RE: BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT – PROBERT
44 ORANA DRIVE, MYLOR

An officer of the SA Country Fire Service (SA CFS) Development Assessment Service, has assessed the proposed development site, allotment and adjoining areas.

A site bushfire attack assessment was conducted in accordance with the National Construction Code of Australia [NCC] and Australian Standard™ 3959 (AS3959) "Construction of Buildings in Bushfire Prone Areas".

This report shall not be considered as SA CFS endorsement of any subsequent development.

This BAL report is considered relevant at the date of assessment.

ASSESSMENT DETAILS:

Category of Bushfire Attack	BAL 19
------------------------------------	---------------

BUILDING CONSIDERATIONS

Please refer to the NCC, relevant standards and state provisions for construction requirements and performance provisions.

Compliance with the fire protection requirements is not a guarantee the dwelling will not burn, but its intent is to provide a '*measure of protection*' from the approach, impact and passing of a bushfire.

Should there be any need for further information please contact the undersigned at the SA CFS Development Assessment Service on (08) 8115 3372.

Yours sincerely,



ANNIE POMEROY

BUSHFIRE SAFETY OFFICER
DEVELOPMENT ASSESSMENT SERVICE

ADELAIDE HILLS COUNCIL
RECEIVED 19/01/2021



DEVELOPMENT ASSESSMENT SERVICE

Your Ref: 37aa
Our Ref: Adelaide Hills DA
Please refer to: 20210115-01ap

15 January 2021

44 Orana Drive
MYLOR SA 5153

ATTN: REBEKA PROBERT

Dear Rebeka,

**RE: DEVELOPMENT APPLICATION (PLANNING ASSESSMENT) – PROBERT
44 ORANA DRIVE, MYLOR**

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) as published under Regulation 106 of the *Development Regulations 2008* applies.

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) Part 2.1 states *"When submitting an application it is important to remember that the information provided with an application forms the basis upon which the application will be assessed. If the information is inadequate or insufficient (incomplete, incorrect), the application may be delayed."*

An officer of the SA Country Fire Service [SA CFS] Development Assessment Service has assessed the proposed development site, allotment and adjoining areas.

The Bushfire Protection Zone for the area has been designated as **HIGH**

The SA Country Fire Service has no objection to the proposed development.

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) provides mandatory Bushfire Protection planning requirements as conditions of consent for the development as follows:

ACCESS TO HABITABLE BUILDING

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) Part 2.3.3.1 describes the mandatory provision for 'Private' roads and driveways to buildings shall provide safe and convenient access/egress for large Bushfire fighting vehicles, where the furthest point to the building from the nearest public road is more than 30 metres.

SA CFS has no objection to the proposed access driveway as detailed on drawing named SITE dated at last revision 07/11/2020, with the following conditions:

- Access to the building site shall be of all-weather construction, with a minimum formed road surface width of 3 metres and must allow forward entry and exit for large fire-fighting vehicles.

**ADELAIDE HILLS COUNCIL
RECEIVED 19/01/2021**

Level 3, 60 Waymouth Street, Adelaide SA 5000
T 08 8115 3372 | F 08 8115 3301 | E das@cfs.sa.gov.au



- The all-weather road shall allow fire-fighting vehicles to safely enter and exit the allotment in a forward direction by incorporating either –
 - i. A loop road around the building, OR
 - ii. A turning area with a minimum radius of 12.5 metres, OR
 - iii. A 'T' or 'Y' shaped turning area with a minimum formed length of 11 metres and minimum internal radii of 9.5 metres.
- Private access shall have minimum internal radii of 9.5 metres on all bends.
- Vegetation overhanging the access road shall be pruned to achieve a minimum vehicular clearance of not less than 4 metres in width and a vertical height clearance of 4 metres.

ACCESS (to dedicated water supply)

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) Part 2.3.4.1 requires a dedicated and accessible water supply to be made available at all times for fire-fighting.

SA CFS has no objection to the proposed location for the dedicated water supply as detailed on drawing named SITE dated at last revision 07/11/2020, providing the outlet is positioned to comply with the following conditions:

- The water supply outlet shall be easily accessible and clearly identifiable from the access way and at a distance of no greater than 30 metres from the proposed dwelling.
- The dedicated water supply and its location should be identified with suitable signage (i.e. blue sign with white lettering "FIRE WATER").
- Access to the dedicated water supply shall be of all-weather construction, with a minimum formed road surface width of 3 metres.
- Provision shall be made adjacent to the water supply for a flat hardstand area (capable of supporting fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes) that is a distance equal to or less than 6 metres from the water supply outlet.
- SA CFS appliance inlet is rear mounted; therefore the outlet/water storage shall be positioned so that the SA CFS appliance can easily connect to it rear facing.
- A gravity fed water supply outlet may be remotely located from the tank to provide adequate access.
- All non-metal water supply pipes for bushfire fighting purposes (other than flexible connections and hoses for fire-fighting) shall be buried below ground to a minimum depth of 300mm with no non-metal parts above ground level.
- All water supply pipes for draughting purposes shall be capable of withstanding the required pressure for draughting.

WATER SUPPLY

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) Part 2.3.4.1 prescribes the mandatory provision of a dedicated and accessible water supply to be made available at all times for fire-fighting.

Ministers Specification SA78 provides the technical details of the dedicated water supply for bushfire fighting for the bushfire zone. The dedicated bushfire fighting water supply shall also incorporate the installation of a pumping system, pipe-work and fire-fighting hose(s) in accordance with Minister's Specification SA78:

CFS Mission

An integrated and trusted fire and emergency service, contributing to safer and more resilient communities.

- A minimum supply of 22,000 litres of water shall be available at all times for bushfire fighting purposes.
- The minimum requirement of 22,000 litres may be combined with domestic use, providing the outlet for domestic use is located above the 22,000 litres of dedicated fire water supply in order for it to remain as a dedicated supply.
- The bushfire fighting water supply shall be clearly identified and fitted with an outlet of at least 50mm diameter terminating with a compliant SA CFS fire service adapter, which shall be accessible to bushfire fighting vehicles at all times.
- The water storage facility (and any support structure) shall be constructed of non-combustible material.
- The dedicated fire-fighting water supply shall be pressurised by a pump that has –
 - i. A minimum inlet diameter of 38mm, AND
 - ii. Is powered by a petrol or diesel engine with a power rating of at least 3.7kW (5hp), OR
 - iii. A pumping system that operates independently of mains electricity and is capable of pressurising the water for fire-fighting purposes.
- The dedicated fire-fighting water supply pump shall be located at or adjacent to the habitable building to ensure occupants safety when operating the pump during a bushfire. An 'Operations Instruction Procedure' shall be located with the pump control panel.
- The fire-fighting pump and any flexible connections to the water supply shall be protected by a non-combustible cover that allows adequate air ventilation for efficient pump operation.
- All bushfire fighting water pipes and connections between the water storage facility and a pump shall be no smaller in diameter than the diameter of the pump inlet.
- All non-metal water supply pipes for bushfire fighting purposes (other than flexible connections and hoses for fire-fighting) shall be buried below ground to a minimum depth of 300mm with no non-metal parts above ground level.
- A fire-fighting hose (or hoses) shall be located so that all parts of the building are within reach of the nozzle end of the hose and if more than one hose is required they should be positioned to provide maximum coverage of the building and surrounds (i.e. at opposite ends of the habitable building).
- All fire-fighting hoses shall be capable of withstanding the pressures of the supplied water.
- All fire-fighting hoses shall be of reinforced construction manufactured in accordance with AS 2620 or AS 1221.
- All fire-fighting hoses shall have a minimum nominal internal diameter of 18mm and a maximum length of 36 metres.
- All fire-fighting hoses shall have an adjustable metal nozzle, or an adjustable PVC nozzle manufactured in accordance with AS 1221.
- All fire-fighting hoses shall be readily available at all times.

VEGETATION

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) Part 2.3.5 mandates that landscaping shall include Bushfire Protection features that will prevent or inhibit the spread of bushfire and minimise the risk to life and/or damage to buildings and property.

- A vegetation management zone (VMZ) shall be established and maintained within 20 metres of the habitable building (or to the property boundaries – whichever comes first) as follows:

- i. The number of trees and understorey plants existing and to be established within the VMZ shall be reduced and maintained such that when considered overall a maximum coverage of 30% is attained, and so that the leaf area of shrubs is not continuous. Careful selection of the vegetation will permit the 'clumping' of shrubs where desirable, for diversity, and privacy and yet achieve the 'overall maximum coverage of 30%'.
- ii. Reduction of vegetation shall be in accordance with SA Native Vegetation Act 1991 and SA Native Vegetation Regulations 2017.
- iii. Trees and shrubs shall not be planted closer to the building(s) than the distance equivalent to their mature height.
- iv. Trees and shrubs must not overhang the roofline of the building, touch walls, windows or other elements of the building.
- v. Shrubs must not be planted under trees and must be separated by at least 1.5 times their mature height.
- vi. Grasses within the zone shall be reduced to a maximum height of 10cm during the Fire Danger Season.
- vii. No understorey vegetation shall be established within 1 metre of the habitable building (understorey is defined as plants and bushes up to 2 metres in height).
- viii. Flammable objects such as plants, mulches and fences must not be located adjacent to vulnerable parts of the building such as windows, decks and eaves
- ix. The VMZ shall be maintained to be free of accumulated dead vegetation.

Compliance with the fire protection requirements is not a guarantee the habitable building will not burn, but its intent is to provide a '*measure of protection*' from the approach, impact and passing of a bushfire.

Should there be any need for further information, please contact the undersigned at the Development Assessment Service on (08) 8115 3372.

Yours sincerely,



ANNIE POMEROY

BUSHFIRE SAFETY OFFICER

DEVELOPMENT ASSESSMENT SERVICE

ADELAIDE HILLS COUNCIL
RECEIVED 19/01/2021