

**SPECIAL CAP MEETING – 20 DECEMBER 2023****ITEM 8.1**

<b>DEVELOPMENT NO.:</b>	23025290
<b>APPLICANT:</b>	YES Group (SA)
<b>ADDRESS:</b>	LOT 16 WARREN RD BIRDWOOD SA 5234
<b>NATURE OF DEVELOPMENT:</b>	Variation to the site layout plan for the Solar Farm development in DA 473/530/20 [Solar farm (4.98MW), comprising ground mounted solar arrays (maximum height 2.9m), battery storage containers (4MW), inverters, switchboards and associated decks, temporary site office, storage building & associated car parking, fencing (maximum height 2.3m), landscaping & signage]
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"><li>• Productive Rural Landscape</li></ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"><li>• Traffic Generating Development</li><li>• Urban Transport Routes</li><li>• Water Resources</li><li>• Environment and Food Production Area</li><li>• Hazards (Flooding)</li><li>• Hazards (Bushfire - Medium Risk)</li><li>• Hazards (Flooding - Evidence Required)</li><li>• Limited Land Division</li><li>• Mount Lofty Ranges Water Supply Catchment (Area 2)</li><li>• Native Vegetation</li><li>• Prescribed Water Resources Area</li></ul>
<b>LODGEMENT DATE:</b>	29 Aug 2023
<b>RELEVANT AUTHORITY:</b>	Assessment Panel
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	2023.12 - 17 August 2023
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	Yes
<b>RECOMMENDING OFFICER:</b>	Melanie Scott Senior Statutory Planner
<b>REFERRALS STATUTORY:</b>	Nil
<b>REFERRALS NON-STATUTORY:</b>	Nil

**CONTENTS:****ATTACHMENT 1: Application Documents****ATTACHMENT 2: Subject Land Map /  
Representation Map****ATTACHMENT 3: Zoning Map****ATTACHMENT 4: Applicant Plans and Submissions****ATTACHMENT 5: ERD Court Order****ATTACHMENT 6: Representations****ATTACHMENT 7: Response to Representations****ATTACHMENT 8: Publicly Notified Plans****ATTACHMENT 9: Relevant P & D Code Policies**

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#### **DETAILED DESCRIPTION OF PROPOSAL:**

This application is a variation to the previously approved solar farm described as a variation to the site layout plan for the Solar Farm development in DA 473/530/20:

- Solar farm (4.98MW)
- comprising ground mounted solar arrays (maximum height 2.9m)
- battery storage containers (4MW)
- inverter
- switchboards and associated decks
- temporary site office
- associated car parking
- fencing (maximum height 2.4m)
- landscaping
- signage

In particular the solar farm variation has resulted in the following amendments to the proposal:

- The site coverage of the solar farm has been reduced from 13 hectares to 10 hectares.
- The number of tracker stands has reduced from 1800 to 1547.
- No tracker stands (pylons) are proposed in the minor watercourse on the property.
- The number of battery storage units has been reduced from 5 units to 2 units as has their actual size. Previously proposed units were 6m x 15m x 3m high (90m<sup>2</sup>) to those now proposed at 2.4m x 12m x 2.7m high (28m<sup>2</sup>).
- The number of inverters has been reduced from 2 to 1 dimensioned at 12m x 2.4m x 2.7m high. This is larger than the two originally proposed and equates to a similar built form.
- The capacity of the solar farm has reduced slightly from 4.98mw to 4.95mw.
- The setback of the proposal from both Torrens Valley and Warren Road has changed.
- The temporary site office (15m<sup>2</sup>) is on site for approximately 15 weeks, during the construction period only and is not technically development but is described here for clarity.
- Landscaping is proposed in accordance with the plan prepared by Space Landscape Design. Preparation of a Landscaping Plan by a suitably qualified landscape architect was a reserved matter in the Court Order resulting from the third party appeal of the original planning consent. The landscaping as proposed with the variation application is generally on property boundaries except for the north-eastern boundary of the solar field where the landscaping is proposed mid pasture and 10m from the solar arrays. The landscaping is generally 10m wide and was originally proposed as tube stock. In response to the representations on the variation application the applicant now proposes trees identified in the Plant Schedule – Native Mix Type 2 (Drooping Sheoak and Cup Gum) as a mix of 45litre and 25litre pots, not tube stock. The more mature plantings in Plant Schedule – Native Mix Type 2 (Drooping Sheoak and Cup Gum) will provide a more immediate screening effect at the time of planting when viewed from the public realm. Additionally, there is a wider landscape zone proposed at the corner of Winton Rd and Torrens Valley Road.
- The security fence proposed is 2.4m high black PVC coated chain mesh. Previously it was galvanised chain mesh.



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The signage proposed remains unchanged and is located at the entrance gate and includes project details, site contact, emergency details and safety considerations.

As a minimum a 10m asset protection buffer is proposed between the proposed landscaping and the solar arrays.

Whilst not development it is noted the previous plan included connection of the solar infrastructure to an existing SAPN power pole on Torrens Valley Road. The amended proposal indicates an upgraded power pole to be confirmed with connection on Winton Road, adjacent the proposed site access.

The most noticeable difference from the original application to this amended proposal is the set back of the project from TORRENS VALLEY ROAD. The previous layout was on average 100m from TORRENS VALLEY ROAD and had a large solar field adjacent Warren Rd. The original approval did not see any tracker stands in the vicinity of the minor watercourse on the land. The variation as notified averages a 20m setback to TORRENS VALLEY ROAD. The proposed variation for CAP consideration has been further set back from TORRENS VALLEY ROAD in response to representations and Council feedback to an average of 33 metres. As stated, the proposed infrastructure does cross the minor watercourse on the land but no tracker stands are proposed in the minor watercourse. There are two larger eucalypts in the middle of the proposed solar field which will have a tree protection zone and are to be retained.

### **BACKGROUND:**

The subject land is one parcel known as lot 16 part section 6597 Warren Road Birdwood and has no development history prior to the solar farm application detailed in the table below. Application 20/530 was approved with conditions by the Adelaide Hills Council Assessment Panel on 21 October 2021 and subject to a third party appeal in the ERD Court. The CAP documents associated with the original application form separate attachments to this report and attachments and are available for the CAP to view. In the time since the original approval the planning regime has changed and the solar farm variation is assessed against the Planning and Design Code, rather than Adelaide Hills Council Development Plan. Amended conditions were agreed 4 February 2021. There have been two extensions of time on the planning consent and the current expiry date is 21 April 2024.

The resolution of the ERD Court is as follows:

1. The appeal be allowed for the limited purpose of amending the conditions of development plan consent.
2. Condition 1 of the development plan consent granted by the Adelaide Hills Council on 21 October 2020 numbered 20/530/473 ('development plan consent') be amended to delete the words "Birdwood Solar Farm amended Landscaping Plan prepared by Tetris Energy dated 14 September 2020 and date stamped by Council Amended 14 September 2020.
3. Condition 3 of the development plan consent be amended to include after the words "traffic and access" the words "including, but not restricted to the impact of dust and noise on nearby residents, damage to the existing road and safety issues arising out of the construction of the development".
4. Condition 8 of the development plan consent be amended to delete the words "first year to allow landscaping to become established and henceforth", and to replace them with the words "first three years or such other period (whether longer or shorter) until the vegetation is established and, thereafter".
5. A reserved matter be added to the development plan consent in the words: "Pursuant to section 33(3) of the Development Act 1993, the following matter shall be reserved for further assessment, to the satisfaction of the Council, prior to the granting of full development approval: The Applicant shall engage a suitably qualified landscape architect and provide to the Council a landscaping plan that minimises the visual impact of the proposed

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development as viewed from the public sphere to the Council's reasonable satisfaction. The landscaping plan should, where possible, incorporate:

- use of evergreen species
- vegetation screening along the northern side of the solar array to reduce visibility along Warren Road
- stock/wildlife exclusion fencing to protect newly planted vegetation and to aid establishment

6. The Appeal is otherwise dismissed and the Council's decision to grant development plan consent to development number 20/530/473 is affirmed.

The reserved matter has been addressed as part of this variation application and suggested conditions will include the matters detailed by the ERD Court Order.

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
4 February 2021	20-530	Solar farm (4.98MW), comprising ground mounted solar arrays (maximum height 2.9m), battery storage containers (4MW), inverters, temporary site office, storage building & associated car parking, fencing (maximum height 2.3m) & signage (non-complying)

### SUBJECT LAND & LOCALITY:

#### Site Description:

**Location reference:** LOT 16 WARREN RD BIRDWOOD SA 5234

**Title ref.:** CT 5460/130 **Plan Parcel:** D13143 AL16 **Council:** ADELAIDE HILLS COUNCIL

The land forms part of a large rural land holding with multiple parcels which extends more than 3 kilometres north on Warren Road to Martin Hill Road. The subject land is approximately 51 hectares in area and is bisected by the Torrens River meandering roughly from the north-eastern corner to the south-western corner. The portion of the land on the southern side of the river is gently undulating. The land on the northern side of the river is steeply sloped. The riverbanks are lined with eucalypts and there are eucalypts dotted around the subject land. The land is bounded to the south by Torrens Valley Road and to the east by Warren Road. In addition to the Torrens River, there are two minor watercourses on the land, all forming part of the Torrens River catchment. The Torrens River is flood mapped on the north-eastern portion of the land at or close to the boundary. There are two bores located on the land and some fencing. The land has historically been used for grazing and contains no buildings.

#### Locality

Torrens Valley Road was a designated scenic route in the Development Plan, a planning reference which does not exist in the P&D Code. The road is under the care and control of the Department for Infrastructure and Transport. All adjoining land is located within the same zone, being the Productive Rural Landscape zone. Land holdings to the north, south and west are generally larger holdings with some smaller rural lifestyle allotments interspersed. The smaller lifestyle allotments are clustered on Winton Road to the west of the subject land and in the south-western corner across Torrens Valley Road. The land to the east and south-east of Warren Road contains smaller holdings in the same zone, one of which is the Local Heritage listed Lutheran Church and Manse. The western-most boundary of the township of Birdwood is some 180 metres to the east of the subject land. The proposed access is approximately 90 metres from the intersection of Winton and Torrens Valley Roads. The site was chosen for its proximity to the existing 33kV overhead transmission line running from the solar farm's proposed Sub-Station to the existing SAPN Angas Creek – Tungkillo 33kV electricity distribution line.

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**CONSENT TYPE REQUIRED:**

Planning Consent

**CATEGORY OF DEVELOPMENT:**

- **PER ELEMENT:**  
Solar farm: Code Assessed - Performance Assessed  
Fence: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**  
Code Assessed - Performance Assessed
- **REASON**  
P&D Code

**PUBLIC NOTIFICATION**

- **REASON**  
Not listed as an exemption and not deemed minor.
- **LIST OF REPRESENTATIONS**

Representor Name	Representor's Property Address	Wishes to be heard (Y/N)	Nominated Speaker (if relevant)
Rhiannon North	1977 Warren Road Birdwood	No	N/A
Matthew Sackey	31 Winton Road Birdwood	Yes	Matthew Sackey

- **SUMMARY**  
A copy of the representations are included as **Attachment 4 – Representations** and the applicant's response is provided in **Attachment 5 – Response to Representations**.

**AGENCY REFERRALS**

Nil

**INTERNAL REFERRALS**

Council Engineering  
Council Biodiversity

**PLANNING ASSESSMENT**

***Desired outcomes***

*Desired outcomes are policies designed to aid the interpretation of performance outcomes by setting a general policy agenda for a zone, subzone, overlay or general development policies module. Where a relevant authority is uncertain as to whether or how a performance outcome applies to a development, the desired outcome(s) may inform its consideration of the relevance and application of a performance outcome, or assist in assessing the merits of the development against the applicable performance outcomes collectively.*

***Performance outcomes***

*Performance outcomes are policies designed to facilitate assessment according to specified factors, including land use, site dimensions and land division, built form, character and hazard risk minimisation.*

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#### ***Designated performance features***

*In order to assist a relevant authority to interpret the performance outcomes, in some cases the policy includes a standard outcome which will generally meet the corresponding performance outcome (a designated performance feature or DPF). A DPF provides a guide to a relevant authority as to what is generally considered to satisfy the corresponding performance outcome but does not need to necessarily be satisfied to meet the performance outcome, and does not derogate from the discretion to determine that the outcome is met in another way, or from the need to assess development on its merits against all relevant policies.*

The variation application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in **Attachment 6 – Relevant P&D Code Policies**.

#### **Productive Rural Landscape Zone:**

<b>Desired Outcomes</b>	
DO 1	A diverse range of land uses at an appropriate scale and intensity that capitalise on the region's proximity to the metropolitan area and the tourist and lifestyle opportunities this presents while also conserving the natural and rural character, identity, biodiversity and sensitive environmental areas and scenic qualities of the landscape.
DO 2	A zone that promotes agriculture, horticulture, value adding opportunities, farm gate businesses, the sale and consumption of agricultural based products, tourist development and accommodation that expands the economic base and promotes its regional identity.
DO 3	Create local conditions that support new and continuing investment while seeking to promote co-existence with adjoining activities and mitigate land use conflicts.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
PO1.1 Siting and Design PO2.2/DPF2.2 Renewable Energy Facilities PO10.1, 10.2	

The solar farm is considered as value adding to primary production land and in any event is not considered sensitive to the use of the land for primary production as it will not prejudice the use of the land for grazing. Further, the land is gently undulating ensuring the proposal minimises the need for any earthworks other than pile driving.

PO 10.2 suggests small scale solar facilities support rural production or value adding industries however the proposal is by no definition small scale with an area of 10ha, and the proposal does not accord with PO 10.2. This will be further discussed in General Development Policies, Infrastructure and Renewable Energy.

The proposed solar farm minimises fragmentation of the land being contained to one portion of the subject land, near a boundary and with the intent of continued grazing, it is not considered to displace existing primary production and the proposal meets PO 10.1.

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#### Overlays:

##### Traffic Generating Development

Desired Outcomes	
DO1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO1.2	

Access to the solar farm is from Winton Road, a Council road, with good separation from Torrens Valley Road which is an urban transport route.

##### Urban Transport Routes

Desired Outcomes	
DO1	Safe and efficient operation of Urban Transport Routes for all road users.
DO2	Provision of safe and efficient access to and from Urban Transport Routes.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO2.1, 5.1, 6.1, 7.1	

The proposed access has been considered by Council engineering staff and noting there is an 8m verge adjacent the proposed access from Winton Rd and a further 100m to the proposed secure site entry the site is considered to offer sufficient onsite queuing during construction and provides in excess of the occasional maintenance visits expected to the site. Engineering staff have indicated sight lines are adequate and the proposed crushed rubble surface to an unsealed road is suitable. Council engineering requires a piped cross over to ensure road-side drainage is uninterrupted.

##### Water Resources

Desired Outcomes	
DO1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO1.1, 1.2, 1.5, 1.6, 1.8	

There is a minor water course (no defined bed or banks) which traverses the solar farm from a south-east location adjacent Torrens Valley Road to the Onkaparinga River in the north-western portion of the site. Informal consultation with the Mount Lofty Ranges Landscape Board confirmed the watercourse is ephemeral and the placement of pylons either side of the watercourse is acceptable. It is unlikely the pylons will change the hydrology of the land (PO1.1) and a box culvert in the watercourse under the security fence will enable the watercourse to operate when it is wet (PO1.2). The solar farm does not propose clearing the land, rather the driving of pylons which makes any change in the volume or quality of water run-off from the land very limited (POs 1.5, 1.6 & 1.8).

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#### Environment and Food Production Area

Desired Outcomes	
DO1	Protection of valuable rural, landscape, environmental and food production areas from urban encroachment.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 1.1	

This Overlay is not relevant to the proposal as PO1.1 relates to land division.

#### Hazards (Flooding)

Desired Outcomes	
DO1	Impacts on people, property, infrastructure and the environment from high flood risk are minimised by retaining areas free from development, and minimising intensification where development has occurred.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Land Use PO2.1, 2.2	
Flood Resilience PO3.1, 3.2, 3.3, 3.4, 3.5/DPF3.5 (d), PO3.6/DPF3.6	

None of the proposed development is in the flood mapped portion of the site and no portion of the solar farm is closer than 55 metres to the adjacent Onkaparinga River (POs 3.4 & 5). The proposed works are not expected to have any impact on flooding for adjacent land owners (PO3.2) as it proposes post only construction and the chain mesh fence proposes mitigation in the form of a box culvert under the fence in the watercourse (PO3.3). It is noted DPF3.6 suggests a post and wire fence (other than a chain mesh fence) however the proposed box culvert is considered adequate for the ephemeral watercourse which transects the solar farm. In accordance with PO 3.1 no flood protection works are required.

#### Hazards (Bushfire - Medium Risk)

Desired Outcomes	
DO1	Development, including land division responds to the medium level of bushfire risk and potential for ember attack and radiant heat by siting and designing buildings in a manner that mitigates the threat and impact of bushfires on life and property taking into account the increased frequency and intensity of bushfires as a result of climate change.
DO2	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO1.1	
Built Form PO2.1	
Vehicle Access PO5.1/DPF5.1	

The solar farm is in a medium bush fire risk area and has clearance from existing vegetation on site. It also has a minimum 10 metre clearance from the proposed vegetation minimising the risk from bushfire. Whilst not buildings in the traditional sense, the proposed solar farm minimises the potential for trapping of debris given the general open nature of the solar farm. The applicant advises the following with regards to bushfire management: *"Grazing subject to agreement with the landowners. The YES Group have a standard Bushfire Management Plan and these are reviewed for each project to align with specific development conditions. Ground maintenance is described in our Operation Management plans that will be drafted by the construction"*

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*team prior to mobilisation. The leased area, asset protection zones and vegetation screening areas are all maintained by slashing and/or cultivating soil. There is to be no site access on catastrophic fire days”.*

Proposed access to the site meets CFS standards and accords with PO 5.1 and DPF 5.1.

#### Hazards (Flooding - Evidence Required)

Desired Outcomes	
DO1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Land Use PO 2.1	
Flood Resilience PO3.1, 3.2, 3.3, 3.4, 3.6	

The proposal is on a portion of the land which is not flood mapped so no evidence was requested. See comments in the Hazards (Flooding) Overlay.

#### Limited Land Division

Desired Outcomes	
DO1	The long term use of land for primary production is maintained by minimising fragmentation through division of land.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	

This Overlay is not relevant to the proposal as it is not for a land division.

#### Mount Lofty Ranges Water Supply Catchment (Area 2)

Desired Outcomes	
DO1	Safeguard Greater Adelaide’s public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from secondary reservoirs or diversion weir catchments from the Mount Lofty Ranges.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Water Quality PO1.1, 1.2	
Landscapes and Natural Features PO4.1	

The proposal does not meet any of the triggers for referral to the EPA and does not propose contaminating activities. A construction management plan is required to ensure that water quality run off is appropriately managed during construction which is the stage which has potential to impact on the quality of water draining from the site. Overall, the proposal is considered to have a neutral effect on the quality of water draining from the site. As referenced elsewhere in this report the use of piles driven into the ground and the placement of the site “facilities” on arguably the most level portion of the site results in minimal modification of the landscape.

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#### Native Vegetation

Desired Outcomes	
DO1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Environmental Protection PO1.1, 1.2, 1.4	

The site chosen is largely devoid of vegetation other than pasture. Two eucalypts mid field, both pasture and solar, are proposed to be protected ensuring the proposal accords with PO1.1. Given the subject land is pasture there are no recorded significant wild life habitat, movement corridors, rare plant species and the proposal is considered to accord with PO1.2. Further, the proposed buffer is considered an investment in native vegetation as envisaged in PO1.4 using extensive indigenous plantings in the proposed buffers.

#### Prescribed Water Resources Area

Desired Outcomes	
DO1	Sustainable water use in prescribed surface water resources areas maintains the health and natural flow paths of watercourses.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO1.1	

This Overlay is not relevant to the proposal as the DTS/DPF criteria relate to activities that require water allocation licences from Landscape South Australia such as horticulture, forestry and new dams or alterations to existing dams.

### General Development Policies

#### Clearance From Overhead Powerlines

Desired Outcomes	
DO1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO1.1	

The applicant has completed the on-line declaration as follows: “under Clause 6(1) of Schedule 8 of the *Planning, Development and Infrastructure (General) Regulations 2017*, that the proposed development will involve the construction of a building which would, if constructed in accordance with the plans submitted, not be contrary to regulations prescribed for the purposes of section 86 of the Electricity Act 1996.”



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Design

Desired Outcomes	
DO1	<p>Development is:</p> <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption</li> </ul>
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Landscaping 3.1, 3.2, Water Sensitive Design PO5.1, Fences and Walls PO 9.1, Ancillary Development PO13.4/DPF13.4, Access PO 19.4/DPF19.4	

The proposed landscaping has been designed to contribute to biodiversity by using plants included in Council's own list of recommended plantings (PO3.2) and enhance the appearance of the solar farm from the surrounding roads as required in PO3.1 (d) and (e). As discussed elsewhere in this report the pylon (tracker stand) construction and proposed security fence box culvert ensure the proposal does not impact on natural hydrological systems in accordance with PO5.1. On advice from a landscape architect the security fence has been proposed to be finished in black pvc coated security chain mesh to assist in minimising the impact of the fence on visual amenity which is considered in accordance with PO9.1. The proposed support structures (batteries, inverters) are a primer grey colour which will further assist in minimising impact on the amenity of the locality and as such meet PO13.4. As discussed elsewhere, with the exception of construction, there is not expected to be more than one small van on site for maintenance and there is ample parking and turnaround on site distant from property boundaries in accordance with PO19.4.

Infrastructure and Renewable Energy Facilities

Desired Outcomes	
DO1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO1.1, Visual Amenity PO2.1, 2.2, 2.3, Rehabilitation PO3.1, Hazard Management PO4.1,4.2,4.3, Electricity Infrastructure and Battery Storage Facilities PO5.1, 5.3, Renewable Energy Facilities PO7.1, Renewable Energy Facilities (Solar Power) PO9.1, 9.2,9.3/DPF 9.3, PO9.4, Temporary Facilities PO13.1, 13.2	

Representors have argued the proposal is a hazard and nuisance to adjacent development and land uses largely on the grounds of visual amenity. There is existing vegetation on the eastern and southern property boundaries, some of which is deciduous (PO2.1).

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The applicant proposes a 10m wide landscape strip on the eastern boundary of the solar farm along Torrens Valley Road. The landscaping is along the roadside, with the solar farm security fence amended to have a setback 33 metres for a 100 metre section from the intersection of Warren and Torrens Valley Roads. This setback along the southern boundary has been amended in response to representations and planning staff feedback. The proposal as amended is considered to meet PO1.1. As the solar farm footprint increases northerly into the site the setback from Warren Road increases to over 200 metres from Warren Road. The increased setback from Warren Road is a significant change and landscaping is no longer proposed parallel to Warren Road.

Along the southern boundary of the site and the proposed solar farm, the minimum set back to the security fence from the boundary is 33 metres with the solar arrays another 10 metres from the fence. The solar arrays are thus set back a minimum of 43 metres from the southern boundary. The proposed 10 metre landscaping is increased to 50 metres on the corner of Winton Road and Torrens Valley Road. This extends along the Winton Road frontage for a length of 43 metres. This is a reduced set back to that previously approved noting the Torrens Valley Scenic Route protections (100 metre setback) afforded this site in the Development Plan no longer exist in the Planning and Design Code. The final solar farm plan setbacks as described here is an increase to that proposed in the variation and to that notified in the original plans in 2020.

Further in response to representations the applicant has proposed a planting combination of three year old trees and other plants as tube stock in the landscaping. Whilst the landscaping was to be manually watered previously automated dripper line irrigation is now proposed to ensure the establishment of the landscaping. The applicant advised that the Operations and Maintenance team or contractor will be responsible for bringing water to the site to enable the watering of the landscaping.

It is considered the applicant has ensured the proposal meets the suggestions of PO2.1 in the Code when considering the infrastructure associated with the proposal is approximately 100 metres or more from Winton Road and will be screened from the west by existing large eucalypts on the land and from the south and east by the proposed landscaping.

With regards to cessation of the use a condition was proposed in the original consent and is included as (*Condition 9*) in the recommendation.

With regards to Hazard management the proposed access and fire setbacks are considered adequate to address fire risk.

The proposal is on grazing land largely devoid of native vegetation and biodiversity and the structures to support the solar farm are clustered together in the south-western area of the site but 80 metres from the southern boundary and over 100 metres from the western boundary. The structures are largely screened from this elevation by some existing mature eucalypts. For these reasons the proposal is considered to accord with POs 5.1.

The applicant has advised through extensive negotiations with SAPN the chosen site is as close as practicable to existing infrastructure (PO5.3). The varied site layout is likely to result in installation of a new power pole in the Winton Road Reserve but this is still to be confirmed. Previously the connection was to be made to an existing power pole on Torrens Valley Road.

POs 9.1, 9.2, 9.3 & 9.4 relate particularly to solar renewable energy facilities. POs 9.1 & 9.2 have been addressed elsewhere in this report, noting the limited impact on native vegetation and the 2.4m high security fence will exclude most wildlife.

PO 9.3 is interesting in with suggested setbacks to townships in relation to both a solar farm footprint and generation capacity. Perhaps indicative of changes to technology, the variation proposal has decreased the footprint proposed significantly from 13 hectares to 10 hectares whilst losing only 3MW of generation capacity. DPF 9.3 suggests a 5MW array might be less than 8 hectares and should have a setback to the township of 500 metres. The amended proposal meets the 500metre setback on the solar farm output.

## SPECIAL CAP MEETING – 20 DECEMBER 2023

### ITEM 8.1

However, given the size of the solar farm is 10 hectares the DPF guideline suggests a 1km setback which is not met.

The following image demonstrates a 500metre setback from the subject land boundaries not the solar facility. Attachment 3 of this report demonstrates the zone boundary, which is an irregular shape. The solar facility, at its closest point, is a minimum of 220m from the nearest township boundary and the site boundary is between 185m and 400m from the township boundary.



The solar farm is set back a minimum of 33metres from the eastern boundary and significant landscaping is proposed. On balance the proposal is considered to minimise the amenity impacts on the location as sought by PO 9.3, despite not meeting the guidelines provided in DPF 9.3. Recent ERD Court determinations have indicated DPFs are not absolutes.

As discussed at length in the report the proposed landscaping is considered to ensure the proposal meets PO 9.4.

## SPECIAL CAP MEETING – 20 DECEMBER 2023

### ITEM 8.1

#### Interface between Land Uses

Desired Outcomes	
DO1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO1.2, 2.1, Solar Reflectivity/Glare PO7.1	

The set-backs, fencing and landscaping proposed are considered to minimise visual amenity impacts of the proposal for sensitive receivers on adjacent sites. With regard to other amenity impacts the proposed construction management plan requirement (**Condition 3**) plan is intended to assist with the major impact during construction. It is noted the total construction period is three months, with piling estimated to take ten days, fencing three days and mechanical installation approximately six weeks.

Representors had raised concerns with the reflective nature of solar panels. The applicant has responded that the arrays track the sun and they are designed to absorb rather than reflect and that any reflection is minimal. The solar panels also have an anti-reflective paint to minimise glare.

#### Transport Access and Parking

Desired Outcomes	
DO1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO1.2, 1.2, 1.3, 1.4, Sightlines PO2.1, 2.2, Vehicle Access PO3.1, 3.2, 3.3, 3.4, 3.5, 3.8, 3.9	

Access has been approved by Council engineering as part of the previous application. Further a Construction Environmental Management Plan (CEMP) (**Condition 3**) will assist in managing the highest trafficable period for the site which is during construction.

### CONCLUSION

The proposal is the first large solar farm in the Adelaide Hills Council area and the original “non-complying” proposal (2020) aroused a great deal of community interest. Solar farms were not considered in the Development Plan under which the original approval was assessed and determined. The Planning and Design Code does contemplate a broader description of renewable energy facilities and offers some guidance for assessing solar farms.

There have been a number of versions of the solar farm layout in response to planning staff and representor concerns. Amongst representor concerns visual amenity, glare and the industrial nature of the proposal remain at the forefront along with ensuring the amendments to conditions secured through the ERD Court process are complied with.

Council staff are satisfied the proposed landscaping prepared by a Landscape Architect meets the ERD Court order requirements and will assist in reducing the impact of the solar farm on visual amenity in the locality. Of note the amendments proposed by the applicant since public notification include:

- more mature plantings on all sides of the proposal
- extended landscape watering
- increased boundary setbacks to Warren and Torrens Valley Road

## **SPECIAL CAP MEETING – 20 DECEMBER 2023**

### **ITEM 8.1**

Council staff accept the applicant's assertions with regards to glare and note the tracker stands (pylons) are trackers which follow the sun, reducing the opportunity for glare and, the object of a solar farm is to absorb not reflect. Given the setback to the main roads, the improved landscaping and the proposed continued use of the land for grazing purposes, the variation proposal is considered on balance to meet the aspirations and relevant provisions of the Planning and Design Code.

The variation proposal is sufficiently consistent with the relevant performance outcomes of the Planning and Design Code and it is considered that the proposal is not seriously at variance with the Planning and Design Code. In the view of staff, the proposal has sufficient merit to warrant planning consent. Staff therefore recommend that CAP **GRANT** Planning Consent, subject to conditions.

### **RECOMMENDATION**

It is recommended that the Council Assessment Panel resolve that:

- 1) Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is **NOT** seriously at variance with the provisions of the Planning and Design Code; and
- 2) Development Application Number 23025290 by YES Group (SA) for variation to the site layout plan for the Solar Farm development in DA 473/530/20 [Solar farm (4.98MW), comprising ground mounted solar arrays (maximum height 2.9m), battery storage containers (4MW), inverters, switchboards and associated decks, temporary site office, storage building & associated car parking, fencing (maximum height 2.3m), landscaping & signage] at Lot 16 Warren Road Birdwood is **GRANTED** Planning Consent subject to the following conditions:

### **CONDITIONS**

#### **Planning Consent**

- 1) The development granted shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below.
- 2) The external finishes to the buildings (temporary site office, battery storage, inverters and fencing) herein approved shall be as follows:

<b>WALLS:</b>	Colorbond Woodland Grey or similar
<b>ROOF:</b>	Colorbond Woodland Grey or similar
<b>CHAIN MESH FENCE:</b>	Black PVC or similar
- 3) A Construction Environmental Management Plan (CEMP) shall be submitted for approval by Council prior to the commencement of site works. The CEMP shall include specific management measures or plans for the following aspects:
  - Air quality and dust;
  - Traffic and access including, but not restricted to the impact of dust and noise on nearby residents, damage to the existing road and safety issues arising out of the construction of the development; and
  - Waste management

## **SPECIAL CAP MEETING – 20 DECEMBER 2023**

### **ITEM 8.1**

- 4) An Operational Environmental Management Plan (OEMP) shall be submitted for approval by Council prior to the commencement of commercial operations. The OEMP shall include specific management measures or plans for the following environmental aspects:
  - Noise and vibration
  - Fire risk
  - Public safety
  - Storm water management
  - Vegetation management and irrigation
  - Emergency response planning
  - Complaints management
- 5) Exposed and/or cleared ground surfaces (as a result of construction activities) shall be reinstated and/or reseeded with appropriate ground cover as soon as practicable following substantial completion.
- 6) The operation of plant or equipment (approved herein) shall be designed and operated to comply with the *Environment Protection (Noise) Policy 2007*.
- 7) The portable toilet shall be removed from the site upon completion of the construction phase and prior to the commencement of the operational use of the development.
- 8) Within nine months of cessation of the solar farm use, the renewable energy infrastructure approved herein (including all arrays, associated equipment and structures, cabling, fencing, footings etc) shall be decommissioned and removed, with the land rehabilitated to its pre-development condition.
- 9) Landscaping and tree planting proposed in the Landscape Plan and Planting Plan Drawing Nos L-01 & L-02 Revision C prepared by Space Landscape Design and dated 07/12/2023 must be planted in the first spring after construction on the site commences. The landscaping must be regularly watered in the first three years or such other period (whether longer or shorter) until the vegetation is established and henceforth maintained, with any dead or dying plants to be removed and replaced, to the general satisfaction of Council.

### **ADVISORY NOTES**

#### **General Notes**

- 1) No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.
- 2) Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.
- 3) This Planning Consent is valid for a period of twenty-four (24) months commencing from the date of the decision, subject to the below or subject to an extension having been granted by the relevant authority. If applicable, Building Consent must be obtained prior to expiration of the Planning Consent.
- 4) Where an approved development has been substantially commenced within 2 years from the operative date of approval, the approval will then lapse 3 years from the operative date of the approval (unless the development has been substantially or fully completed within those 3 years, in which case the approval will not lapse).

## **SPECIAL CAP MEETING – 20 DECEMBER 2023**

### **ITEM 8.1**

- 5) The applicant is advised that any proposal to clear, remove limbs or trim native vegetation on the land, unless the proposed clearance is subject to an exemption under the Regulations of the Native Vegetation Act 1991, requires the approval of the Native Vegetation Council. The clearance of native vegetation includes the flooding of land, or any other act or activity that causes the killing or destruction of native vegetation, the severing of branches or any other substantial damage to native vegetation. For further information visit:

[www.environment.sa.gov.au/Conservation/Native\\_Vegetation/Managing\\_native\\_vegetation](http://www.environment.sa.gov.au/Conservation/Native_Vegetation/Managing_native_vegetation)

Any queries regarding the clearance of native vegetation should be directed to the Native Vegetation Council Secretariat on 8303 9777. This must be sought prior to Full Development Approval being granted by Council.

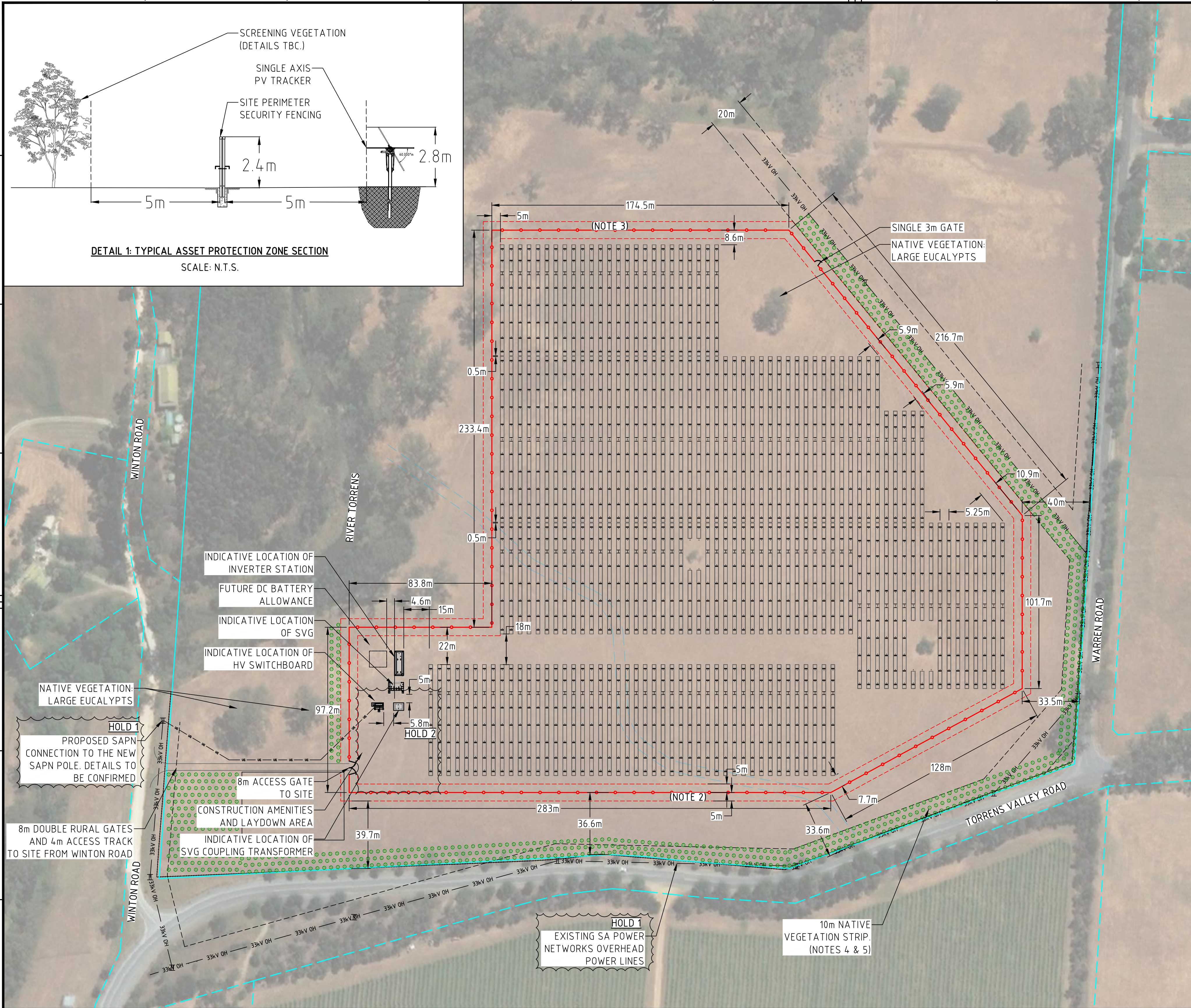
- 6) Management of the property during construction shall be undertaken in such a manner as to prevent denudation, erosion or pollution of the environment.

### **OFFICER MAKING RECOMMENDATION**

**Name:** Melanie Scott

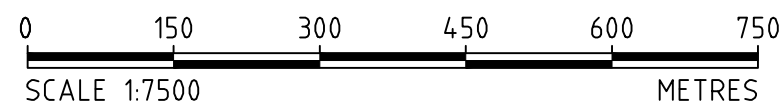
**Title:** Senior Statutory Planner





DETAIL 1: TYPICAL ASSET PROTECTION ZONE SECTION  
SCALE: N.T.S.

SITE PLAN  
SCALE 1:1250



HOLDS

- ALL DIMENSIONS AND LOCATIONS OF PROPERTY BOUNDARIES AND EXISTING SAPN OHL APPROXIMATE UNTIL DETAILED SURVEY RECEIVED.
- ALL DETAILS OF MAJOR EQUIPMENT TO BE CONFIRMED.
- NEXTRACKER SINGLE STRING ARRAYS DIMENSIONS T.B.C

redmud  
greenenergy

www.redmud.net.au

REV	DATE	DRN	CHK	ENG	Q.A.	PROJECT	DESCRIPTION	NUMBER	TITLE
0F	03/10/23	SDC	MGD	JAD	RHL	220918	REVISED VEGETATION		
0E	29/09/23	SDC	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
0D	30/08/23	SDC	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
0H	07/12/23	GPA	JC	JAD	ABG	220918	ISSUED FOR INFO ONLY		
0G	22/11/23	JRT	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
No	DATE	DRN	CHK	ENG	Q.A.	PROJECT	DESCRIPTION	NUMBER	TITLE

REVISION

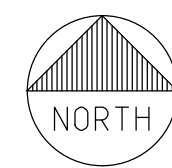
REFERENCE DRAWINGS

GPA

www.gpaeng.com.au

YES GROUP  
RMGE121 - LOT 16 WARREN ROAD, BIRDWOOD  
4.95MW EXPORT PV SYSTEM  
PRELIMINARY SITE LAYOUT

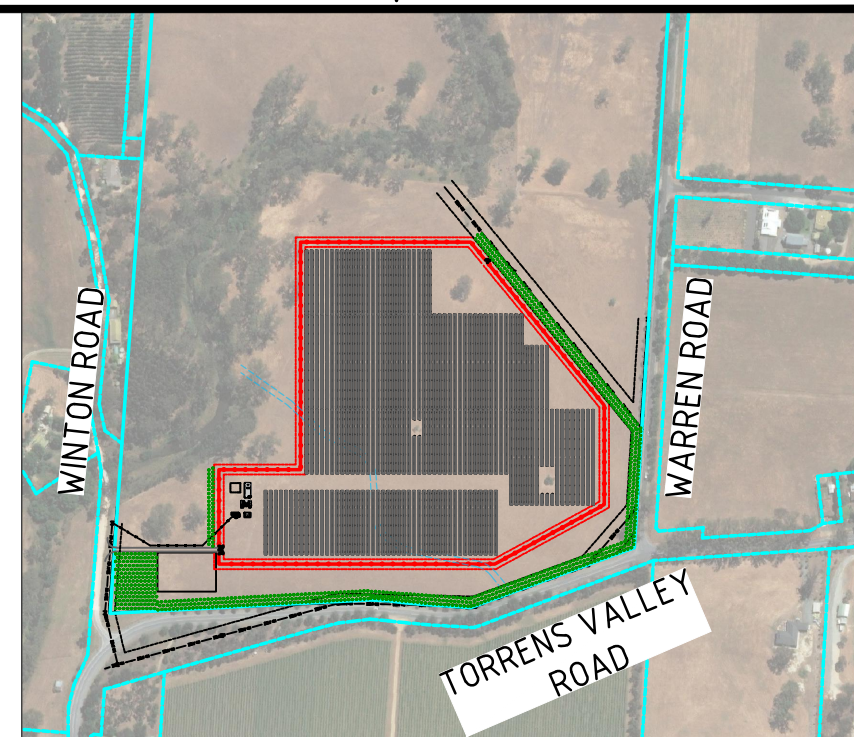
DATE:22/02/23	DRN: GPA	CHK: MGD	ENG: JAD	Q.A:RHL	SCALE: AS SHOWN
PROJ No 220918	DRG No 220918-121-60-100				
					REV 0H



DRAFT UNCONTROLLED  
07/12/23

ISSUED FOR APPROVAL

NOT FOR  
CONSTRUCTION



KEY PLAN  
SCALE 1:7500

NEXTRACKER HORIZON TRACKER LEGEND

MODULE QTY	LENGTH	SITE QTY	TRACKER SYMBOL
81 MODULE (3 STRINGS)	97.3m	60	[Symbol]
54 MODULE (2 STRINGS)	65.2m	116	[Symbol]

PV SYSTEM SPECIFICATIONS

INVERTER MAKE	SUNGROW	-	MOUNTING SYSTEM	NEXTRACKER	-
INVERTER MODEL	SG2475HV	-	MODULE MAKE	LONGI	-
INVERTER RATING	2475	kVA	MODULE MODEL	LR7-72HGD-600M	-
NUMBER OF INVERTERS	2	-	MODULE CAPACITY	600	W
NUMBER OF STRINGS	412	-	TOTAL MODULES	11124	-
MODULES PER STRING	27	-	DC CAPACITY	6.67	MWp
GENERATION CAPACITY	4.950	MVA	DC/AC (MW)	1.35	-
GENERATION POWER FACTOR	1	-	PITCH	5.25	m
EXPORT LIMIT (NOTE 1)	(NOTE 1) 4.95	MW	GROUND COVERAGE RATIO	45.4	%

SITE SPECIFICATIONS

TOTAL FENCED AREA	9.62	Ha
TOTAL FENCED LENGTH (INC. GATES)	1318.4	METERS
ACCESS TRACK EASEMENT	0.044	Ha
ACCESS TRACK LENGTH	110.0	METERS
VEGETATION AREA	1.16	Ha

NOTES:

- POWER FACTOR AT CONNECTION POINT TYPICALLY TO BE MAINTAINED BY DEDICATED REACTIVE POWER SUPPORT EQUIPMENT (SVG SYSTEM). FINAL OPERATION TO BE CONFIRMED.
- 5m CLEARANCE TO BE PROVIDED BETWEEN SITE SECURITY FENCE AND NATIVE VEGETATION.
- 10m ASSET PROTECTION ZONE (APZ) AROUND SITE PERIMETER. REFER DETAIL 1 ADJACENT.
- VEGETATION TO BE PROVIDED AS PER BIRDWOOD SOLAR FARM - LANDSCAPING PLAN 220923
- VEGETATION WITHIN OVERHEAD LINE EASEMENT TO BE SELECTED AND INSTALLED TO COMPLY WITH THE ELECTRICITY (PRINCIPLES OF VEGETATION CLEARANCE) REGULATIONS.

LEGEND

- PROPERTY BOUNDARY
- SECURITY FENCE
- ASSET PROTECTION ZONE (APZ)
- ACCESS TRACK
- INDICATIVE LOCATION OF NEW PROPOSED UNDERGROUND 33kv LINE
- INDICATIVE LOCATION OF EXISTING SAPN 33kv OVERHEAD LINE
- INDICATIVE LOCATION OF NEW PROPOSED OVERHEAD 33kv LINE
- INDICATIVE EASEMENT (DETAILS T.B.C.)
- INDICATIVE LOCATION OF DRAINAGE
- VEGETATION (NOTES 4 & 5)
- INDICATIVE LOCATION OF EXISTING SAPN STOBIE POLES



- LEGEND**
- PROPERTY BOUNDARY
  - ASSET PROTECTION ZONE
  - SECURITY FENCE
  - NATIVE PLANT BUFFER TYPE 1
  - NATIVE PLANT BUFFER TYPE 2
  - EXISTING TREES TO REMAIN

NATIVE VEGETATION SCREENING  
TO MINIMISE THE VISUAL IMPACT  
AS VIEWED FROM WINTO ROAD

NATIVE VEGETATION TO REMAIN  
EUCALYPTS SPP

8m DOUBLE RURAL GATES  
& 4m ACCESS TRACK TO SITE FROM  
WINTON ROAD

SINGLE 3m GATE

NATIVE VEGETATION TO REMAIN  
EUCALYPTS SPP

NATIVE VEGETATION TO REMAIN  
EUCALYPTS SPP

NATIVE VEGETATION SCREENING  
ALONG NORTHERN SIDE OF THE  
SOLAR ARRAY TO MINIMISE THE  
VISUAL IMPACT AS VIEWED FROM  
WARREN ROAD

10m NATIVE VEGETATION STRIP  
TO MINIMISE THE VISUAL IMPACT  
AS VIEWED FROM THE PUBLIC SPHERE

NOTES:  
- 5m CLEARANCE TO BE PROVIDED BETWEEN SECURITY FENCE AND NATIVE VEGETATION  
- 10m ASSET PROTECTION ZONE (APZ) AROUND SITE PERIMETER  
- VEGETATION WITHIN OVERHEAD LINE EASEMENT TO BE SELECTED AND INSTALLED  
TO COMPLY WITH THE ELECTRICITY (PRINCIPLES OF VEGETATION CLEARANCE) REGULATIONS.

NOTES:  
- Contractor to check and verify all dimensions and all levels on site prior to any works.  
- Any discrepancies should be immediately referred to Space Landscape Designs.  
- All work to comply with S.C.A. Safety Guidelines and relevant Australian Standards.  
- Dimensions indicated on all drawings. All measurements are in millimetres.

Rev.	Date	Issue
A	11/10/23	Preliminary Issue
B	11/10/23	DA Issue
C	07/12/23	DA Issue

Checked
AE
AE
AE

SPACE  
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd  
ABN 66 799 655 674 ACN 139 316 251  
info@spacedesigns.com.au  
spacedesigns.com.au  
P 02 9905 7870 F 02 9905 7857  
Suite 136, 117 Old Pittwater Rd.  
Brookvale NSW 2100

PROJECT:  
Birdwood Solar Farm  
SITE ADDRESS:  
Lot 16 Warren Road, Birdwood

CLIENT: YES Group  
DRN: T.Browne (B.LArch)  
SCALE: 1:1250@A1  
PROJECT NO: 232133



DRAWING TITLE:  
LANDSCAPE PLAN  
DRAWING NO:  
L-01

Rev: C



LEGEND

PROPERTY BOUNDARY

ASSET PROTECTION ZONE

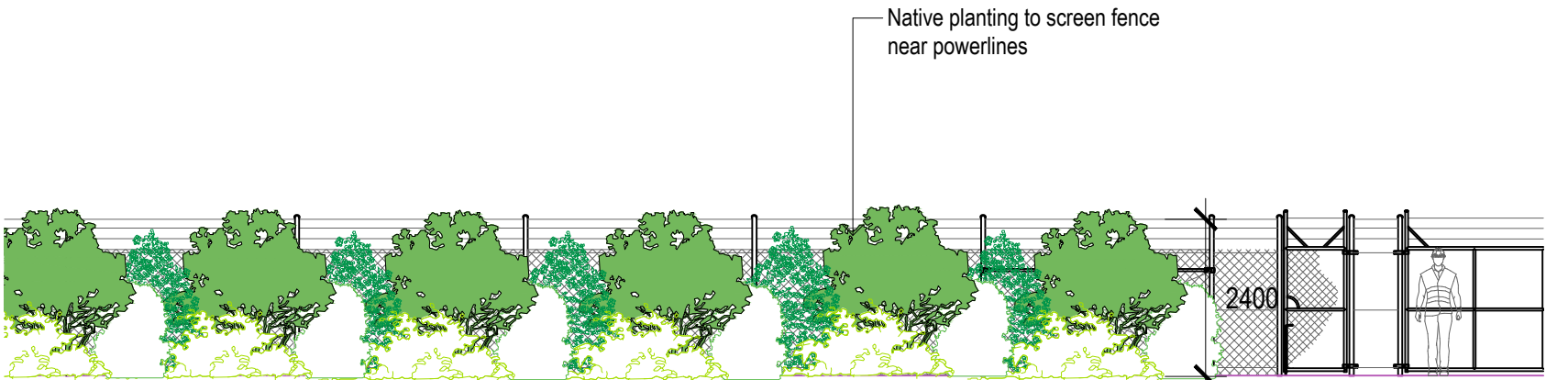
SECURITY FENCE

NATIVE PLANT SCREEN PLANTING

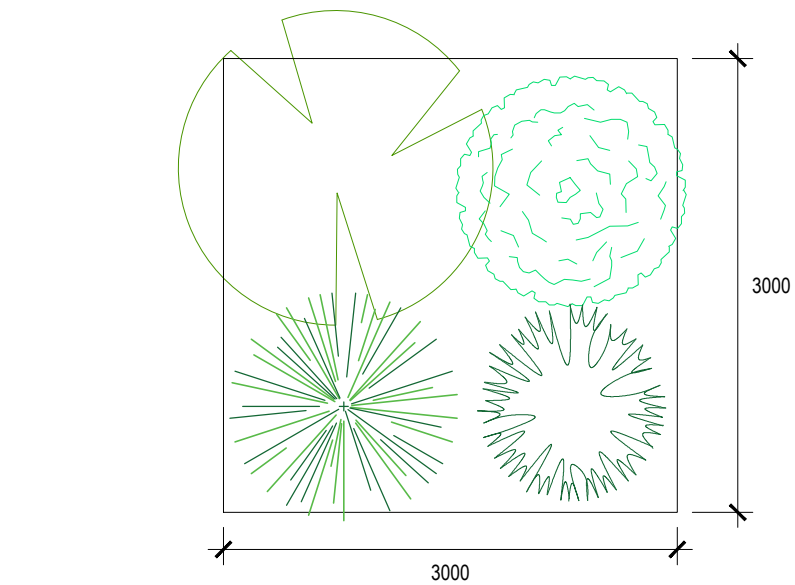
NATIVE MIX TYPE 1

NATIVE MIX TYPE 2

PROPOSED PLANT SCHEDULE - NATIVE MIX TYPE 1						
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE	ESTIMATED TIME TO MATURITY
AL	SHRUBS					
AM	ACACIA ACINACEA	WREATH WATTLE	405	1-2m	tube	3-4 years
CT	ALLOCAUARINA MUELLERIANA	COMMON OAK-BUSH	405	1-3m	tube	4 years
ME	CALYTRIX TETRAGONA	FRINGE MYRTLE	405	1-2m	tube	3-4 years
	MELALEUCA DECUSSATA	HONEY MYRTLE	405	2m	tube	3-4 years

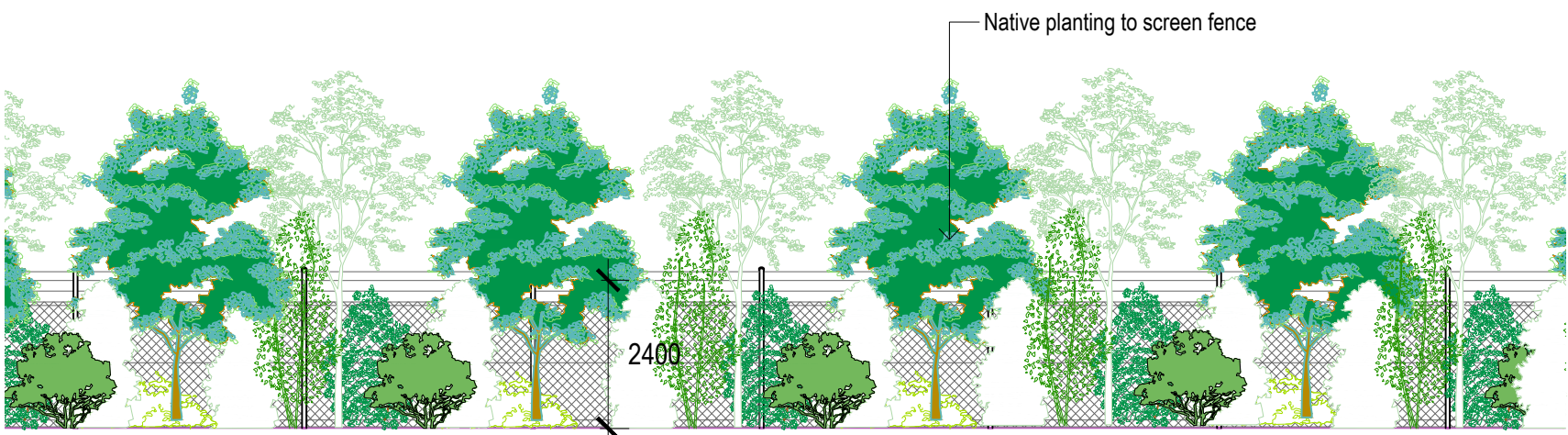


NATIVE PLANT MIX TYPE 1 - TYPICAL ELEVATION  
SCALE 1:100



NATIVE PLANT MIX TYPE 1 - MATRIX  
SCALE 1:50

PROPOSED PLANT SCHEDULE - NATIVE MIX TYPE 2						
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE	ESTIMATED TIME TO MATURITY
AV	TREES					
EC	ALLOCAUARINA VERTICILLIATA	DROOPING SHEOAK	267	5-8m	45Ltr	2 years
	EUCALYPTUS COSMOPHYLLA	CUP GUM	267	5-8m	45Ltr	2-3 years
AL	SHRUBS					
AM	ACACIA ACINACEA	WREATH WATTLE	267	1-2m	25Ltr	2 years
CT	ALLOCAUARINA MUELLERIANA	COMMON OAK-BUSH	267	1-3m	25Ltr	2 years
DV	CALYTRIX TETRAGONA	FRINGE MYRTLE	267	1-2m	25Ltr	2 years
HR	DODONAEA VISCOSA SSP SPATHULATA	STICKY HOP-BUSH	267	1.5-4m	25Ltr	2-3 years
ME	HAKEA ROSTRATA	SEA-KED HAKEA	267	1-4m	25Ltr	2 years
	MELALEUCA DECUSSATA	HONEY MYRTLE	267	2m	25Ltr	2 years



NATIVE PLANT MIX TYPE 2 - TYPICAL ELEVATION  
SCALE 1:100

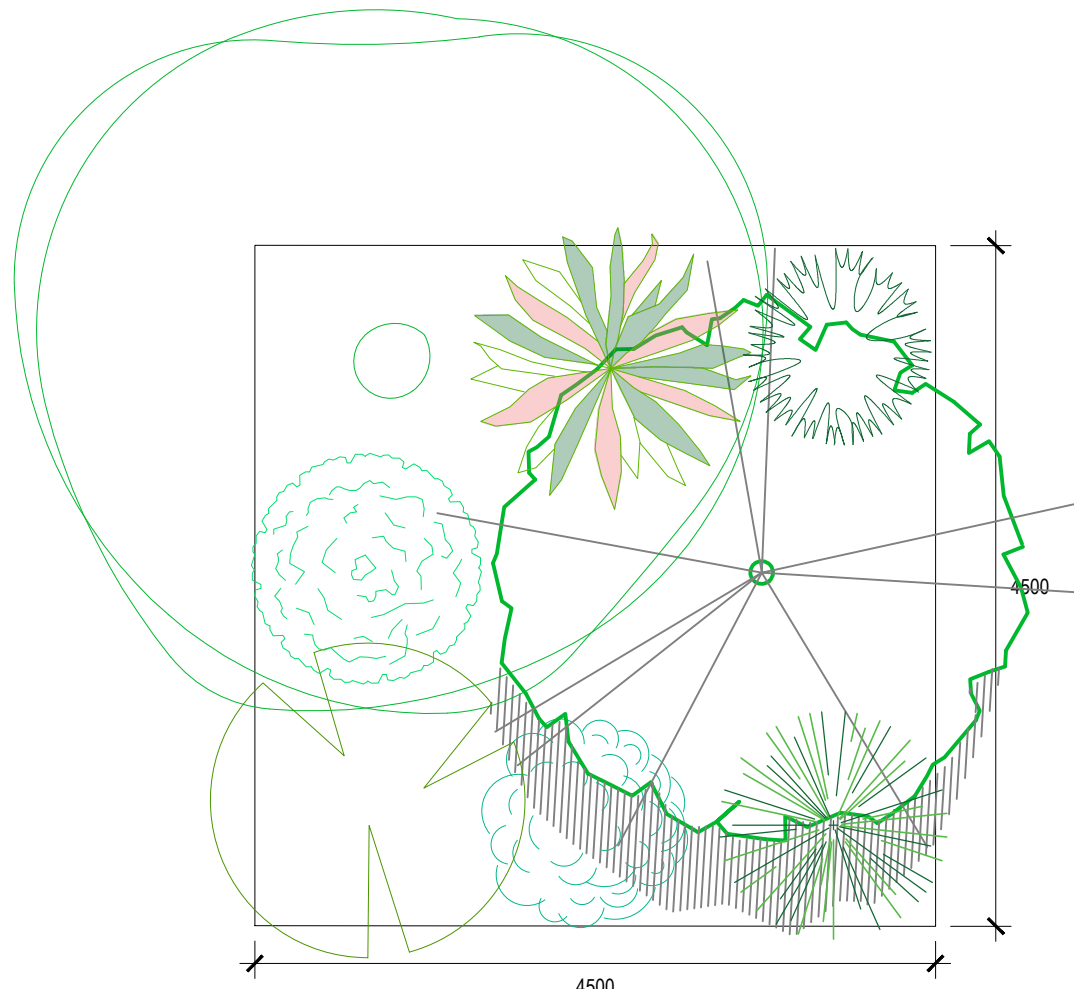
NOTES:  
- Contractors to check and verify all dimensions and all levels on site prior to any works.  
- Any discrepancies should be immediately referred to Space Landscape Designs.  
- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.  
- Dimensions designed over piping. All measurements are in millimetres.

Rev.	Date	Issue
A	11/10/23	Preliminary Issue
B	11/10/23	DA Issue
C	07/12/23	DA Issue

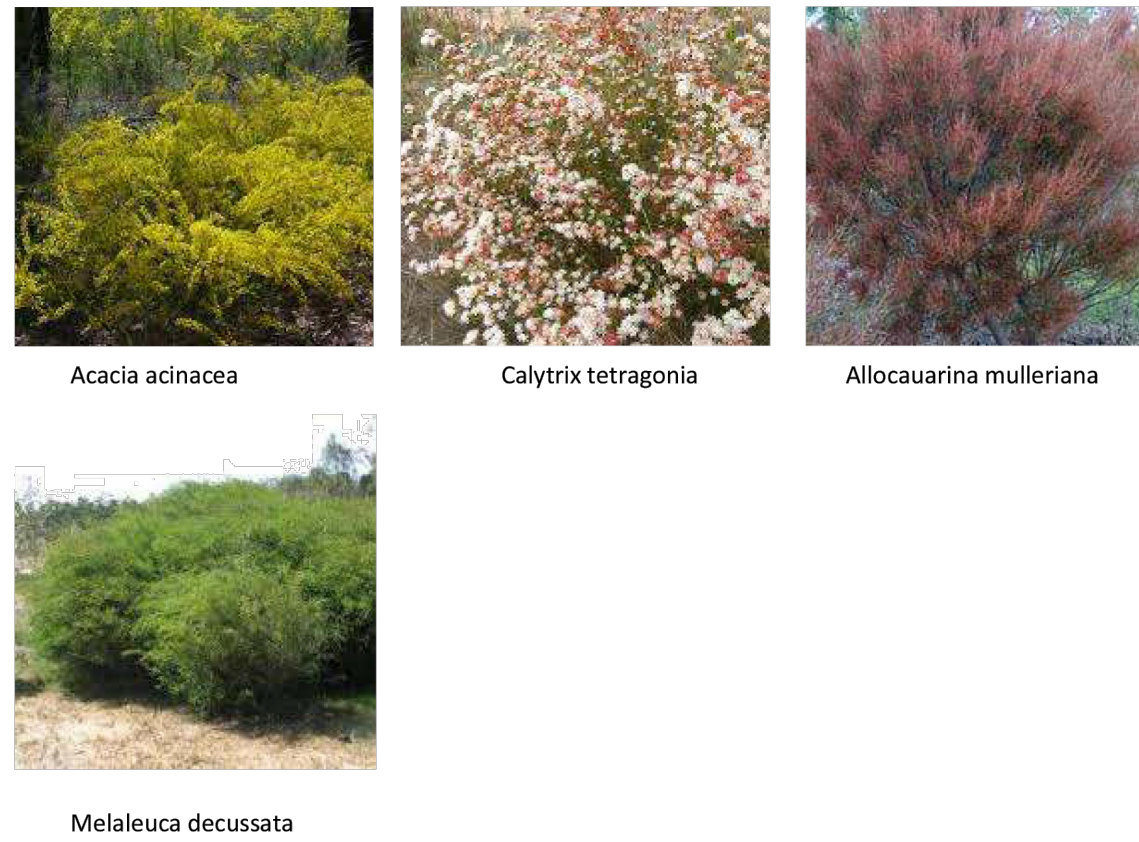
Checked
AE
AE

Note - New fence to be black PVC coated chain mesh.  
The black colour is most suitable as it blends into the surrounding environment and appears to disappear due to black absorbing the light rather than reflecting it.  
The open style will also let light through so it will not appear as a solid structure.

NATIVE PLANT MIX TYPE 2 - MATRIX  
SCALE 1:50



PLANTING PALETTE - NATIVE MIX TYPE 1



PLANTING PALETTE - NATIVE MIX TYPE 2

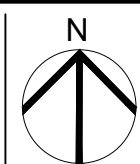


SPACE  
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd  
ABN 60 799 663 674 ACN 139 316 251  
info@spacedesigns.com.au  
spacedesigns.com.au  
P 02 9905 7870 F 02 9905 7657  
Suite 138, 117 Old Pittwater Rd,  
Brookvale NSW 2100

PROJECT:  
Birdwood Solar Farm  
SITE ADDRESS:  
Lot 16 Warren Road, Birdwood

CLIENT: YES Group  
DRN: T.Browne (B.LArch)  
SCALE: As shown@A1  
PROJECT NO: 232133



DRAWING TITLE:  
PLANTING PLAN  
DRAWING NO:  
L-02

Rev: C



LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION

Locate any underground and overground services & ensure no damage occurs. All dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

PROTECTION OF EXISTING TREES:

Prior to construction, the builder shall erect tree protection fencing to the drip line of existing trees to be retained. The fence shall be constructed of star pickets at 2.4m spacings and connected by three strands of 2mm wire at 300mm spacings to a minimum height of 1500mm. Protect all trees affected by demolition & construction. Take necessary precautions to protect the Structural Root Zone(SRZ) as per AS 4970-2009 Australian Standard for Protection of Trees on Development Sites.Tree protection measures shall remain intact until the completion of all construction works.

Prohibited Works or material storage within the TPZ as per AS 4970-2009 except with approval of council:

- entry of machinery or storage of building materials, parking of any kind of vehicle
- erection or placement of site facilities, removal or stockpiling of soil or site debris, disposal of liquid waste including paint & concrete wash
- excavation or trenching of any kind (including irrigation or electrical connections).
- attaching any signs or any other objects to the tree, placement of waste disposal or skip bins
- pruning and removal of branches, other than those by a qualified Arborist

SITE ESTABLISHMENT

Fence the area as required with a sheep proof fence to control possible livestock impacts.

ELIMINATE WEEDS

Remove all existing weeds with a glyphosate based herbicide as per manufacturers recommendations. Weed control shall never be performed by mechanical cultivation or by scraping. Weed elimination to commence in July - weather dependant. A second spray to be performed in 2 weeks - weather dependant. Do not spray when raining or if rain is forecasted or on excessively hot, dry or windy days.

Herbicide spraying is to be used to eliminate all existing weeds a minimum 30 days prior to planting.

EXCAVATION & PLANTING PREPARATION

Excavate garden beds with a single furrow rip line to a minimum depth of 300mm. Seedlings to be planted with Hamilton tree planter tool. Plants to be protected from pests and wind with CorFlute Tree Guards until they become established. Tree Guard to be secured with one 75cm high hardwood timber stake 11 x 23mm.

REUSE EXISTING TOPSOIL

Existing site topsoil should be salvaged & appropriately stockpiled where possible.

PLANT STOCK

Seedlings to be supplied by reputable production nurseries in accordance with AS 2303:2018 Tree Stock for Landscape Use. Plants to be supplied weed, pest and disease free in 50 x 50 x 120mm deep tubes. Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species. Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%. Stock selection should also be based on NATSPEC Guide *Specifying Trees: a Guide to Assessment of Tree Quality*.

WATERING

Water in immediately with 10 litres of water per plant after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.

MAINTENANCE STRATEGY

For the successful establishment of plants it is essential that adequate maintenance on a regular basis be provided. This regular maintenance will encourage quick development of the trees and reduce the cost of replacing dying plants.

INSPECTION

Inspect site and seedlings one month after planting and replace any losses.

WATERING

Adequate watering during plant establishment is required for the first few weeks. The rootball and surrounding soil should be adequately moist. As the plants establish the intervals should increase and then the plant should only be watered at the first signs of wilting. After 3-6 months the plant should be able to survive on its own.

FERTILISING

Fertilising will only be required if the plant is indicating signs of poor condition and slow growth due to nutrient deficiencies. If fertilising is deemed to be necessary it will be carried out after the second seasons growth at the end of the second growing season in late summer to autumn. N:P:K ratios and application rates vary greatly depending on conditions of use. Consult manufacturers for application rates suitable for individual plantings. Fertilisers may be applied to the soil in an organic granular application with a low phosphorus and nitrogen content, applied in a broad casting fashion to quantities & rates described on fertiliser bags.

REMEDIAL PRUNING

Once plants are established, pruning will be an ongoing process, which will require the periodical removal of unsightly dead wood and hazardous branches.

WEEDING

Weed control measures should aim to eliminate weed germination and establishment. Weeds are to be controlled while young and before seed set. Declared noxious weeds require action, varying from treatment to removal. Contact Council's Noxious Weeds Officer for further information.

PLANT STAKING

Once plants are self supporting remove tree guard and stake.

PEST AND DISEASE CONTROL

Treatment of pests and diseases is important for maintaining healthy plants. Non-chemical controls and treatments should always be considered first. Natural control of pests is encouraged such as removing the parts affected by disease, hand removal of certain pests and encouraging birds.

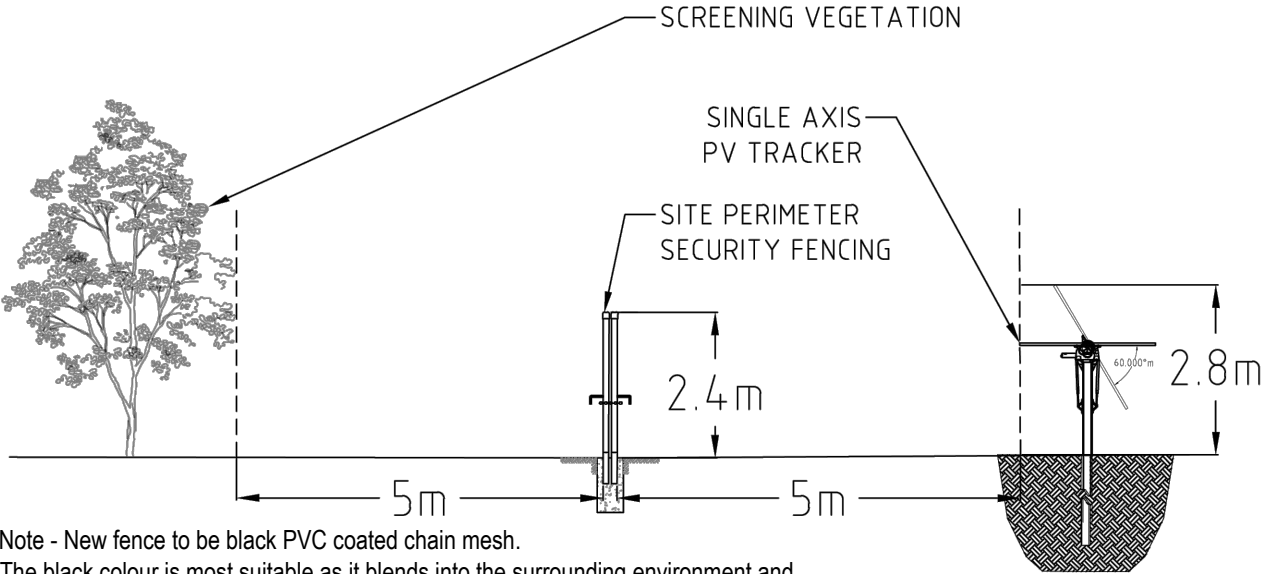
REPLANTING

Should any plants require replacing the same species and tube stock shall be used. The following guidelines are recommended:

- Plants are to be removed from their containers with all labels removed.
- A hole is to be excavated at 2-3 times the diameter of the container and at the same depth as the root ball with the sides loosened.
- No organic matter, gravel or coarse material to be placed at the bottom of the planting hole.
- All plants are to be planted so the top of the root ball is level with the existing ground level.
- Original site soil is to be used as back fill around plant. Plants to be watered in.Apply mulch to a depth of 75mm and 100mm away from the trunk

SOIL TESTING

If growth of plants is poor or every 3 months during twelve month establishment period, a soil pH test should be performed at 5 different locations. Take each sample to spade depth. Follow the instructions as per the pH colourimetric kit to check the soil pH is at an acceptable level.



Note - New fence to be black PVC coated chain mesh.  
The black colour is most suitable as it blends into the surrounding environment and appears to disappear due to black absorbing the light rather than reflecting it.  
The open style will also let light through so it will not appear as a solid structure.

01 TYPICAL ASSET PROTECTION ZONE SECTION

SCALE N.T.S.



02 TYPICAL CORFLUTE TREE GUARD

SCALE N.T.S.

NOTES:  
- Contractors to check and verify all dimensions and all levels on site prior to any works.  
- Any discrepancies should be immediately referred to Space Landscape Designs.  
- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.  
- Dimensions recognised over scaling. All measurements are in millimetres.

Rev.	Date	Issue
A	11/10/23	Preliminary Issue
B	11/10/23	DA Issue
C	07/12/23	DA Issue

Checked
AE
AE
AE

**SPACE**  
LANDSCAPE DESIGNS

**Space Landscape Designs Pty Ltd**  
ABN 60 799 663 674 ACN 139 316 251  
info@spacedesigns.com.au  
spacedesigns.com.au  
P 02 9905 7870 F 02 9905 7657  
Suite 138, 117 Old Pittwater Rd,  
Brookvale NSW 2100

PROJECT:  
**Birdwood Solar Farm**  
SITE ADDRESS:  
**Lot 16 Warren Road, Birdwood**

CLIENT: **YES Group**  
DRN: **T.Browne (B.LArch)**  
SCALE: **1:100@A3**  
PROJECT NO: **232133**

DRAWING TITLE:  
**LANDSCAPE DETAILS**

DRAWING No:

**L-03**

Rev: **C**

# TYPICAL DRIVEWAY DETAIL

Not to Scale

4000 mm

Property Boundary

**Driveway** - Width 4000 mm wide with 'wings' on each side (6000 mm radius).

**Pavement** - the road pavement will be a minimum 150 mm deep compacted rubble.

**Grade** - the driveway shall be constructed to the same level as the edge of pavement on the road through to the property boundary.

DRIVEWAY

TP = TANGENT POINT

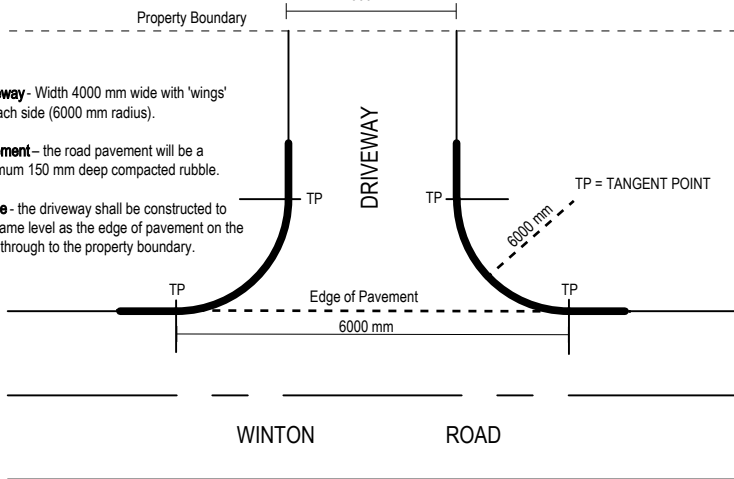
6000 mm

Edge of Pavement

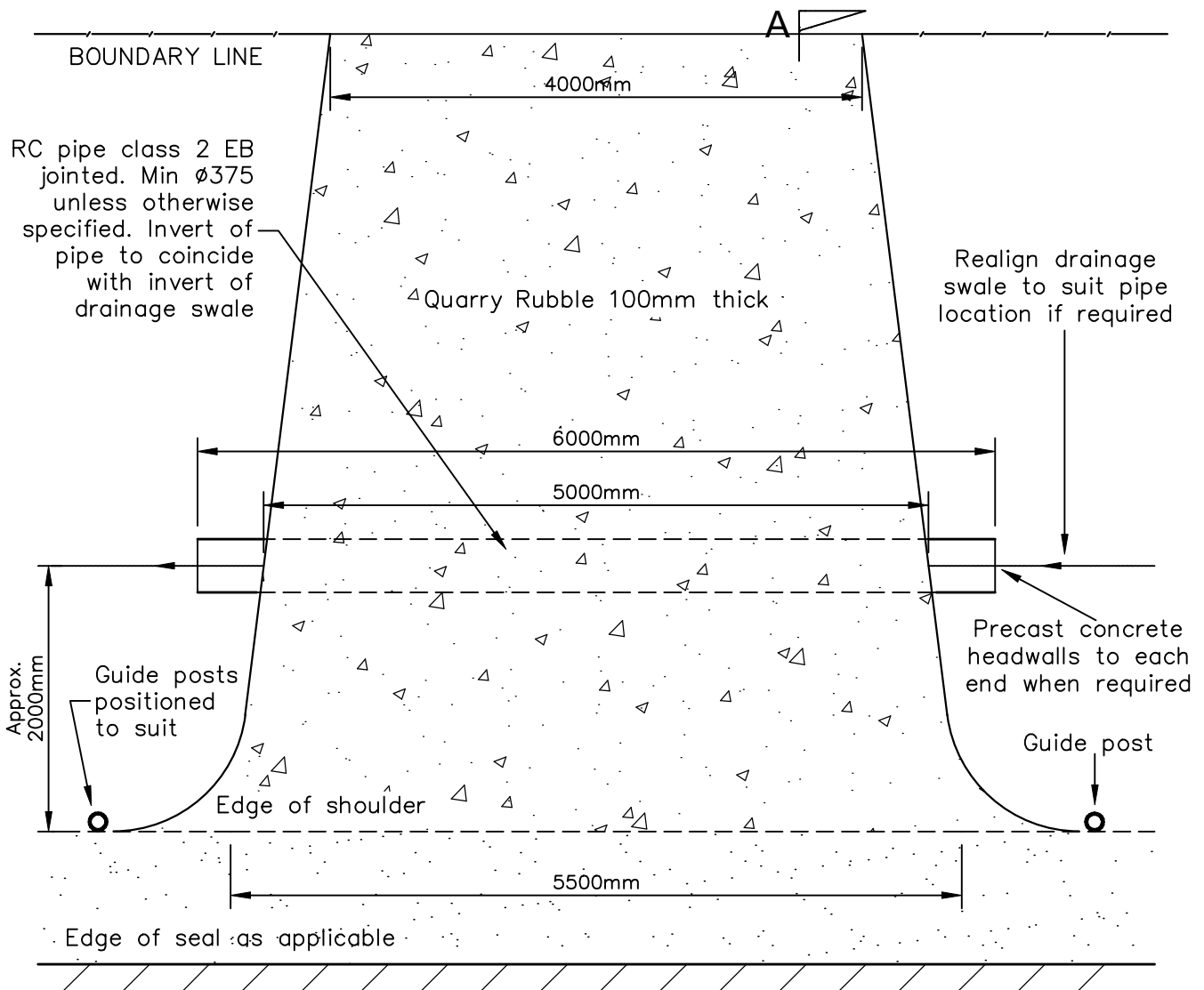
6000 mm

WINTON

ROAD



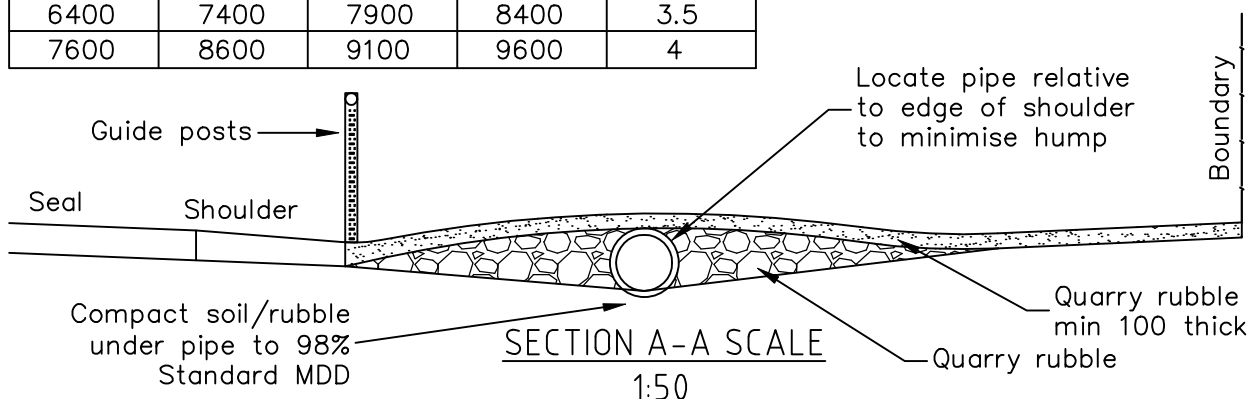
Refer to Standard Drawing No 20: – Entranceways Rural\_Guide for verge crossing levels



PLAN VIEW

STANDARD WIDTH OF ENTRANCEWAY

At boundary	At swale	At shoulder	Pipe length	No of pipes
4000	5000	5500	6000	2.5
5200	6200	6700	7200	3
6400	7400	7900	8400	3.5
7600	8600	9100	9600	4



SECTION A-A SCALE

1:50

ASSOCIATED DRAWINGS:  
13, 19, 20.

Quarry rubble to be PM21 compacted to 95% Modified MDD.  
Where swale depth exceeds 800mm headwalls will be required.  
Guide posts are composite rubber with delineators & driveable anchor 1m high located to suit the situation.



## PIPED ENTRANCE

FOR RURAL VERGE CROSSOVER

SCALE: AS SHOWN

DRAWN BY: SAB

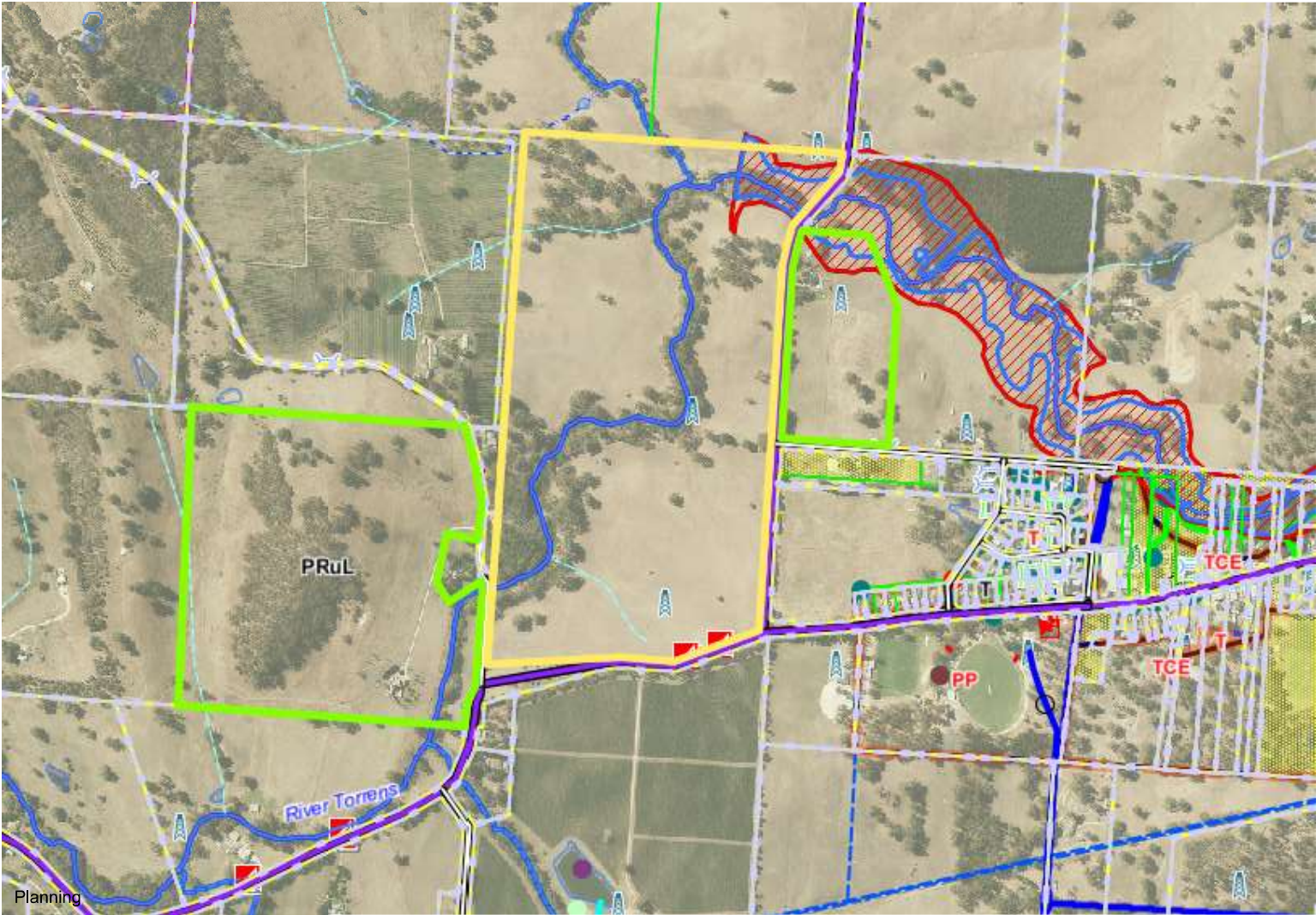
DATE DRAWN: MAR 10

DRAWING NO: 16

A

A4

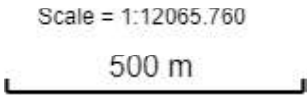




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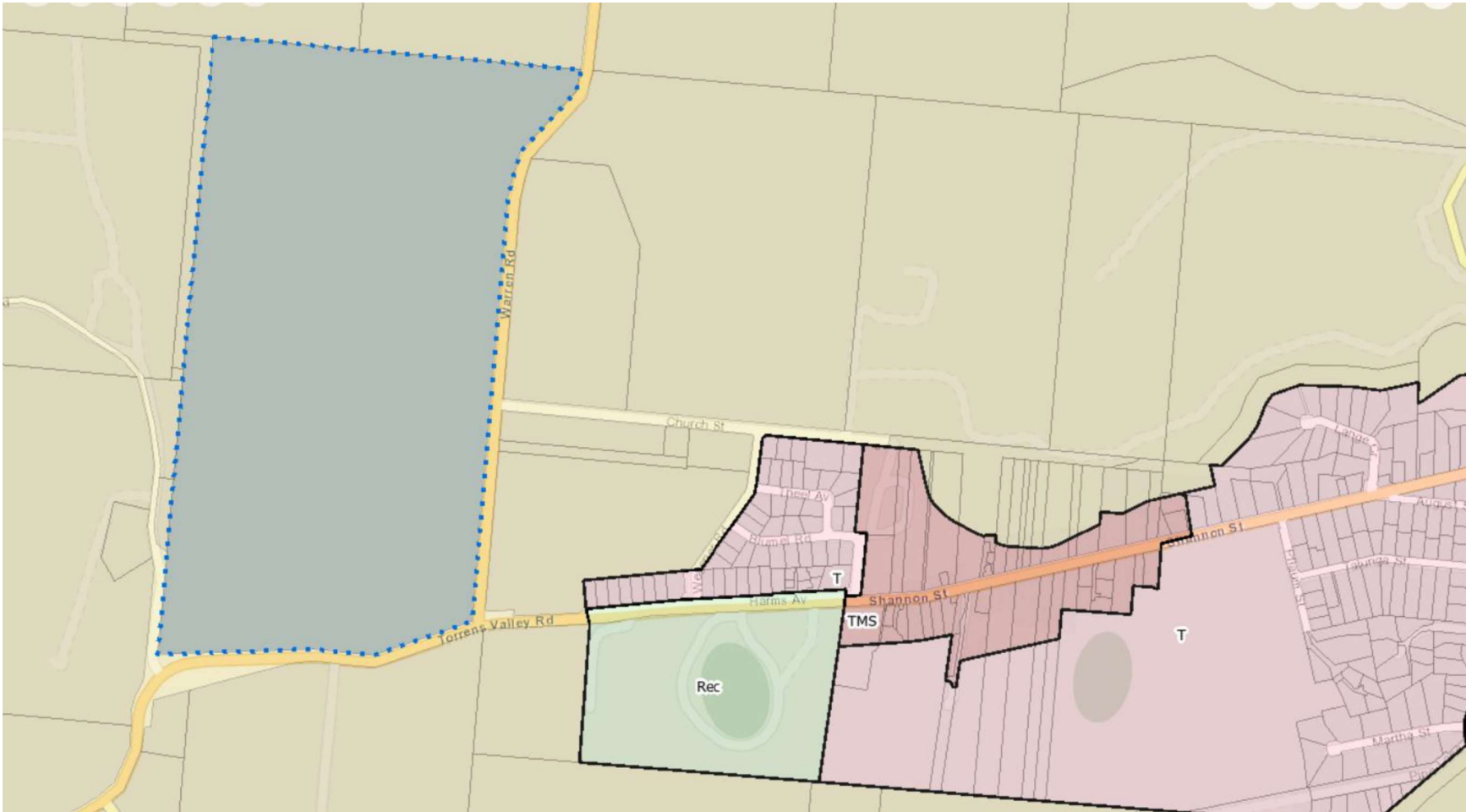
representations regarding the use, or results of use of the information contained herein as to its correctness, accuracy, currency or otherwise. In particular, it should be noted that the accuracy of property boundaries when displayed over aerial photography cannot be considered to be accurate, and that the only certain method of determining boundary locations is to use the services of a licensed Surveyor. The Adelaide Hills Council, its

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- Annotations**
- Representor 1
  - Representor
  - Subject Land
- Planners Summary**
- PlanningSummary
- AHC Core**
- Parks
  - Property\_Owner
  - Townships
- Roads Street View**
- ADJOINING LGA RD
  - AHC & PRIVATE
  - AHC RD
  - DPTI RD
  - PRIVATE RD
  - SHARED RD
- AHC\_LGA**
- Parcels
  - Roads
  - LGAs
  - Suburbs
- Rivers**
- River
  - Creeks
  - Streams

Zoning Map



ABN 91 376 720 132

PO Box 96  
BEACHPORT SA 5280

M: 0418 838 152  
E: frank@fbcs.com.au  
W: www.fbcs.com.au

7 December 2023

Ms Melanie Scott  
Senior Statutory Planner  
Adelaide Hills Council  
PO Box 44  
WOODSIDE SA 5244

Dear Melanie

<b>Development Number:</b>	23025290
<b>Applicant:</b>	YES Group Pty Ltd
<b>Location:</b>	Lot 16 Torrens Valley Road, Birdwood SA 5234
<b>Proposed Development:</b>	Variation to the site layout plan for the Solar Farm development in DA 473/530/20

As previously advised, I am acting for the YES Group in relation to the proposed Birdwood Solar Farm development at Lot 16 Torrens Valley Road, Birdwood as contained in DA 23025290.

In response to Council's request for further information in relation to the development application we advise as follows:

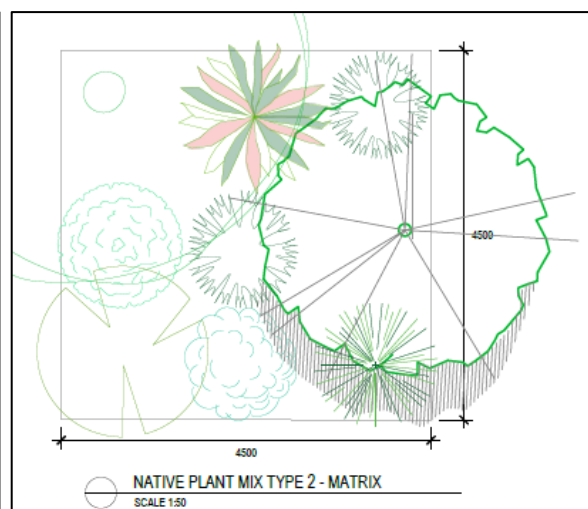
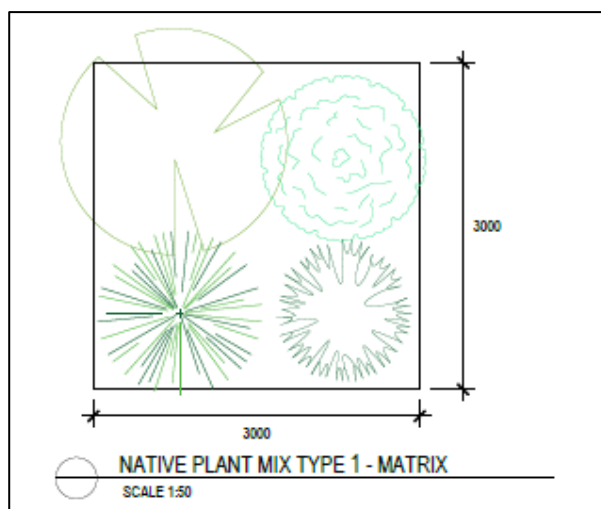
1. Amended Landscaping Plan –

Response - please find attached the updated landscaping plan reflecting the amended solar farm layout, pot size (age) of plantings and dimensions of the buffer plantings. Noting the Type 2 Plantings are now a mix of 45L & 25L pots and not tube stock as originally proposed.

2. Planting Density –

Response – I can confirm the landscaping plan provides for two plant mixes (Type 1 & Type 2), with the Type 1 plant mix having 4 plants within a 9.0 m<sup>2</sup> area and the Type 2 plant mix having 4 plants within a 20.25 m<sup>2</sup> area – as shown in the extracts from the landscaping plan below.

An increase in the planting density is considered to create too much competition between the plants that would hinder their establishment and growth rates. The proposed planting densities are considered by the Landscape Architect to be appropriate to vigorous growth and to provide the desired visual screening effect to the solar farm.





Ms Melanie Scott  
Senior Statutory Planner  
Adelaide Hills Council  
7 December 2023  
Page | 2

3. Solar Farm Glare –

Response – as advised in our response to the representations, solar panels are designed to absorb the energy from sunlight and not to reflect it, with solar panels coated in an anti-reflective paint coating to minimise any reflectivity and the potential for negative impacts on adjoining properties.

The photographs provided in the representations were taken aerially at altitude and angle that will not be experienced at ground level or from adjacent residences.

- So How Do Solar Panels Work? – Solar panels are made up of photovoltaic (PV) cells, which convert sunlight into electricity and are predominantly made of silicon, which is a great material for absorbing sunlight. When silicon absorbs sunlight, it also emits photons (light particles), and when those photons hit a reflective surface, they can cause minor glare.
- Why Do Solar Panels Cause Glare? – the PV cells are monocrystalline silicon cells and are better at absorbing sunlight than others PV cells, being about 80% efficient at absorbing sunlight with the rest is reflected back out as photons. Most of those photons are emitted perpendicular to the surface of the cell, so they don't cause much glare, however some photons are emitted at low angles and may hit a reflective surface and create glare.
- Reflectivity and Solar Panel Glare – solar panels are designed to convert light into electricity, so they perform best if they absorb as much of it as possible and don't reflect it. To that end, to improve their efficiency, they're coated with anti-reflective coating.

The angle of the sun is also an important consideration, firstly, the lower the angle of the sun (winter), the more likely it is that photons will hit a reflective surface and cause glare.

Secondly, the lower the angle of the sun, the more direct sunlight your panels will receive.

The automated tracking system nominated for this site is designed to that the panels move with the sun throughout the day from east to west further reducing the potential of glare.

The glare from a solar farm is minimal and considered not to cause adverse impacts on sensitive receivers in the immediate locality.

Further the proposed landscaping around the solar farm is considered to not only ameliorate the potential for visual impacts but also the potential for glare impacts when the sun is at its lowest.

If you require any further information in relation to this project, please do not hesitate to contact me at your convenience.

Yours sincerely

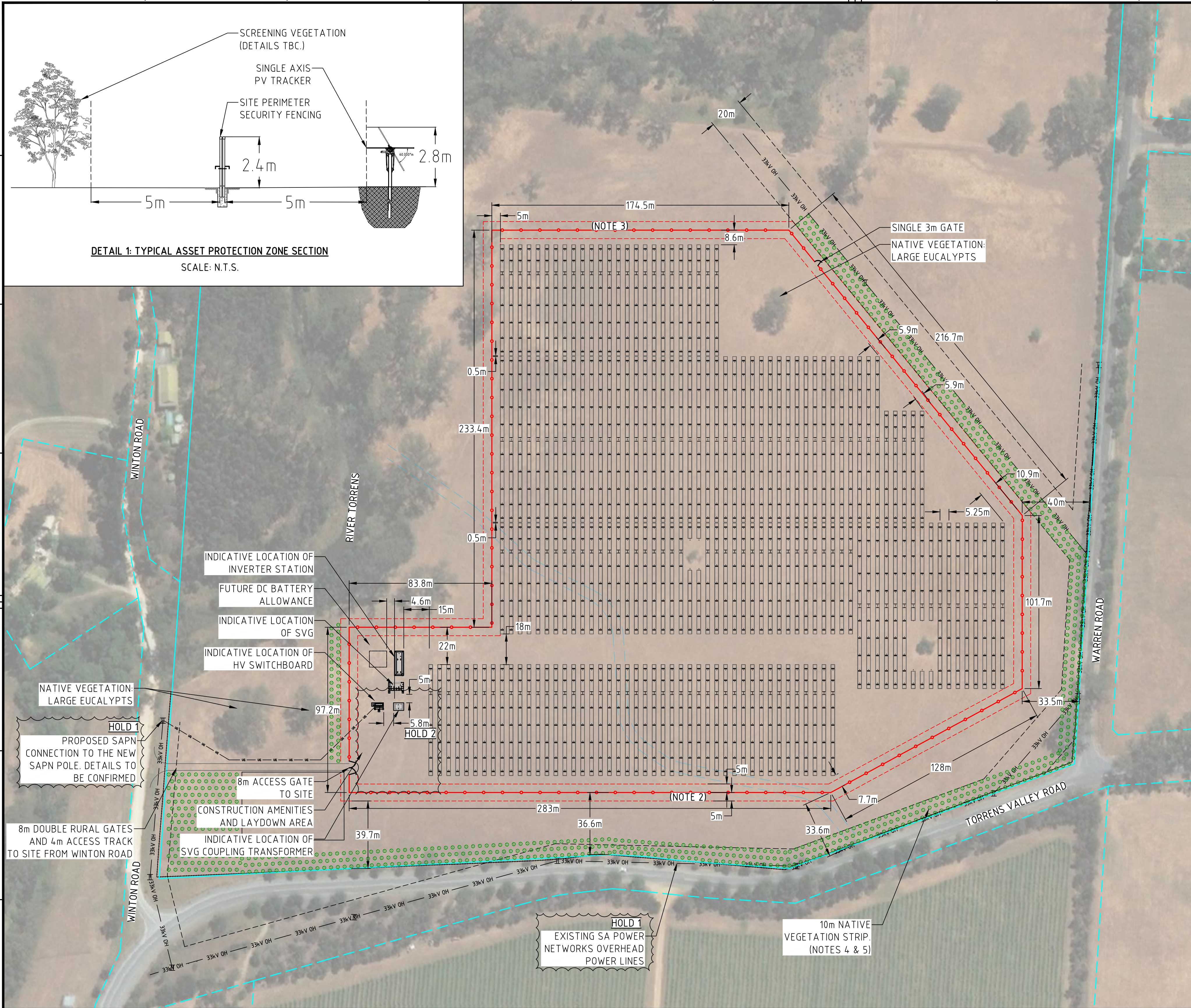


F.N. (Frank) Brennan PSM MPIA  
Accredited Planning Professional APP20190029  
Principal Consultant

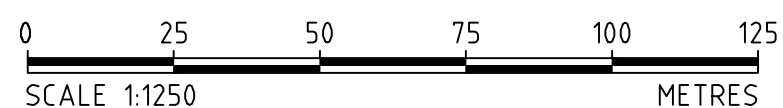
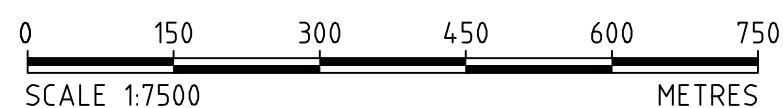
**FRANK BRENNAN CONSULTING SERVICES**







SITE PLAN  
SCALE 1:1250



HOLDS

- ALL DIMENSIONS AND LOCATIONS OF PROPERTY BOUNDARIES AND EXISTING SAPN OHL APPROXIMATE UNTIL DETAILED SURVEY RECEIVED.
- ALL DETAILS OF MAJOR EQUIPMENT TO BE CONFIRMED.
- NEXTRACKER SINGLE STRING ARRAYS DIMENSIONS T.B.C

redmud  
greenenergy

www.redmud.net.au

REV	DATE	DRN	CHK	ENG	Q.A.	PROJECT	DESCRIPTION	NUMBER	TITLE
0F	03/10/23	SDC	MGD	JAD	RHL	220918	REVISED VEGETATION		
0E	29/09/23	SDC	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
0D	30/08/23	SDC	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
0H	07/12/23	GPA	JC	JAD	ABG	220918	ISSUED FOR INFO ONLY		
0G	22/11/23	JRT	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
No	DATE	DRN	CHK	ENG	Q.A.	PROJECT	DESCRIPTION	NUMBER	TITLE

REVISION

REFERENCE DRAWINGS

GPA

www.gpaeng.com.au

YES GROUP  
RMGE121 - LOT 16 WARREN ROAD, BIRDWOOD  
4.95MW EXPORT PV SYSTEM  
PRELIMINARY SITE LAYOUT

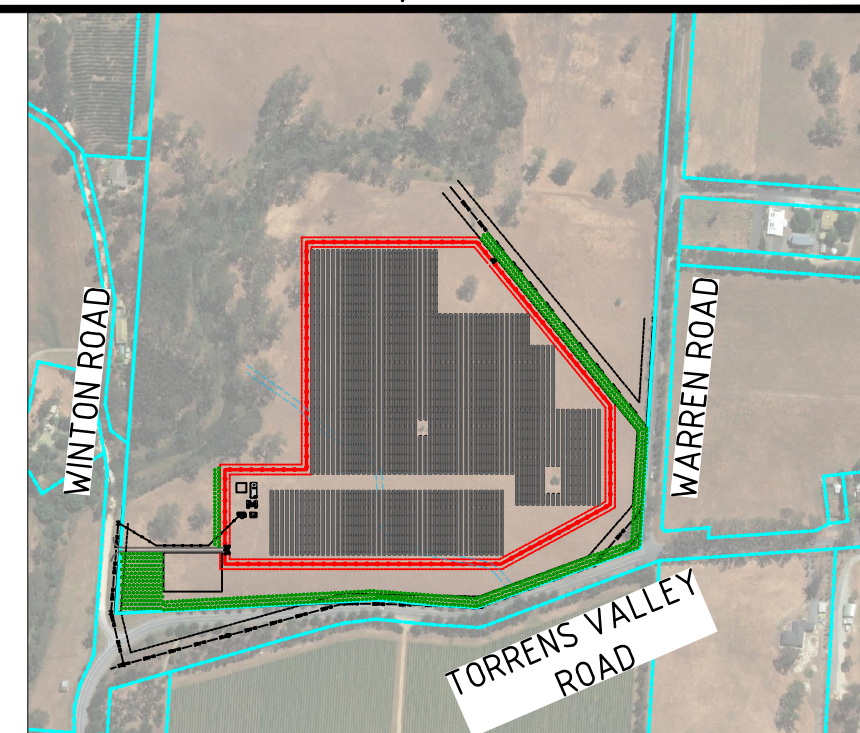
DATE:22/02/23	DRN: GPA	CHK: MGD	ENG: JAD	Q.A:RHL	SCALE: AS SHOWN
PROJ No 220918	DRG No 220918-121-60-100				REV 0H



DRAFT UNCONTROLLED  
07/12/23

ISSUED FOR APPROVAL

NOT FOR  
CONSTRUCTION



KEY PLAN  
SCALE 1:7500

NEXTRACKER HORIZON TRACKER LEGEND

MODULE QTY	LENGTH	SITE QTY	TRACKER SYMBOL
81 MODULE (3 STRINGS)	97.3m	60	[Symbol]
54 MODULE (2 STRINGS)	65.2m	116	[Symbol]

PV SYSTEM SPECIFICATIONS

INVERTER MAKE	SUNGROW	-	MOUNTING SYSTEM	NEXTRACKER	-
INVERTER MODEL	SG2475HV	-	MODULE MAKE	LONGI	-
INVERTER RATING	2475	kVA	MODULE MODEL	LR7-72HGD-600M	-
NUMBER OF INVERTERS	2	-	MODULE CAPACITY	600	W
NUMBER OF STRINGS	412	-	TOTAL MODULES	11124	-
MODULES PER STRING	27	-	DC CAPACITY	6.67	MWp
GENERATION CAPACITY	4.950	MVA	DC/AC (MW)	1.35	-
GENERATION POWER FACTOR	1	-	PITCH	5.25	m
EXPORT LIMIT (NOTE 1)	(NOTE 1) 4.95	MW	GROUND COVERAGE RATIO	45.4	%

SITE SPECIFICATIONS

TOTAL FENCED AREA	9.62	Ha
TOTAL FENCED LENGTH (INC. GATES)	1318.4	METERS
ACCESS TRACK EASEMENT	0.044	Ha
ACCESS TRACK LENGTH	110.0	METERS
VEGETATION AREA	1.16	Ha

NOTES:

- POWER FACTOR AT CONNECTION POINT TYPICALLY TO BE MAINTAINED BY DEDICATED REACTIVE POWER SUPPORT EQUIPMENT (SVG SYSTEM). FINAL OPERATION TO BE CONFIRMED.
- 5m CLEARANCE TO BE PROVIDED BETWEEN SITE SECURITY FENCE AND NATIVE VEGETATION.
- 10m ASSET PROTECTION ZONE (APZ) AROUND SITE PERIMETER. REFER DETAIL 1 ADJACENT.
- VEGETATION TO BE PROVIDED AS PER BIRDWOOD SOLAR FARM - LANDSCAPING PLAN 220923
- VEGETATION WITHIN OVERHEAD LINE EASEMENT TO BE SELECTED AND INSTALLED TO COMPLY WITH THE ELECTRICITY (PRINCIPLES OF VEGETATION CLEARANCE) REGULATIONS.

LEGEND

- PROPERTY BOUNDARY
- SECURITY FENCE
- ASSET PROTECTION ZONE (APZ)
- ACCESS TRACK
- INDICATIVE LOCATION OF NEW PROPOSED UNDERGROUND 33kv LINE
- INDICATIVE LOCATION OF EXISTING SAPN 33kv OVERHEAD LINE
- INDICATIVE LOCATION OF NEW PROPOSED OVERHEAD 33kv LINE
- INDICATIVE EASEMENT (DETAILS T.B.C.)
- INDICATIVE LOCATION OF DRAINAGE
- VEGETATION (NOTES 4 & 5)
- INDICATIVE LOCATION OF EXISTING SAPN STOBIE POLES



- LEGEND**
- PROPERTY BOUNDARY
  - ASSET PROTECTION ZONE
  - SECURITY FENCE
  - NATIVE PLANT BUFFER TYPE 1
  - NATIVE PLANT BUFFER TYPE 2
  - EXISTING TREES TO REMAIN



NATIVE VEGETATION SCREENING  
TO MINIMISE THE VISUAL IMPACT  
AS VIEWED FROM WINTO ROAD

NATIVE VEGETATION TO REMAIN  
EUCALYPTS SPP

8m DOUBLE RURAL GATES  
& 4m ACCESS TRACK TO SITE FROM  
WINTON ROAD

SINGLE 3m GATE

NATIVE VEGETATION TO REMAIN  
EUCALYPTS SPP

NATIVE VEGETATION TO REMAIN  
EUCALYPTS SPP

NATIVE VEGETATION SCREENING  
ALONG NORTHERN SIDE OF THE  
SOLAR ARRAY TO MINIMISE THE  
VISUAL IMPACT AS VIEWED FROM  
WARREN ROAD

10m NATIVE VEGETATION STRIP  
TO MINIMISE THE VISUAL IMPACT  
AS VIEWED FROM THE PUBLIC SPHERE

NOTES:  
- 5m CLEARANCE TO BE PROVIDED BETWEEN SECURITY FENCE AND NATIVE VEGETATION  
- 10m ASSET PROTECTION ZONE (APZ) AROUND SITE PERIMETER  
- VEGETATION WITHIN OVERHEAD LINE EASEMENT TO BE SELECTED AND INSTALLED  
TO COMPLY WITH THE ELECTRICITY (PRINCIPLES OF VEGETATION CLEARANCE) REGULATIONS.

NOTES:  
- Contractor to check and verify all dimensions and all levels on site prior to any works.  
- Any discrepancies should be immediately referred to Space Landscape Designs.  
- All work to comply with S.C.A. Statutory Requirements and relevant Statutory Guidelines.  
- Dimensions indicated on all drawings. All measurements are in millimetres.

Rev.	Date	Issue
A	11/10/23	Preliminary Issue
B	11/10/23	DA Issue
C	07/12/23	DA Issue

Checked	AE
AE	AE
AE	AE

SPACE  
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd  
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info@spacedesigns.com.au  
spacedesigns.com.au  
P 02 9905 7870 F 02 9905 7857  
Suite 136, 117 Old Pittwater Rd.  
Brookvale NSW 2100

PROJECT:  
Birdwood Solar Farm  
SITE ADDRESS:  
Lot 16 Warren Road, Birdwood

CLIENT: YES Group  
DRN: T.Browne (B.LArch)  
SCALE: 1:1250@A1  
PROJECT NO: 232133



DRAWING TITLE:  
LANDSCAPE PLAN  
DRAWING NO:  
L-01

Rev: C



LEGEND

PROPERTY BOUNDARY

ASSET PROTECTION ZONE

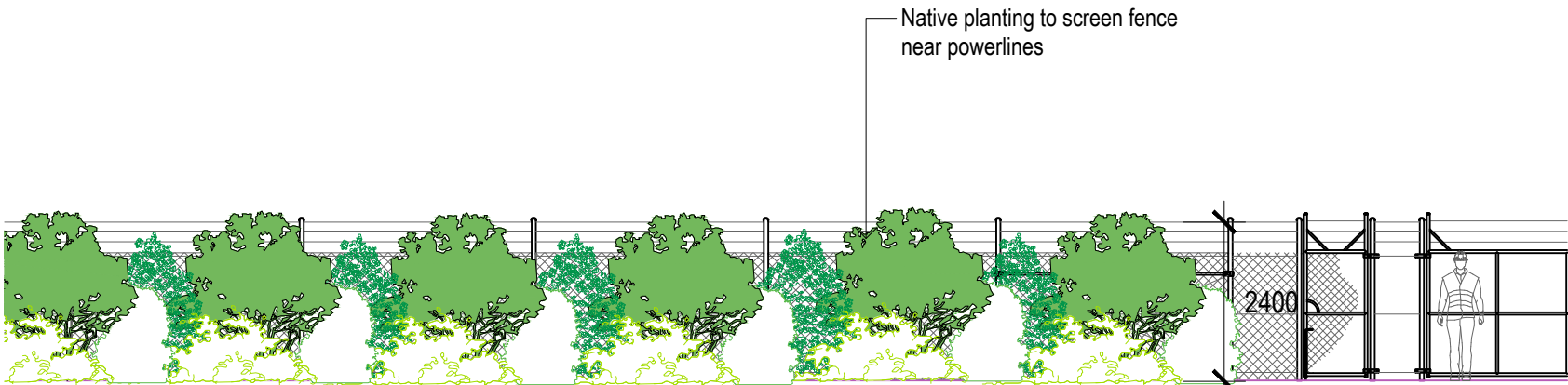
SECURITY FENCE

NATIVE PLANT SCREEN PLANTING

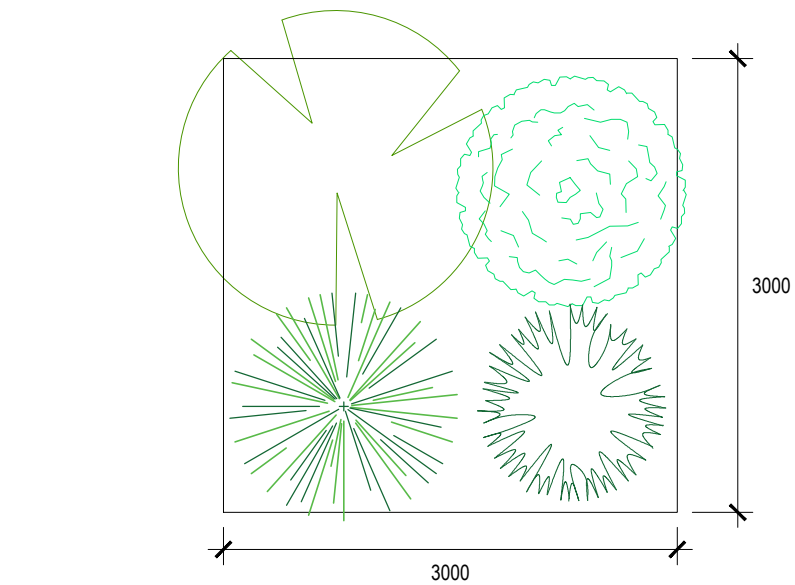
NATIVE MIX TYPE 1

NATIVE MIX TYPE 2

PROPOSED PLANT SCHEDULE - NATIVE MIX TYPE 1						
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE	ESTIMATED TIME TO MATURITY
SHRUBS	AL ACACIA ACINACEA	WREATH WATTLE	405	1-2m	tube	3-4 years
	AM ALLOCASUARINA MUELLERIANA	COMMON OAK-BUSH	405	1-3m	tube	4 years
	CT CALYTRIX TETRAGONA	FRINGE MYRTLE	405	1-2m	tube	3-4 years
	ME MELALEUCA DECUSSATA	HONEY MYRTLE	405	2m	tube	3-4 years

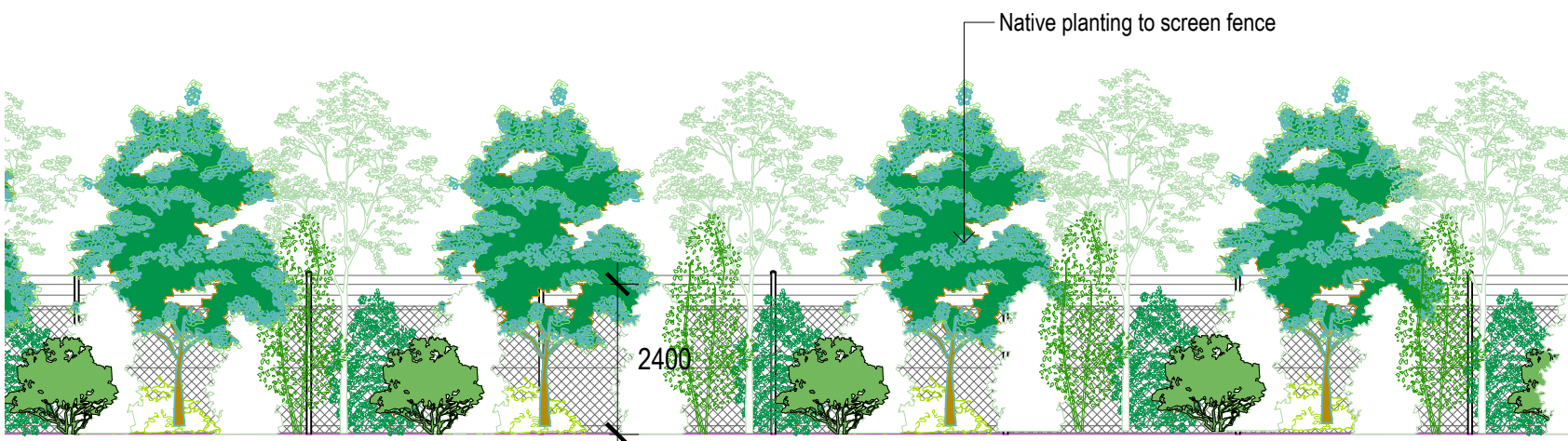


NATIVE PLANT MIX TYPE 1 - TYPICAL ELEVATION  
SCALE 1:100



NATIVE PLANT MIX TYPE 1 - MATRIX  
SCALE 1:50

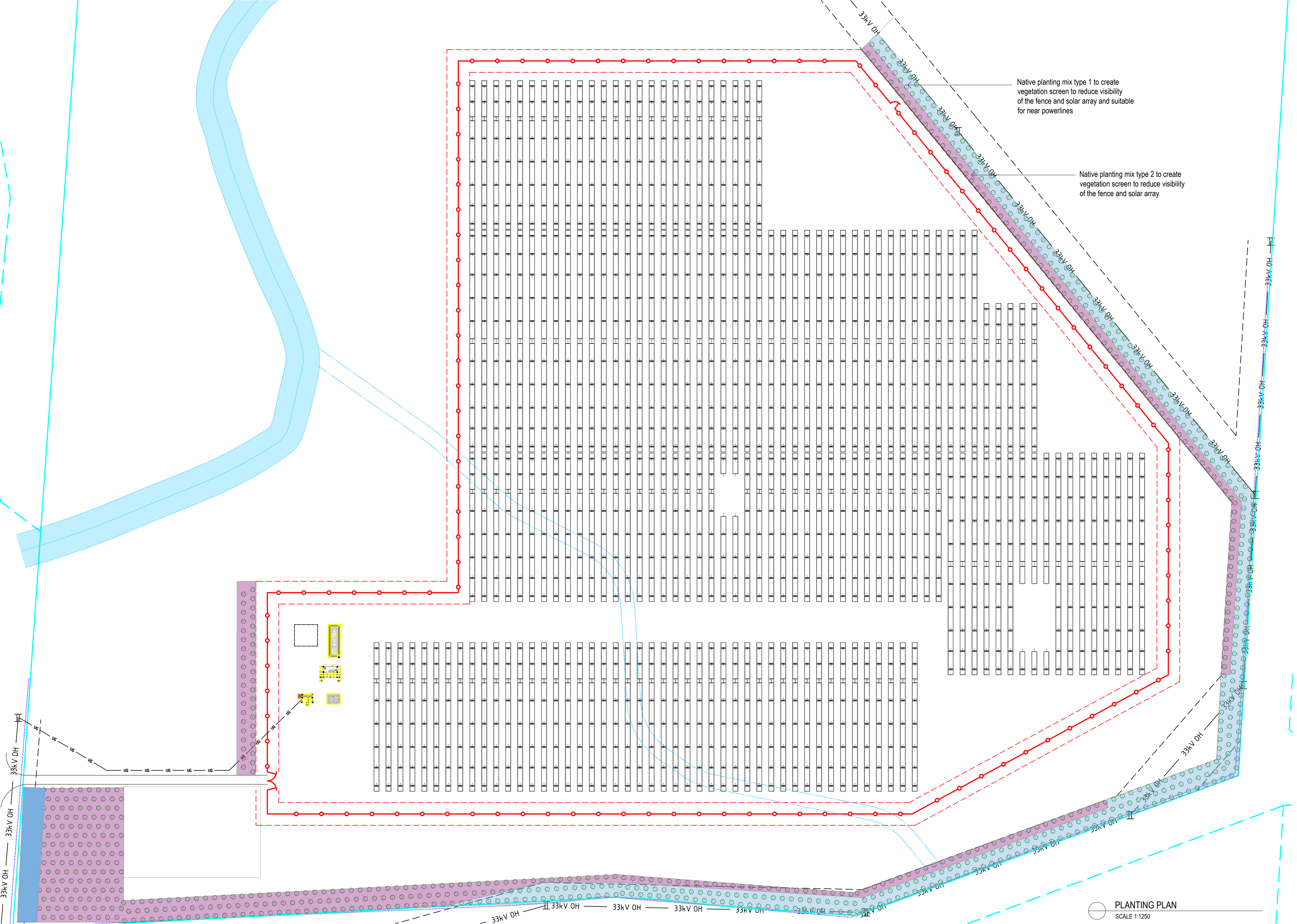
PROPOSED PLANT SCHEDULE - NATIVE MIX TYPE 2						
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE	ESTIMATED TIME TO MATURITY
TREES	AV ALLOCASUARINA VERTICILLIATA	DROOPING SHEOAK	267	5-8m	45Ltr	2 years
	EC EUCALYPTUS COSMOPHYLLA	CUP GUM	267	5-8m	45Ltr	2-3 years
SHRUBS	AL ACACIA ACINACEA	WREATH WATTLE	267	1-2m	25Ltr	2 years
	AM ALLOCASUARINA MUELLERIANA	COMMON OAK-BUSH	267	1-3m	25Ltr	2 years
	CT CALYTRIX TETRAGONA	FRINGE MYRTLE	267	1-2m	25Ltr	2 years
	DV DODONAEA VISCOSEA SSP SPATHULATA	STICKY HOP-BUSH	267	1.5-4m	25Ltr	2-3 years
	HR HAKEA ROSTRATA	SEALED HAKEA	267	1-4m	25Ltr	2 years
	ME MELALEUCA DECUSSATA	HONEY MYRTLE	267	2m	25Ltr	2 years



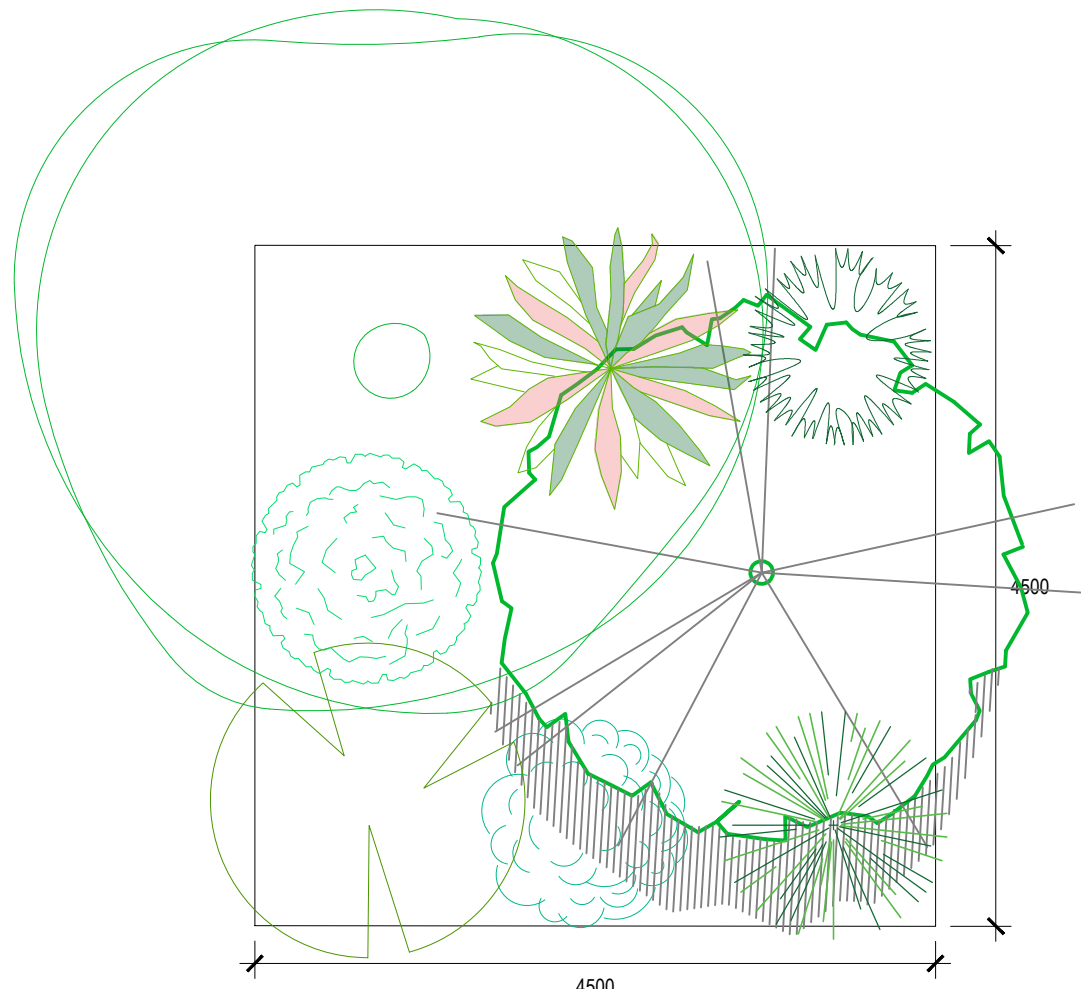
NATIVE PLANT MIX TYPE 2 - TYPICAL ELEVATION  
SCALE 1:100

Rev.	Date	Issue	Checked
A	11/10/23	Preliminary Issue	AE
B	11/10/23	DA Issue	AE
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Note - New fence to be black PVC coated chain mesh.  
The black colour is most suitable as it blends into the surrounding environment and appears to disappear due to black absorbing the light rather than reflecting it.  
The open style will also let light through so it will not appear as a solid structure.

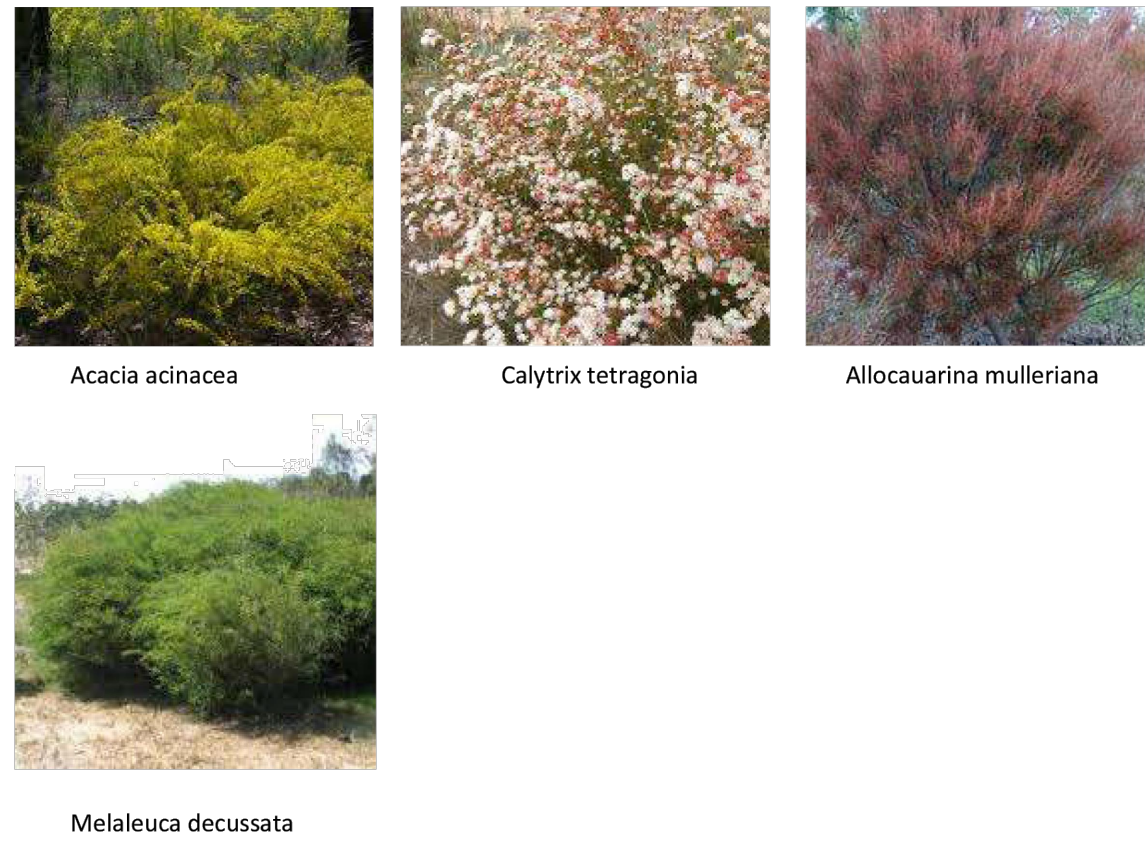


PLANTING PLAN  
SCALE 1:1250



NATIVE PLANT MIX TYPE 2 - MATRIX  
SCALE 1:50

PLANTING PALETTE - NATIVE MIX TYPE 1



PLANTING PALETTE - NATIVE MIX TYPE 2



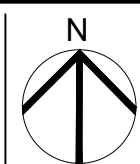
NOTES:  
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- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.  
- Dimensions designed over piping. All measurements are in millimetres.

SPACE  
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd  
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P 02 9905 7870 F 02 9905 7657  
Suite 138, 117 Old Pittwater Rd,  
Brookvale NSW 2100

PROJECT:  
Birdwood Solar Farm  
SITE ADDRESS:  
Lot 16 Warren Road, Birdwood

CLIENT: YES Group  
DRN: T.Browne (B.LArch)  
SCALE: As shown@A1  
PROJECT NO: 232133



DRAWING TITLE:  
PLANTING PLAN  
DRAWING NO:  
L-02

Rev: C



LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION

Locate any underground and overground services & ensure no damage occurs. All dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

PROTECTION OF EXISTING TREES:

Prior to construction, the builder shall erect tree protection fencing to the drip line of existing trees to be retained. The fence shall be constructed of star pickets at 2.4m spacings and connected by three strands of 2mm wire at 300mm spacings to a minimum height of 1500mm. Protect all trees affected by demolition & construction. Take necessary precautions to protect the Structural Root Zone(SRZ) as per AS 4970-2009 Australian Standard for Protection of Trees on Development Sites.Tree protection measures shall remain intact until the completion of all construction works.

Prohibited Works or material storage within the TPZ as per AS 4970-2009 except with approval of council:

- entry of machinery or storage of building materials, parking of any kind of vehicle
- erection or placement of site facilities, removal or stockpiling of soil or site debris, disposal of liquid waste including paint & concrete wash
- excavation or trenching of any kind (including irrigation or electrical connections).
- attaching any signs or any other objects to the tree, placement of waste disposal or skip bins
- pruning and removal of branches, other than those by a qualified Arborist

SITE ESTABLISHMENT

Fence the area as required with a sheep proof fence to control possible livestock impacts.

ELIMINATE WEEDS

Remove all existing weeds with a glyphosate based herbicide as per manufacturers recommendations. Weed control shall never be performed by mechanical cultivation or by scraping. Weed elimination to commence in July - weather dependant. A second spray to be performed in 2 weeks - weather dependant. Do not spray when raining or if rain is forecasted or on excessively hot, dry or windy days.

Herbicide spraying is to be used to eliminate all existing weeds a minimum 30 days prior to planting.

EXCAVATION & PLANTING PREPARATION

Excavate garden beds with a single furrow rip line to a minimum depth of 300mm. Seedlings to be planted with Hamilton tree planter tool. Plants to be protected from pests and wind with CorFlute Tree Guards until they become established. Tree Guard to be secured with one 75cm high hardwood timber stake 11 x 23mm.

REUSE EXISTING TOPSOIL

Existing site topsoil should be salvaged & appropriately stockpiled where possible.

PLANT STOCK

Seedlings to be supplied by reputable production nurseries in accordance with AS 2303:2018 Tree Stock for Landscape Use. Plants to be supplied weed, pest and disease free in 50 x 50 x 120mm deep tubes. Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species. Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%. Stock selection should also be based on NATSPEC Guide *Specifying Trees: a Guide to Assessment of Tree Quality*.

WATERING

Water in immediately with 10 litres of water per plant after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.

MAINTENANCE STRATEGY

For the successful establishment of plants it is essential that adequate maintenance on a regular basis be provided. This regular maintenance will encourage quick development of the trees and reduce the cost of replacing dying plants.

INSPECTION

Inspect site and seedlings one month after planting and replace any losses.

WATERING

Adequate watering during plant establishment is required for the first few weeks. The rootball and surrounding soil should be adequately moist. As the plants establish the intervals should increase and then the plant should only be watered at the first signs of wilting. After 3-6 months the plant should be able to survive on its own.

FERTILISING

Fertilising will only be required if the plant is indicating signs of poor condition and slow growth due to nutrient deficiencies. If fertilising is deemed to be necessary it will be carried out after the second seasons growth at the end of the second growing season in late summer to autumn. N:P:K ratios and application rates vary greatly depending on conditions of use. Consult manufacturers for application rates suitable for individual plantings. Fertilisers may be applied to the soil in an organic granular application with a low phosphorus and nitrogen content, applied in a broad casting fashion to quantities & rates described on fertiliser bags.

REMEDIAL PRUNING

Once plants are established, pruning will be an ongoing process, which will require the periodical removal of unsightly dead wood and hazardous branches.

WEEDING

Weed control measures should aim to eliminate weed germination and establishment. Weeds are to be controlled while young and before seed set. Declared noxious weeds require action, varying from treatment to removal. Contact Council's Noxious Weeds Officer for further information.

PLANT STAKING

Once plants are self supporting remove tree guard and stake.

PEST AND DISEASE CONTROL

Treatment of pests and diseases is important for maintaining healthy plants. Non-chemical controls and treatments should always be considered first. Natural control of pests is encouraged such as removing the parts affected by disease, hand removal of certain pests and encouraging birds.

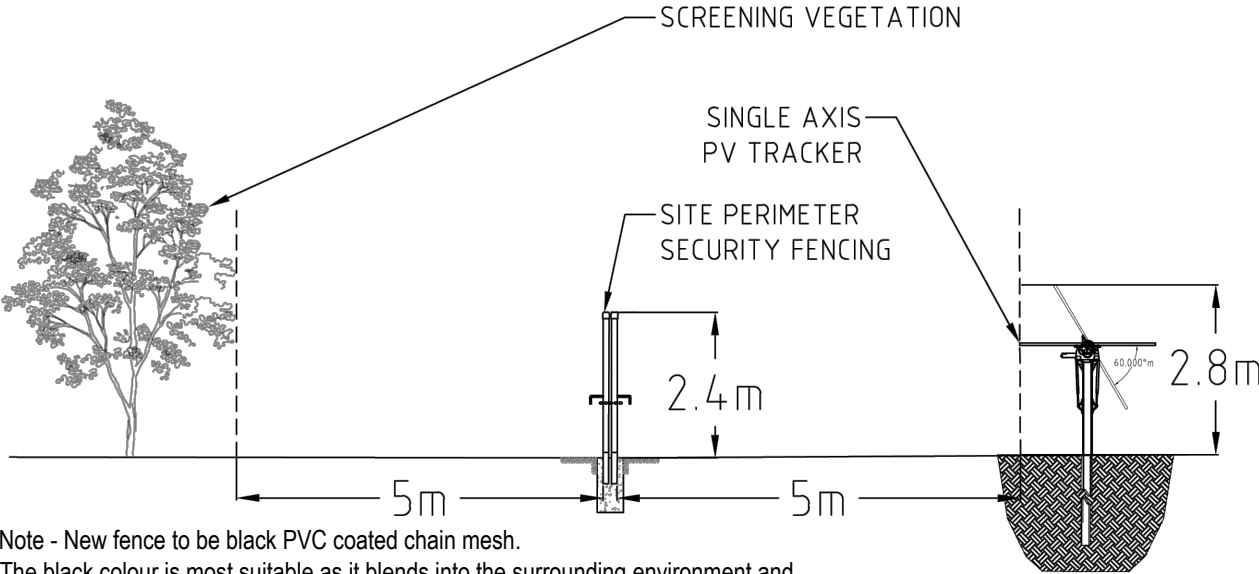
REPLANTING

Should any plants require replacing the same species and tube stock shall be used. The following guidelines are recommended:

- Plants are to be removed from their containers with all labels removed.
- A hole is to be excavated at 2-3 times the diameter of the container and at the same depth as the root ball with the sides loosened.
- No organic matter, gravel or coarse material to be placed at the bottom of the planting hole.
- All plants are to be planted so the top of the root ball is level with the existing ground level.
- Original site soil is to be used as back fill around plant. Plants to be watered in.Apply mulch to a depth of 75mm and 100mm away from the trunk

SOIL TESTING

If growth of plants is poor or every 3 months during twelve month establishment period, a soil pH test should be performed at 5 different locations. Take each sample to spade depth. Follow the instructions as per the pH colourimetric kit to check the soil pH is at an acceptable level.



Note - New fence to be black PVC coated chain mesh.  
The black colour is most suitable as it blends into the surrounding environment and appears to disappear due to black absorbing the light rather than reflecting it.  
The open style will also let light through so it will not appear as a solid structure.

01 TYPICAL ASSET PROTECTION ZONE SECTION

SCALE N.T.S.



02 TYPICAL CORFLUTE TREE GUARD

SCALE N.T.S.

NOTES:  
- Contractors to check and verify all dimensions and all levels on site prior to any works.  
- Any discrepancies should be immediately referred to Space Landscape Designs.  
- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.  
- Dimensions recognised over scaling. All measurements are in millimetres.

Rev.	Date	Issue	Checked
A	11/10/23	Preliminary Issue	AE
B	11/10/23	DA Issue	AE
C	07/12/23	DA Issue	AE

SPACE  
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd  
ABN 60 799 663 674 ACN 139 316 251  
info@spacedesigns.com.au  
spacedesigns.com.au  
P 02 9905 7870 F 02 9905 7657  
Suite 138, 117 Old Pittwater Rd,  
Brookvale NSW 2100

PROJECT:  
Birdwood Solar Farm  
SITE ADDRESS:  
Lot 16 Warren Road, Birdwood

CLIENT: YES Group  
DRN: T.Browne (B.LArch)  
SCALE: 1:100@A3  
PROJECT NO: 232133

DRAWING TITLE:  
LANDSCAPE DETAILS

DRAWING No:

L-03

Rev: C

ABN 91 376 720 132

PO Box 96  
BEACHPORT SA 5280

M: 0418 838 152  
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W: www.fbcs.com.au

27 November 2023

Ms Melanie Scott  
Senior Statutory Planner  
Adelaide Hills Council  
PO Box 44  
WOODSIDE SA 5244

Dear Melanie

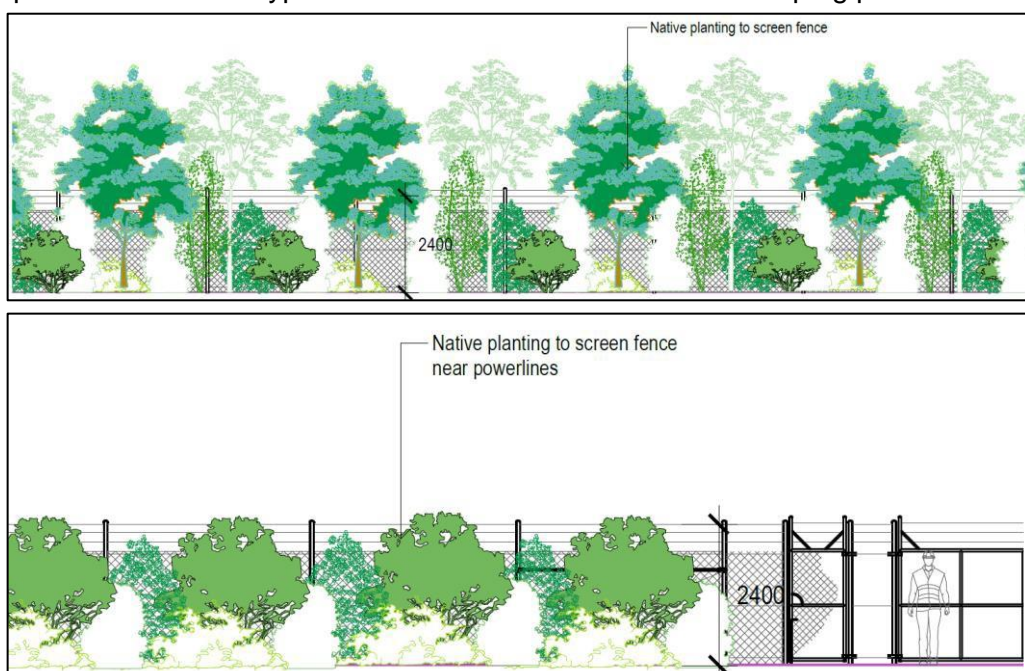
<b>Development Number:</b>	23025290
<b>Applicant:</b>	Yes Group Pty Ltd
<b>Location:</b>	Lot 16 Torrens Valley Road, Birdwood SA 5234
<b>Proposed Development:</b>	Variation to the site layout plan for the Solar Farm development in DA 473/530/20

As previously advised, I am acting for the YES Group in relation to the proposed Birdwood Solar Farm development at Lot 16 Torrens Valley Road, Birdwood as contained in DA 23025290.

We acknowledge receipt of copies of the two representations submitted to Council during the public notification period of our Development Application. In response to the matters raised in the representations we advise as follows –

1. Visual Amenity – we are of the view that the potential for visual impacts arising from the solar farm development are significantly mitigated by the extensive landscaping to be established around the eastern, southern and western perimeters.

The plantings include a range of trees & shrubs with a mature height ranging from 1-2 metres to 5-8 metres high and is designed to provide a full screening effect to the solar farm when viewed from the public realm – see typical elevations below from the landscaping plan.



Ms Melanie Scott  
Senior Statutory Planner  
Adelaide Hills Council  
15 November 2023  
Page | 3

Further the footprint of the solar farm has been reduced from 13 hectares to 10 hectares and the number of tracker stands has been reduced from 1,800 to 1,547 and the number of solar panels has reduced from 13,000 to 12,150 modules.

2. Landscaping – the landscaping plan submitted as part of our Development Application has been prepared by a qualified landscape architect and as described above, the range of trees & shrubs to be established around the perimeter of the solar farm have a range of mature heights that seeks to minimise the potential visual impacts of the solar farm development.

- Plant Establishment – the Court Order of 4 February 2021 states – “*Condition 8 of the development plan consent be amended to delete the words “first year to allow landscaping to become established and henceforth”, and to replace them with the words “first three years or such other period (whether longer or shorter) until the vegetation is established and, thereafter,”.* (My underlining)

We will comply with amended condition 8 as outlined in the Court Order dated 4 February 2021.

- Planting Stock – the trees identified in the Plant Schedule – Native Mix Type 2 (Drooping Sheoak and Cup Gum) will be 3 year old plants and not tube stock as identified in the landscaping plan. This will provide a more immediate screening effect at the time of planting when viewed from the public realm.
  - Watering – all trees and shrubs planted on the site will be watered by a reticulated dripper system to ensure their establishment and survival.
  - Maintenance – the landscaping plantings will be attended regularly by the site maintenance staff to ensure their establishment and survival.
3. Fencing – the Court Order dated 4 February 2021 provided a Reserved matter that stated (in part) as follows – “*The landscaping plan should, where possible, incorporate: ... stock/wildlife exclusion fencing to protect newly planted vegetation and to aid establishment.*”

The landscaping plan submitted with the variation Development Application shows trees & shrubs are all to be planted with stakes and tree guards to protect the new plantings and to aid in their establishment.

The grazing of livestock in the landscaped area surrounding the solar farm will not be undertaken until the vegetation is appropriately established, with vegetation maintained by mechanical means (ie: mowing / slashing).

4. Setback – the solar array has been amended to provide a greater setback to Torrens Valley Road with a minimum setback distance of 33.5 metres being achieved. An amended site plan for the solar farm is attached.

Given the extensive landscaping proposed to be established around the perimeter of the solar farm, the setback distances to the adjoining roads are considered appropriate and will not negatively impact on the visual amenity when viewing from the public realm.

5. Native Vegetation – I can confirm there is no native vegetation proposed to be cleared as part of the solar farm development. There is an exclusion zone provided around the two native trees within the solar array area as shown on the amended site plan attached.
6. Glare – solar panels are designed to absorb the energy from sunlight and not to reflect it, with solar panels coated in an anti-reflective paint to minimise any reflectivity and the potential for negative impacts on adjoining properties.

Ms Melanie Scott  
Senior Statutory Planner  
Adelaide Hills Council  
15 November 2023  
Page | 4

7. ERD Court Appeal – our Development Application is seeking a variation to the site layout plan for the Solar Farm development in DA 473/530/20 – comprising ground mounted solar arrays (maximum height 2.9m), battery storage containers (4MW), inverters, switchboards and associated decks, temporary site office, storage building & associated car parking, fencing (maximum height 2.3m), landscaping & signage.

Our Development Application also seeks to address the matters detailed in the Court Order dated 4 February 2021.

It should also be noted, the conditions of Development Plan Consent granted by Council for DA 473/530/20 on 21 October 2020 and varied by the Court Order dated 4 February 2021 remain in effect if Planning Consent approval is granted for our variation Development Application and subject to any other conditions the relevant authority consider appropriate if granting approval.

If you require any further information in relation to this project, please do not hesitate to contact me at your convenience.

Yours sincerely



F.N. (Frank) Brennan PSM MPIA  
Accredited Planning Professional APP20190029  
Principal Consultant

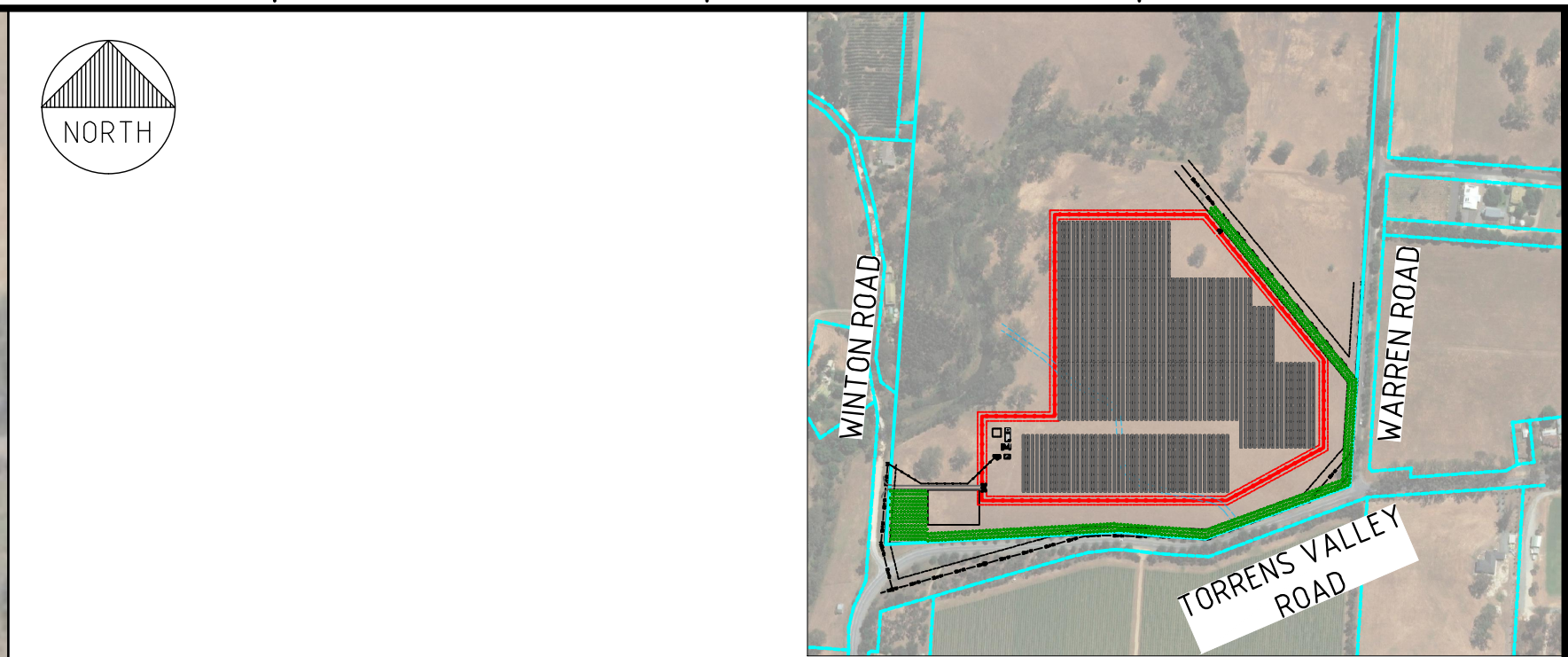
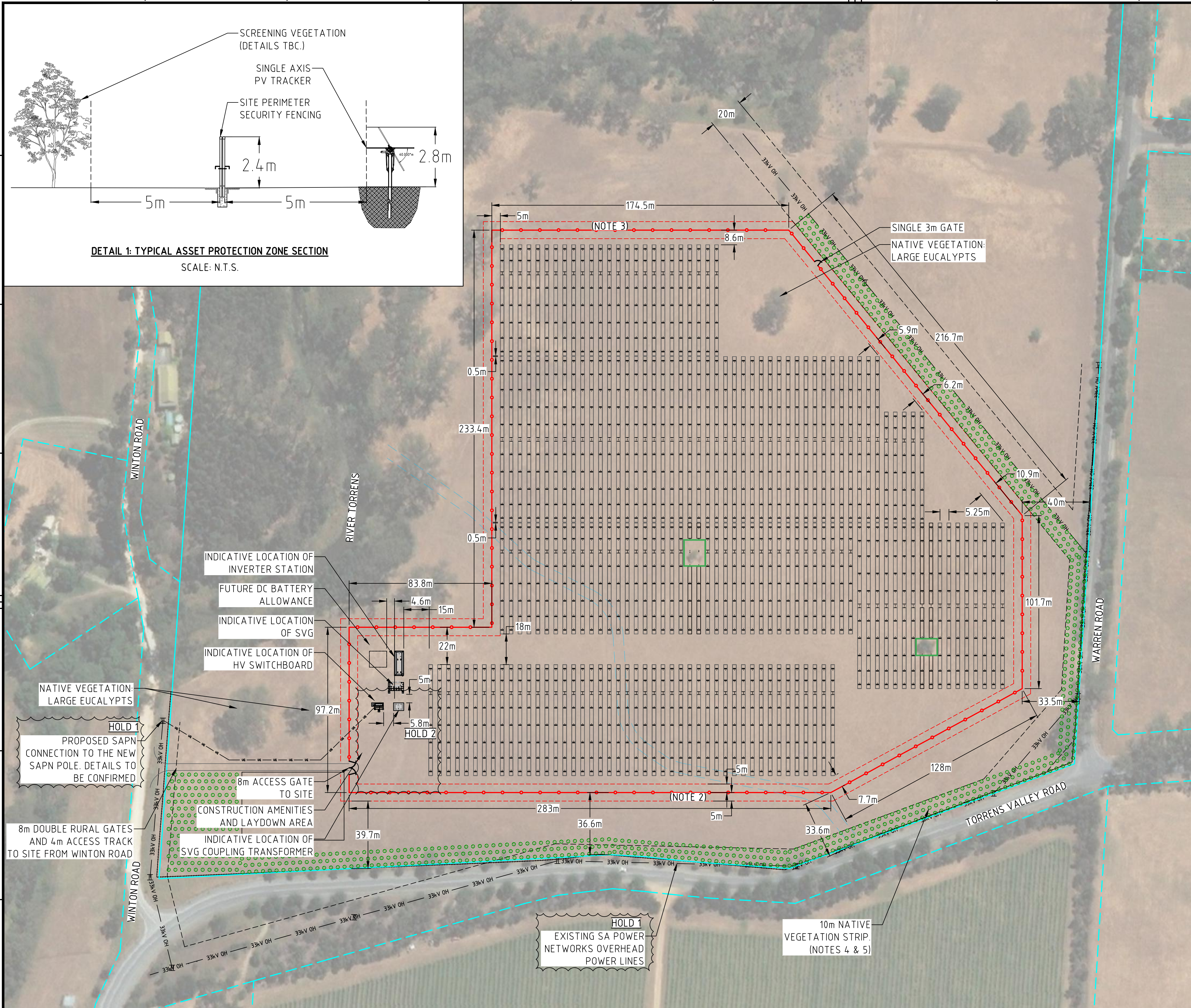
**FRANK BRENNAN CONSULTING SERVICES**



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PROFESSIONAL

*Planning, Development and Infrastructure Act 2016*





KEY PLAN  
SCALE 1:7500

NEXTRACKER HORIZON TRACKER LEGEND			
MODULE QTY	LENGTH	SITE QTY	TRACKER SYMBOL
81 MODULE (3 STRINGS)	97.3m	60	
54 MODULE (2 STRINGS)	65.2m	116	

PV SYSTEM SPECIFICATIONS				
INVERTER MAKE	SUNGROW	-	MOUNTING SYSTEM	NEXTRACKER
INVERTER MODEL	SG2475HV	-	MODULE MAKE	LONGI
INVERTER RATING	2475	kVA	MODULE MODEL	LR7-72HGD-600M
NUMBER OF INVERTERS	2	-	MODULE CAPACITY	600
NUMBER OF STRINGS	412	-	TOTAL MODULES	11124
MODULES PER STRING	27	-	DC CAPACITY	6.67
GENERATION CAPACITY	4.950	MVA	DC/AC (MW)	1.35
GENERATION POWER FACTOR	1	-	PITCH	5.25
EXPORT LIMIT (NOTE 1)	(NOTE 1) 4.95	MW	GROUND COVERAGE RATIO	45.4

SITE SPECIFICATIONS		
TOTAL FENCED AREA	9.62	Ha
TOTAL FENCED LENGTH (INC. GATES)	1318.4	METERS
ACCESS TRACK EASEMENT	0.044	Ha
ACCESS TRACK LENGTH	110.0	METERS
VEGETATION AREA	1.16	Ha

- NOTES:
- POWER FACTOR AT CONNECTION POINT TYPICALLY TO BE MAINTAINED BY DEDICATED REACTIVE POWER SUPPORT EQUIPMENT (SVG SYSTEM). FINAL OPERATION TO BE CONFIRMED.
  - 5m CLEARANCE TO BE PROVIDED BETWEEN SITE SECURITY FENCE AND NATIVE VEGETATION.
  - 10m ASSET PROTECTION ZONE (APZ) AROUND SITE PERIMETER. REFER DETAIL 1 ADJACENT.
  - VEGETATION TO BE PROVIDED AS PER BIRDWOOD SOLAR FARM - LANDSCAPING PLAN 220923
  - VEGETATION WITHIN OVERHEAD LINE EASEMENT TO BE SELECTED AND INSTALLED TO COMPLY WITH THE ELECTRICITY (PRINCIPLES OF VEGETATION (CLEARANCE) REGULATIONS.

LEGEND	
	PROPERTY BOUNDARY
	SECURITY FENCE
	ASSET PROTECTION ZONE (APZ)
	ACCESS TRACK
	INDICATIVE LOCATION OF NEW PROPOSED UNDERGROUND 33kV LINE
	INDICATIVE LOCATION OF EXISTING SAPN 33kV OVERHEAD LINE
	INDICATIVE LOCATION OF NEW PROPOSED OVERHEAD 33kV LINE
	INDICATIVE EASEMENT (DETAILS T.B.C.)
	INDICATIVE LOCATION OF DRAINAGE
	VEGETATION (NOTES 4 & 5)
	INDICATIVE LOCATION OF EXISTING SAPN STOBIE POLES
	EXCLUSION ZONE - VEGETATION PROTECTION

SITE PLAN  
SCALE 1:1250

HOLDS

- ALL DIMENSIONS AND LOCATIONS OF PROPERTY BOUNDARIES AND EXISTING SAPN OHL APPROXIMATE UNTIL DETAILED SURVEY RECEIVED.
- ALL DETAILS OF MAJOR EQUIPMENT TO BE CONFIRMED.
- NEXTRACKER SINGLE STRING ARRAYS DIMENSIONS T.B.C

ISSUED FOR APPROVAL

redmud  
greenenergy

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REV	DATE	DRN	CHK	ENG	Q.A.	PROJECT	DESCRIPTION	NUMBER	TITLE
0F	03/10/23	SDC	MGD	JAD	RHL	220918	REVISED VEGETATION		
0E	29/09/23	SDC	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
0D	30/08/23	SDC	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
0C	03/08/23	SDC	MGD	JAD	RHL	220918	PRELIMINARY ISSUE		
0G	22/11/23	JRT	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
No	DATE	DRN	CHK	ENG	Q.A.	PROJECT	DESCRIPTION	NUMBER	TITLE
REVISION								REFERENCE DRAWINGS	

GPA

www.gpaeng.com.au

YES GROUP  
RMGE121 - LOT 16 WARREN ROAD, BIRDWOOD  
4.99MW EXPORT PV SYSTEM  
PRELIMINARY SITE LAYOUT

DATE:22/02/23	DRN: GPA	CHK: MGD	ENG: JAD	Q.A.:RHL	SCALE: AS SHOWN
PROJ No 220918	DRG No 220918-121-60-100				REV 0G



ABN 91 376 720 132

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11 October 2023

Ms Melanie Scott  
Senior Statutory Planner  
Adelaide Hills Council  
PO Box 44  
WOODSIDE SA 5244

Dear Melanie

**DA 23025290 – Birdwood Solar Farm & Associated Infrastructure  
Lot 16 Torrens Valley Road, Birdwood SA 5234**

As previously advised I am acting for the YES Group in relation to the proposed Birdwood Solar Farm development at Lot 16 Torrens Valley Road, Birdwood as contained in DA 23025290.

We acknowledge receipt of Council's letter dated 5 October 2023 requesting further information in relation to our Development Application 23025290 and we advise as follows –

- Wayne Brown GM of Environments by Design – is he a landscape architect?

Response: No.

We have now engaged Space Landscaping Designs (Landscape Architects) to prepare our Landscaping Plan for the solar farm development.

The Space Landscaping Designs' Landscaping Plan is attached.

- Am I correct in assuming all will be tube stock? If not please detail where and what.

Response: Yes.

The amended landscaping Plan prepared by Space Landscape Designs notes under the heading "Plant Stock" as follows –

- Seedlings to be supplied by reputable production nurseries in accordance with AS 2303:2018 Tree Stock for Landscape Use. Plants to be supplied weed, pest and disease free in 50 x 50 x 120mm deep tubes. Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species. Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%. Stock selection should also be based on NATSPEC Guide Specifying Trees: a Guide to Assessment of Tree Quality.*

- Regardless of tube stock or other some commentary on likely time to maturity? There does not seem to be any comment in the report.

Response: the amended landscaping Plan prepared by Space Landscape Designs notes under the heading "Proposed Plant Schedule – Native Mix Type 1" the following in relation to plant maturity time –

PROPOSED PLANT SCHEDULE - NATIVE MIX TYPE 1						
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE	ESTIMATED TIME TO MATURITY
	<b>SHRUBS</b>					
AL	ACACIA ACINACEA	WREATH WATTLE	405	1-2m	tube	3-4 years
AM	ALLOCASUARINA MUELLERIANA	COMMON OAK-BUSH	405	1-3m	tube	4 years
CT	CALYTRIX TETRAGONA	FRINGE MYRTLE	405	1-2m	tube	3-4 years
ME	MELALEUCA DECUSSATA	HONEY MYRTLE	405	2m	tube	3-4 years

Ms Melanie Scott  
Senior Statutory Planner  
Adelaide Hills Council  
11 October 2023  
Page | 2

4. As discussed, the matter of the proposed security fence was discussed as something a landscape architect would comment on. Please detail the materials proposed in the security fence and have the landscape report address the appropriateness of same given we are trying to lose the structures (fence and panels) in the rural landscape rather than have them as a feature.

Response: I can confirm the proposed security fence is to be black PVC coated chain mesh fencing.

The appropriateness of this fencing material is addressed in Space Landscaping Designs' amended Landscaping Plan under the typical asset protection zone section as follows –

- *Note - New fence to be black PVC coated chain mesh. The black colour is most suitable as it blends into the surrounding environment and appears to disappear due to black absorbing the light rather than reflecting it. The open style will also let light through so it will not appear as a solid structure.*
5. Regarding the proposed crossover design I will send to Council engineering for comment. There will be a further information request resulting from this as I note a swale along the roadside of Winton Rd which will most likely require a piped crossover.

Response: Noted.

A formal application for Council approval will be lodged pursuant to section 221 of the *Local Government Act 1999* for an alteration to a public road for the installation of the proposed crossover. The plans submitted with this application will take into consideration the swale drain along Winton Road and will be in accordance with Council's Rural Piped Crossover Driveway specification. This application will be lodged a part of the detailed design (Building Consent) phase for the project.

6. I have amended the description of the proposed works to include "inverters, switchboards and associated decks".

Response: Noted.

An updated package of supporting documents incorporating Space Landscaping Designs' Landscaping Plan, crossover detail and summary of proposed amendments is attached.

If you require any further information in relation to this project please do not hesitate to contact me at your convenience.

Yours sincerely



F.N. (Frank) Brennan PSM MPIA  
Accredited Planning Professional APP20190029  
Principal Consultant

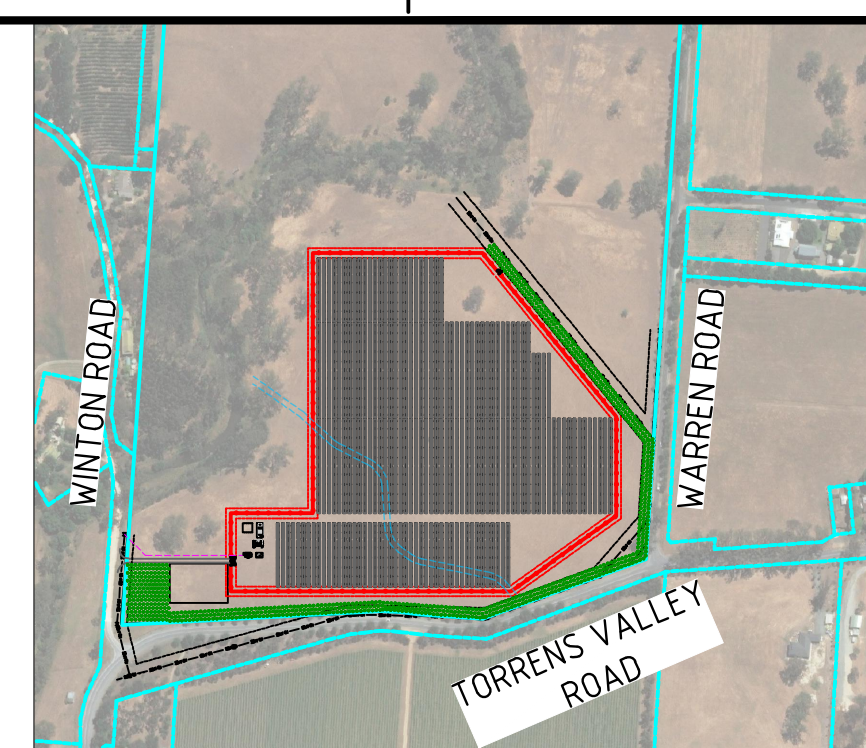
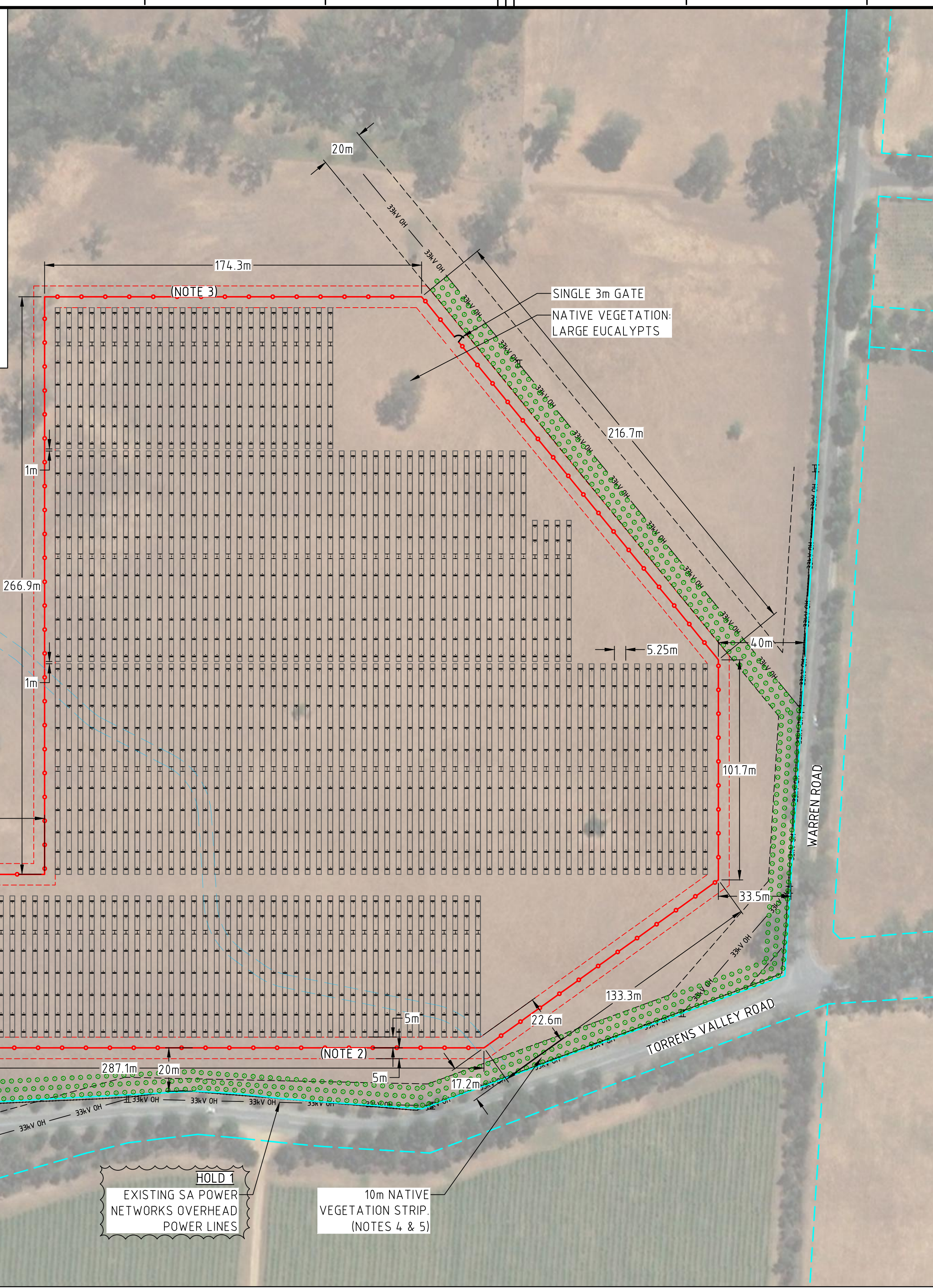
**FRANK BRENNAN CONSULTING SERVICES**

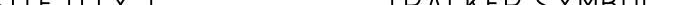



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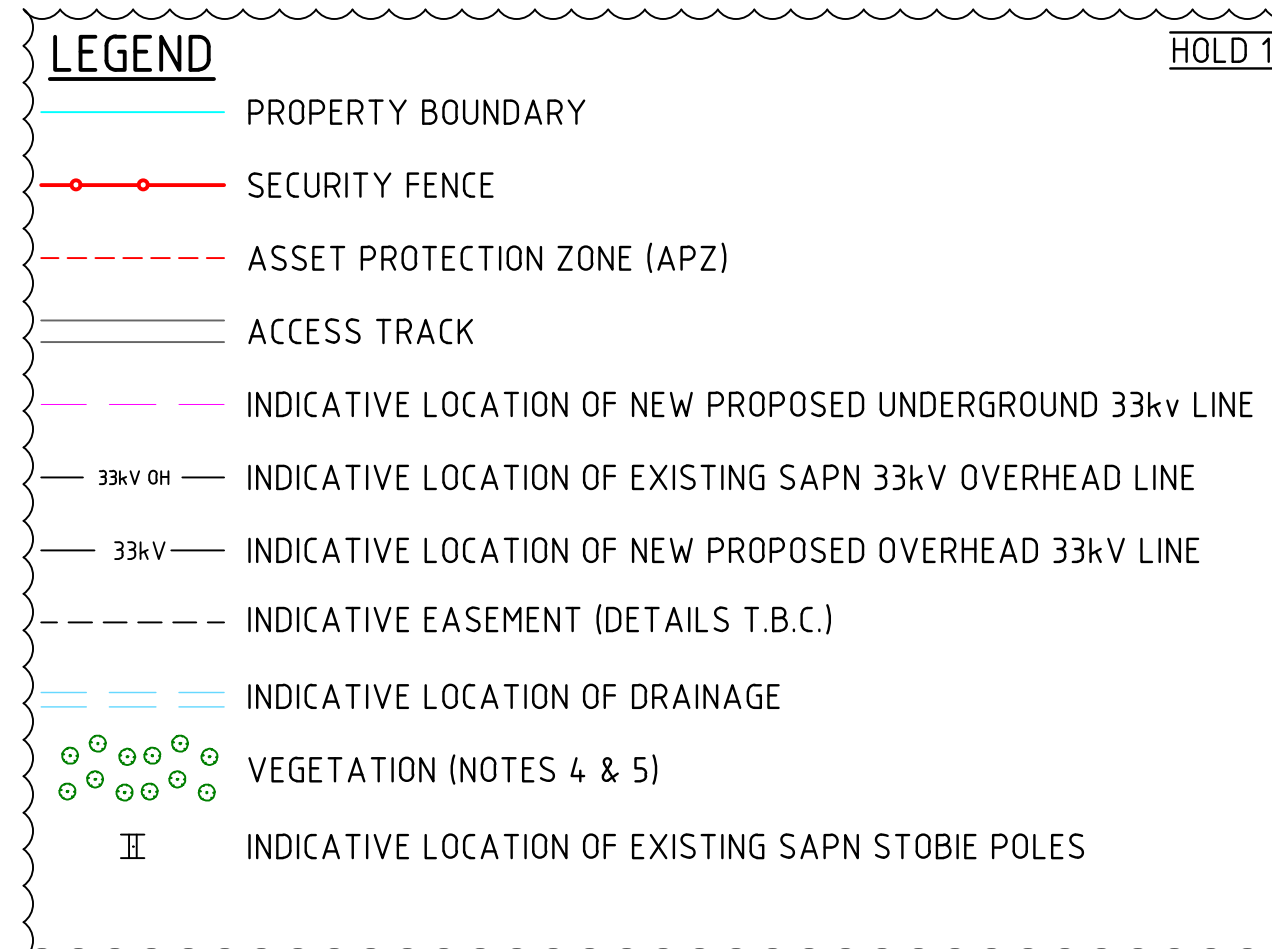


NEXTRACKER HORIZON TRACKER LEGEND			
MODULE QTY	LENGTH	SITE QTY	TRACKER SYMBOL
81 MODULE (3 STRINGS)	97.3m	100	
54 MODULE (2 STRINGS)	65.2m	75	

PV SYSTEM SPECIFICATIONS					
INVERTER MAKE	SUNGROW	-	MOUNTING SYSTEM	NEXTRACKER	-
INVERTER MODEL	SG2475HV	-	MODULE MAKE	LONGI	-
INVERTER RATING	2475	kVA	MODULE MODEL	LR5-72HBD-545M	-
NUMBER OF INVERTERS	2	-	MODULE CAPACITY	545	W
NUMBER OF STRINGS	450	-	TOTAL MODULES	12150	-
MODULES PER STRING	27	-	DC CAPACITY	6.62	MWp
GENERATION CAPACITY	4.950	MVA	DC/AC (MW)	1.34	-
GENERATION POWER FACTOR	1	-	PITCH	5.25	m
EXPORT LIMIT (NOTE 1)	(NOTE 1) 4.95	MW	GROUND COVERAGE RATIO	43	%

SITE SPECIFICATIONS				
TOTAL PROPERTY AREA	136.34	ACRES	55.17	Ha
TOTAL FENCED AREA	24.50	ACRES	9.91	Ha
VEGETATION AREA	2.86	ACRES	1.16	Ha

1. POWER FACTOR AT CONNECTION POINT TYPICALLY TO BE MAINTAINED BY DEDICATED REACTIVE POWER SUPPORT EQUIPMENT (SVG SYSTEM). FINAL OPERATION TO BE CONFIRMED.
2. 5m CLEARANCE TO BE PROVIDED BETWEEN SITE SECURITY FENCE AND NATIVE VEGETATION.
3. 10m ASSET PROTECTION ZONE (APZ) AROUND SITE PERIMETER. REFER DETAIL 1 ADJACENT.
4. VEGETATION TO BE PROVIDED AS PER BIRDWOOD SOLAR FARM - LANDSCAPING PLAN 220923
5. VEGETATION WITHIN OVERHEAD LINE EASEMENT TO BE SELECTED AND INSTALLED TO COMPLY WITH THE ELECTRICITY (PRINCIPLES OF VEGETATION CLEARANCE) REGULATIONS.

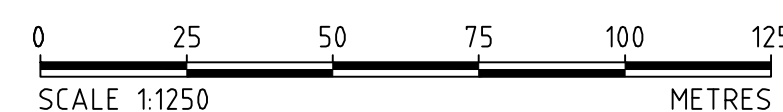
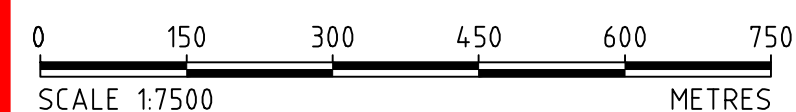


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HOLDS

1. ALL DIMENSIONS AND LOCATIONS OF PROPERTY BOUNDARIES AND EXISTING SAPN OHL APPROXIMATE UNTIL DETAILED SURVEY RECEIVED.
2. ALL DETAILS OF MAJOR EQUIPMENT TO BE CONFIRMED.
3. NEXTRACKER SINGLE STRING ARRAYS DIMENSIONS T.B.C

**ISSUED FOR APPROVAL**



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0F	03/10/23	SDC	MGD	JAD	RHL	220918	REVISED VEGETATION		
0E	29/09/23	SDC	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
0D	30/08/23	SDC	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
0C	03/08/23	SDC	MGD	JAD	RHL	220918	PRELIMINARY ISSUE		
0B	22/02/23	ABR	MGD	JAD	RHL	220918	PRELIMINARY ISSUE		
0A	10/02/23	GPA	MGD	JAD	RHL	220918	PRELIMINARY ISSUE		
No	DATE	DRN	CHK	ENG	Q.A.	PROJECT	DESCRIPTION	NUMBER	TITLE
						REVISION			REFERENCE DRAWINGS

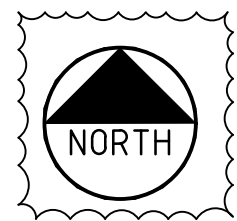
**GPA**

[www.qpaenq.com.au](http://www.qpaenq.com.au)

YES GROUP  
RMGE121 - LOT 16 WARREN ROAD, BIRDWOOD  
4.99MW EXPORT PV SYSTEM  
PRELIMINARY SITE LAYOUT

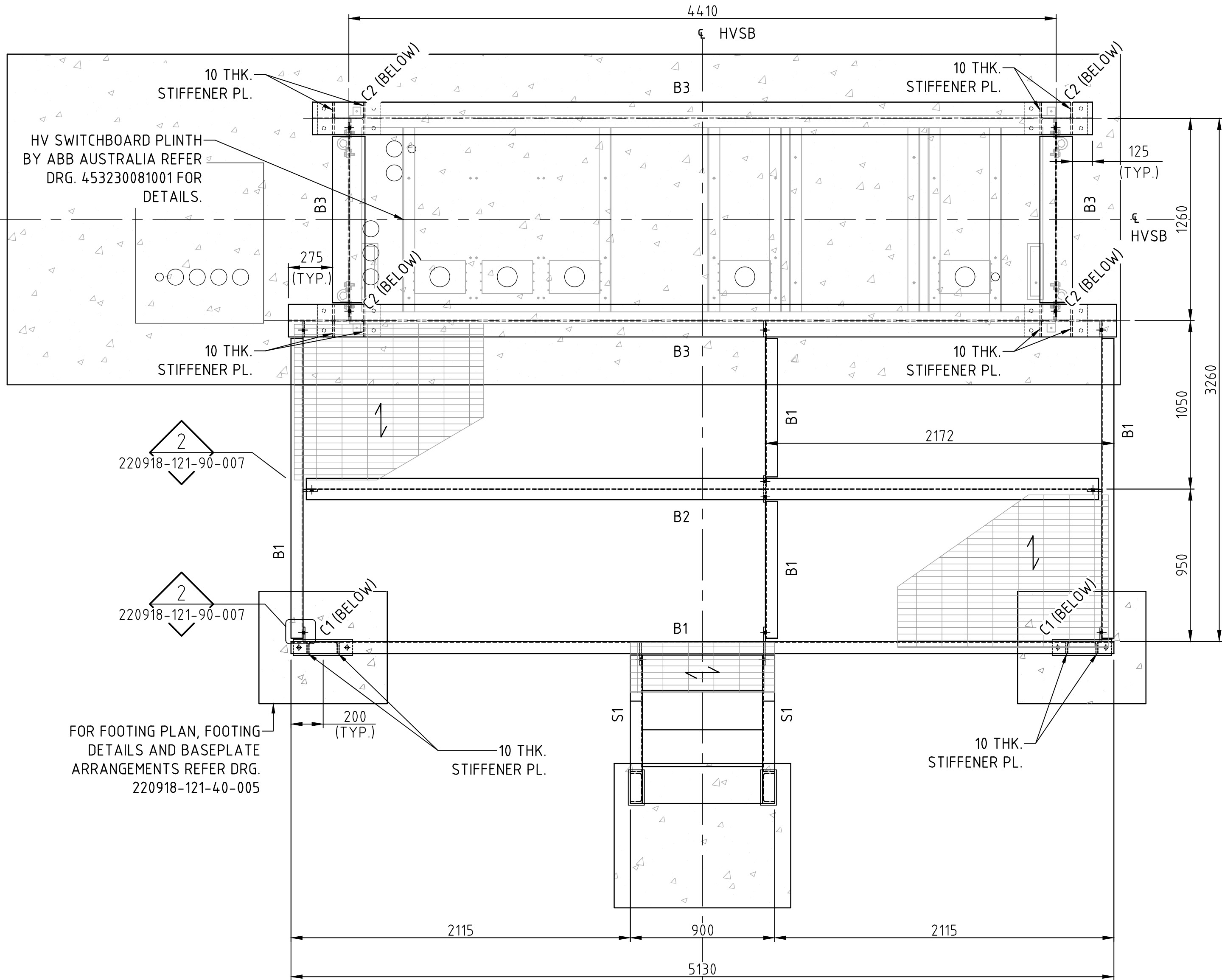
DATE: 22/02/23	DRN: GPA	CHK: MGD	ENG: JAD	Q.A: RHL	SCALE: AS SHOWN
PROJ No 220918	DRG No 220918-121-60-100				REV OF





HOLD 2

STEELWORK SCHEDULE		
MARK NO.	MEMBER	REMARKS
B1	200 PFC	PLATFORM BEAM
B2	200 UB 22	PLATFORM SUPPORT BEAM
B3	200 UC 46	HVSB BEAM
C1	200 PFC	PLATFORM COLUMN
C2	200 UC 46	HVSB COLUMN
S1	200 PFC	STRINGER
BR1	100x10 EA	BRACING



PLAN  
SCALE 1:20

NOTES:

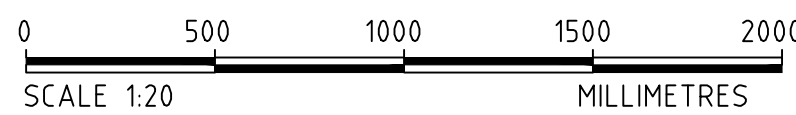
- FOR STRUCTURAL STEELWORK NOTES REFER TO DRAWING 220918-121-90-005.
- FOR HV SWITCHBOARD CONTAINER DETAILS, REFER TO THE PROVIDED VENDOR DRAWING.
- FIXING OF HV SWITCHBOARD CONTAINER TO THE SUPPORTING STEEL STRUCTURE IS TO BE UNDERTAKEN BY OTHERS AS PER TIE DOWN DETAIL FROM DRG. 220918-121-90-007.
- FOR FOOTING DETAILS AND BASEPLATE ARRANGEMENTS, REFER TO DRAWING 220918-121-40-005.

LEGEND:

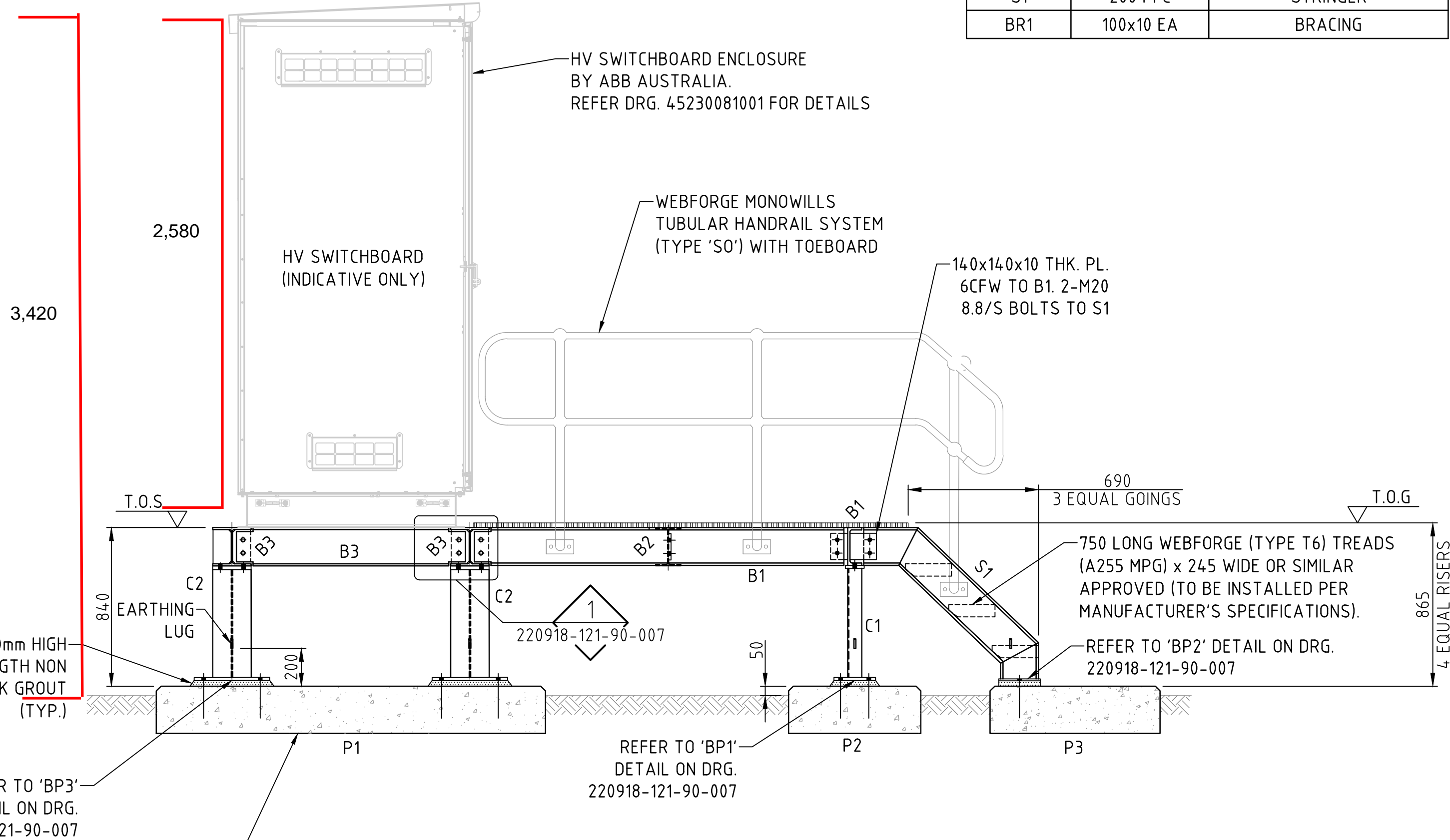
T.O.S TOP OF STEEL  
T.O.G TOP OF GRATING

HOLDS:

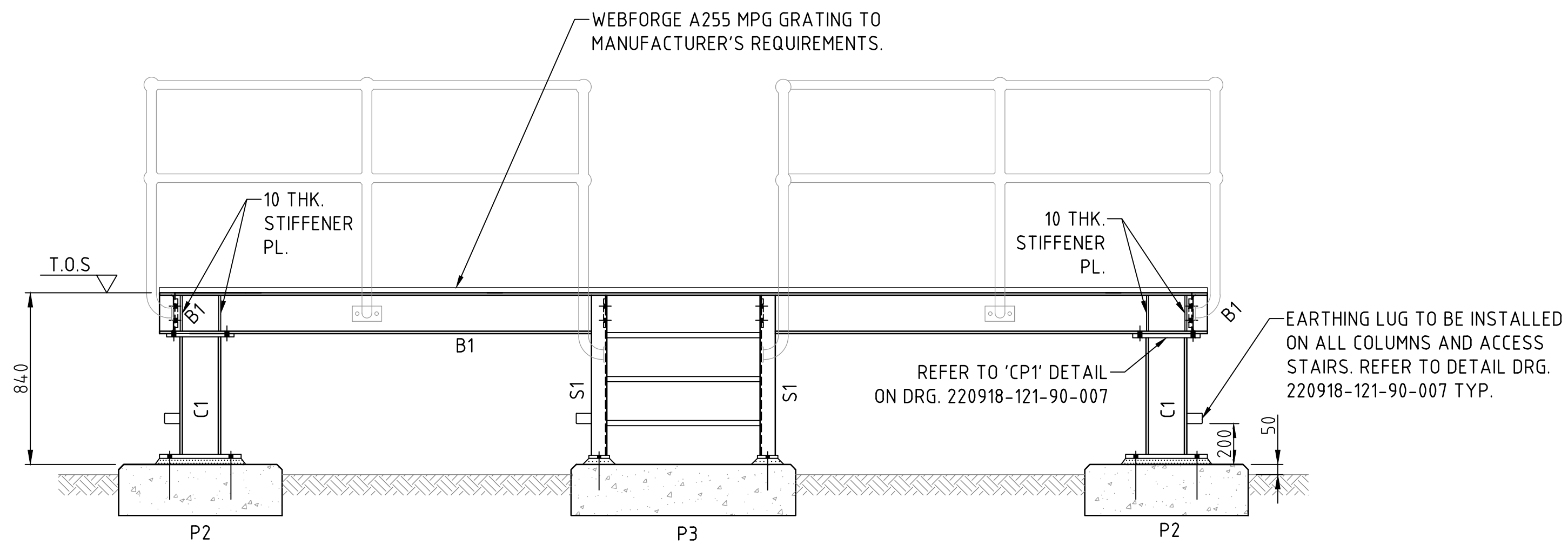
- STRUCTURAL DESIGN TO BE CONFIRMED UPON FINAL VENDOR DESIGN OF ELECTRICAL EQUIPMENT. HOLDS SHALL BE RESOLVED PRIOR TO CONSTRUCTION ELSE CONFIRM WITH DESIGN ENGINEER.
- ORIENTATION TO BE CONFIRMED BASED ON FINAL SITE LAYOUT.



ISSUED FOR APPROVAL



WEST ELEVATION  
SCALE 1:20



SOUTH ELEVATION  
SCALE 1:20

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REVISION		REFERENCE DRAWINGS	
0A	31/08/23	220918-121-90-007	PLATFORM STEELWORK DETAILS
No	DATE	220918-121-40-005	FOOTING LAYOUT PLAN AND DETAILS
		220918-121-90-005	STRUCTURAL STEELWORK NOTES
			TITLE
			NUMBER

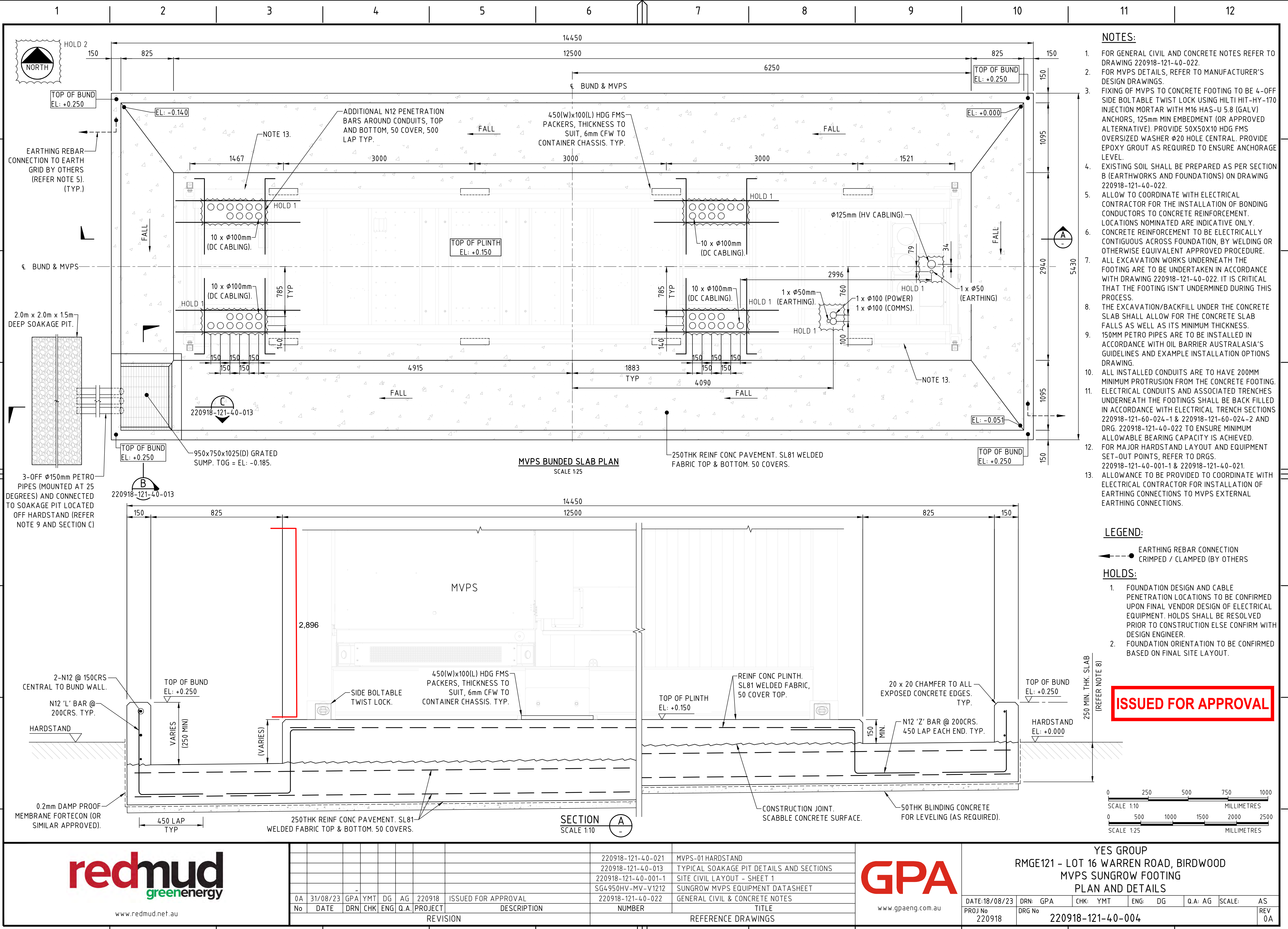
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YES GROUP  
RMGE121 - LOT 16 WARREN ROAD, BIRDWOOD  
HV SWITCHBOARD PLATFORM  
PLAN AND ELEVATIONS

DATE:18/08/23	DRN: GPA	CHK: YMT	ENG: DG	Q.A: AG	SCALE: AS	REV 0A
PROJ No 220918	DRG No 220918-121-90-006					





NOTES:

- FOR GENERAL CIVIL AND CONCRETE NOTES REFER TO DRAWING 220918-121-40-022.
- FOR MVPS DETAILS, REFER TO MANUFACTURER'S DESIGN DRAWINGS.
- FIXING OF MVPS TO CONCRETE FOOTING TO BE 4-OFF SIDE BOLTABLE TWIST LOCK USING HILTI HIT-HY-170 INJECTION MORTAR WITH M16 HAS-U 5.8 (GALV) ANCHORS, 125mm MIN EMBEDMENT (OR APPROVED ALTERNATIVE). PROVIDE 50X50X10 HDG FMS OVERSIZED WASHER Ø20 HOLE CENTRAL. PROVIDE EPOXY GROUT AS REQUIRED TO ENSURE ANCHORAGE LEVEL.
- EXISTING SOIL SHALL BE PREPARED AS PER SECTION B (EARTHWORKS AND FOUNDATIONS) ON DRAWING 220918-121-40-022.
- ALLOW TO COORDINATE WITH ELECTRICAL CONTRACTOR FOR THE INSTALLATION OF BONDING CONDUCTORS TO CONCRETE REINFORCEMENT. LOCATIONS NOMINATED ARE INDICATIVE ONLY.
- CONCRETE REINFORCEMENT TO BE ELECTRICALLY CONTIGUOUS ACROSS FOUNDATION, BY WELDING OR OTHERWISE EQUIVALENT APPROVED PROCEDURE.
- ALL EXCAVATION WORKS UNDERNEATH THE FOOTING ARE TO BE UNDERTAKEN IN ACCORDANCE WITH DRAWING 220918-121-40-022. IT IS CRITICAL THAT THE FOOTING ISN'T UNDERMINED DURING THIS PROCESS.
- THE EXCAVATION/BACKFILL UNDER THE CONCRETE SLAB SHALL ALLOW FOR THE CONCRETE SLAB FALLS AS WELL AS ITS MINIMUM THICKNESS.
- 150MM PETRO PIPES ARE TO BE INSTALLED IN ACCORDANCE WITH OIL BARRIER AUSTRALASIA'S GUIDELINES AND EXAMPLE INSTALLATION OPTIONS DRAWING.
- ALL INSTALLED CONDUITS ARE TO HAVE 200MM MINIMUM PROTRUSION FROM THE CONCRETE FOOTING.
- ELECTRICAL CONDUITS AND ASSOCIATED TRENCHES UNDERNEATH THE FOOTINGS SHALL BE BACK FILLED IN ACCORDANCE WITH ELECTRICAL TRENCH SECTIONS 220918-121-60-024-1 & 220918-121-60-024-2 AND DRG. 220918-121-40-022 TO ENSURE MINIMUM ALLOWABLE BEARING CAPACITY IS ACHIEVED.
- FOR MAJOR HARDSTAND LAYOUT AND EQUIPMENT SET-OUT POINTS, REFER TO DRGS. 220918-121-40-001-1 & 220918-121-40-021.
- ALLOWANCE TO BE PROVIDED TO COORDINATE WITH ELECTRICAL CONTRACTOR FOR INSTALLATION OF EARTHING CONNECTIONS TO MVPS EXTERNAL EARTHING CONNECTIONS.

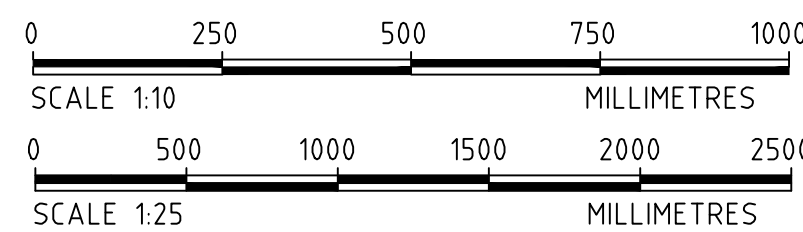
LEGEND:

- EARTHING REBAR CONNECTION CRIMPED / CLAMPED (BY OTHERS)

HOLDS:

- FOUNDATION DESIGN AND CABLE PENETRATION LOCATIONS TO BE CONFIRMED UPON FINAL VENDOR DESIGN OF ELECTRICAL EQUIPMENT. HOLDS SHALL BE RESOLVED PRIOR TO CONSTRUCTION ELSE CONFIRM WITH DESIGN ENGINEER.
- FOUNDATION ORIENTATION TO BE CONFIRMED BASED ON FINAL SITE LAYOUT.

ISSUED FOR APPROVAL



redmud  
greenenergy

www.redmud.net.au

								220918-121-40-021	MVPS-01 HARDSTAND
								220918-121-40-013	TYPICAL SOAKAGE PIT DETAILS AND SECTIONS
								220918-121-40-001-1	SITE CIVIL LAYOUT - SHEET 1
								SG4950HV-MV-V1212	SUNGROW MVPS EQUIPMENT DATASHEET
								220918-121-40-022	GENERAL CIVIL & CONCRETE NOTES
0A	31/08/23	GPA	YMT	DG	AG	220918	ISSUED FOR APPROVAL		
No	DATE	DRN	CHK	ENG	Q.A.	PROJECT	DESCRIPTION	NUMBER	TITLE
REVISION								REFERENCE DRAWINGS	

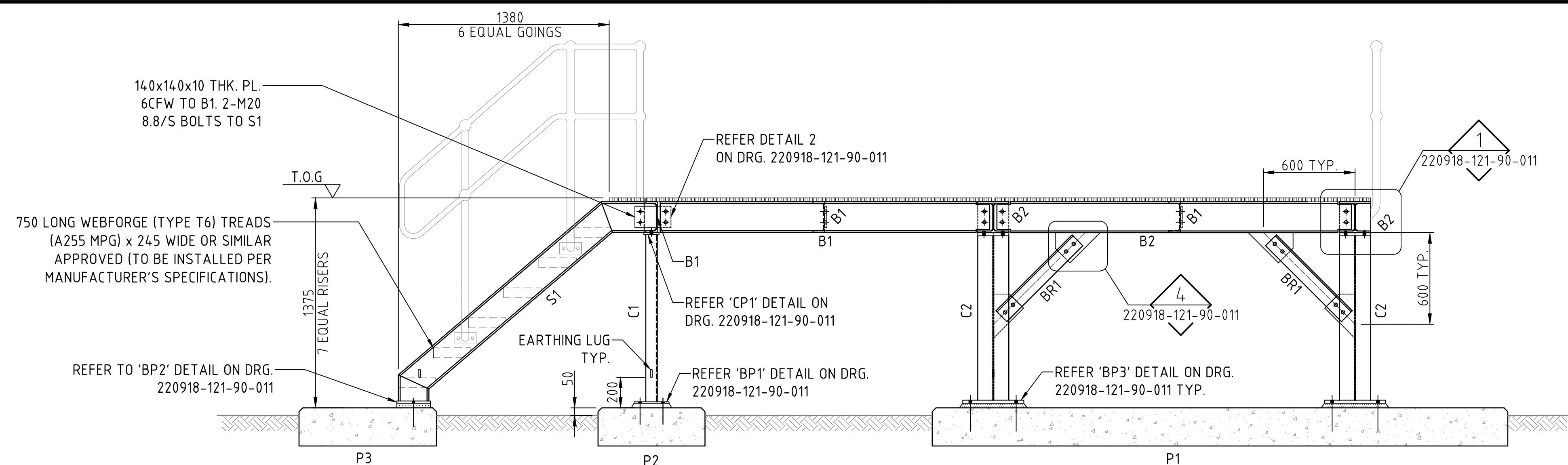
GPA

www.gpaeng.com.au

YES GROUP  
RMGE121 - LOT 16 WARREN ROAD, BIRDWOOD  
MVPS SUNGROW FOOTING  
PLAN AND DETAILS

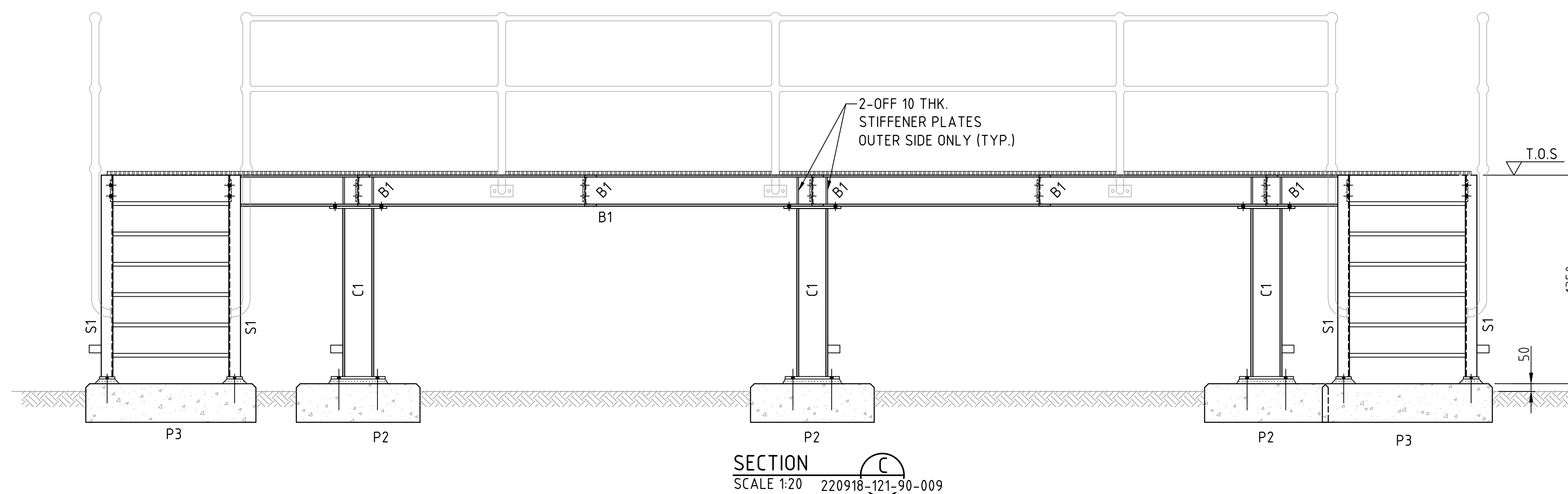
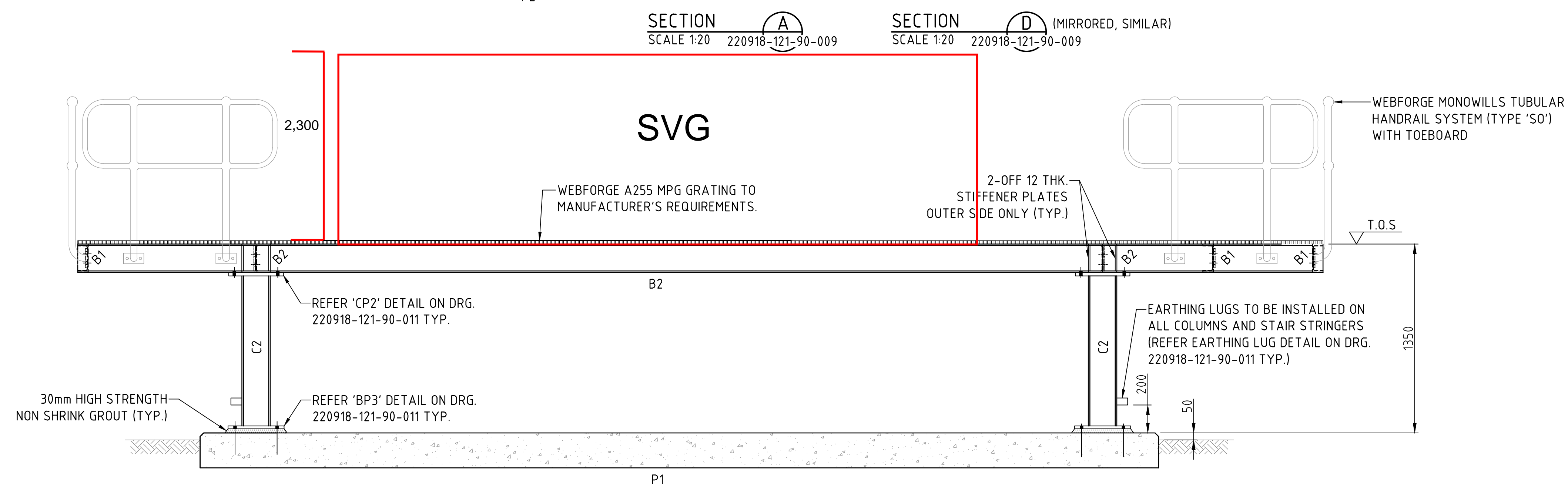
DATE: 18/08/23	DRN: GPA	CHK: YMT	ENG: DG	Q.A: AG	SCALE: AS
PROJ No: 220918	DRG No: 220918-121-40-004			REV: 0A	



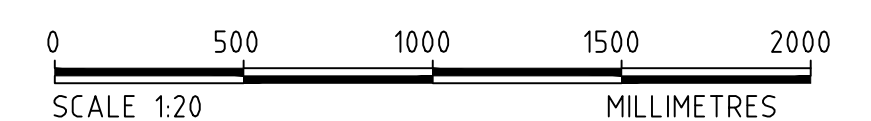


NOTES:

1. FOR STRUCTURAL STEELWORK NOTES REFER TO DRAWING 220918-121-90-005.



**ISSUED FOR APPROVAL**

[illegible]

29 September 2023

**DA 23025290 – Birdwood Solar Farm & Associated Infrastructure  
Lot 16 Torrens Valley Road, Birdwood SA 5234**

**SUMMARY OF PROPOSED AMENDMENTS TO APPROVED PLANS**

The YES Group is proposing to make the following amendments / variations to the approved plans for the proposed Birdwood Solar Farm development at Lot 16 Torrens Valley Road, Birdwood as contained in DA 23025290 (formerly DA 473/530/20).

- **Site Area –**  
The site area to be occupied by the Solar Farm has been reduced from 13 hectares to 10 hectares.
- **Capacity of the Solar Farm –**  
The capacity of the Solar Farm has reduced slightly from 4.98MW to a 4.95MW facility.
- **Solar Array Configuration –**  
The number of tracker stands has reduced from 1,800 to 1,547 and the number of solar panels has reduced from 13,000 to 12,150 modules.
- **Battery Storage –**  
The battery storage facility has been reduced from 5 units to 2 units. The sized of the respective units has also reduced to 2.4m x 12m x 2.7m high.
- **Inverters –**  
There will now be 1 inverter, being a Sungrow SC4950 Inverter with dimensions of 2.4m x 12m x 2.7m high (40ft container) – this is a reduction in the number of inverters from 2 to 1.
- **Temporary Site Office and Maintenance Storage Area –**  
There is no change to the temporary site office and maintenance storage area. These facilities will be only required during the 15 week construction period.
- **Landscaping –**  
The landscaping to be provided has increased significantly on the western, eastern & southern boundaries – the additional landscaping has been included to provide screening from the public realm on the adjoining roads.  
A Landscaping Plan (Screen Planting / Revegetation Plan) prepared by Environments By Design provides the extent and details of the proposed plantings & revegetation to be undertaken on the site to screen the solar farm from the public realm.
- **Fencing & Signage –**  
There are no proposed changes to the 2.4m high mesh security fence (black PVC coated) and the location of signage at the entrance gate (including project details, site contact, emergency details and site safety considerations).
- **Site Access –**  
Access to the site is to be gained only from Winton Road, with a new access crossover to be constructed from Winton Road into the site approximately 55 metres north of the southern property boundary. The access crossover is to be constructed as an 4 metre wide compacted rubble crossover & road in accordance with Council's Rural Piped Crossover Driveway detail.



- **Grid Connection –**

The connection point of the solar farm to the electricity grid has been relocated to Winton Road away from the overhead electricity transmission line along Torrens Valley Road.

- **Asset Protection Zone (APZ) –**

A 10 metre side asset protection zone is to be maintained around the perimeter of the solar farm to provide both protection to the solar farm and access in the event of an emergency event.

Yours sincerely



F.N. (Frank) Brennan PSM MPIA  
Accredited Planning Professional APP20190029  
Principal Consultant  
**FRANK BRENNAN CONSULTING SERVICES**



ACCREDITED  
PROFESSIONAL

*Planning, Development and Infrastructure Act 2016*



LEGEND

PROPERTY BOUNDARY

ASSET PROTECTION ZONE

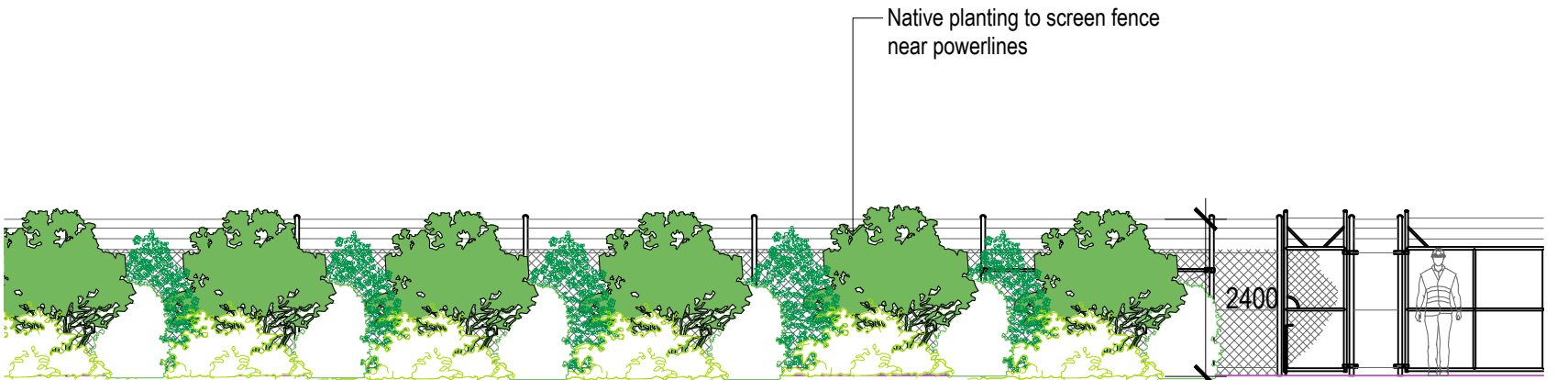
SECURITY FENCE

NATIVE PLANT SCREEN PLANTING

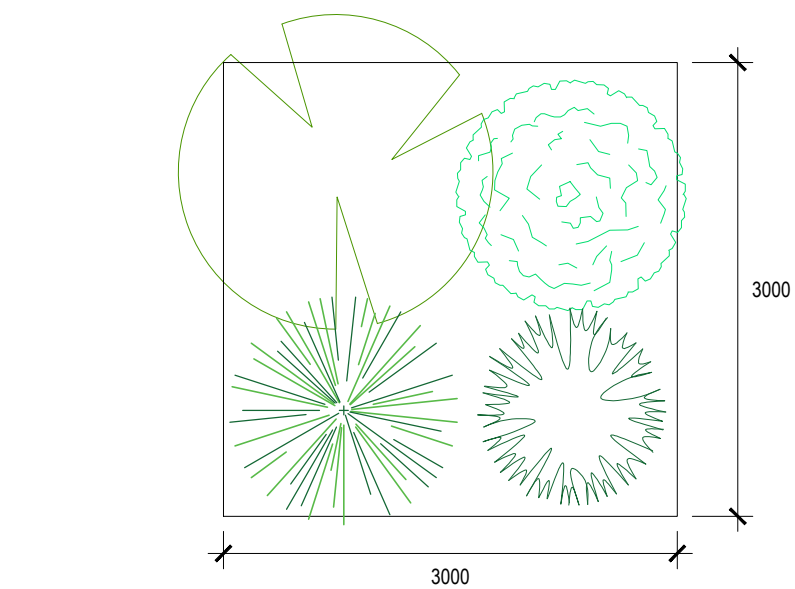
NATIVE MIX TYPE 1

NATIVE MIX TYPE 2

PROPOSED PLANT SCHEDULE - NATIVE MIX TYPE 1						
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE	ESTIMATED TIME TO MATURITY
AL	SHRUBS					
AM	ACACIA ACINACEA	WREATH WATTLE	405	1-2m	tube	3-4 years
CT	ALLOCAUARINA MUELLERIANA	COMMON OAK-BUSH	405	1-3m	tube	4 years
ME	CALYTRIX TETRAGONA	FRINGE MYRTLE	405	1-2m	tube	3-4 years
	MELALEUCA DECUSSATA	HONEY MYRTLE	405	2m	tube	3-4 years

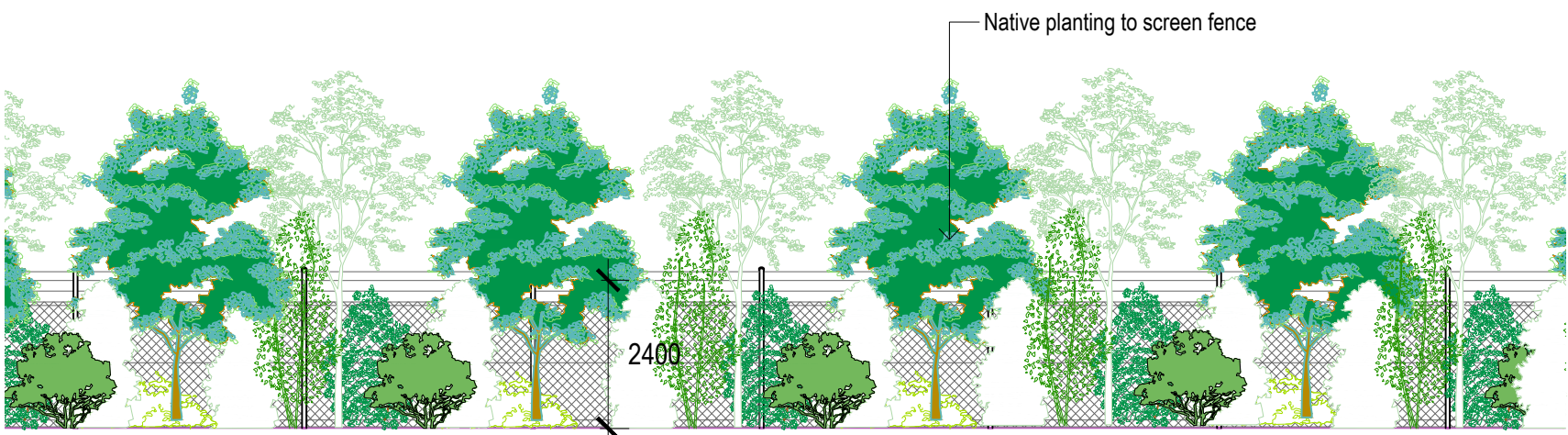


NATIVE PLANT MIX TYPE 1 - TYPICAL ELEVATION  
SCALE 1:100



NATIVE PLANT MIX TYPE 1 - MATRIX  
SCALE 1:50

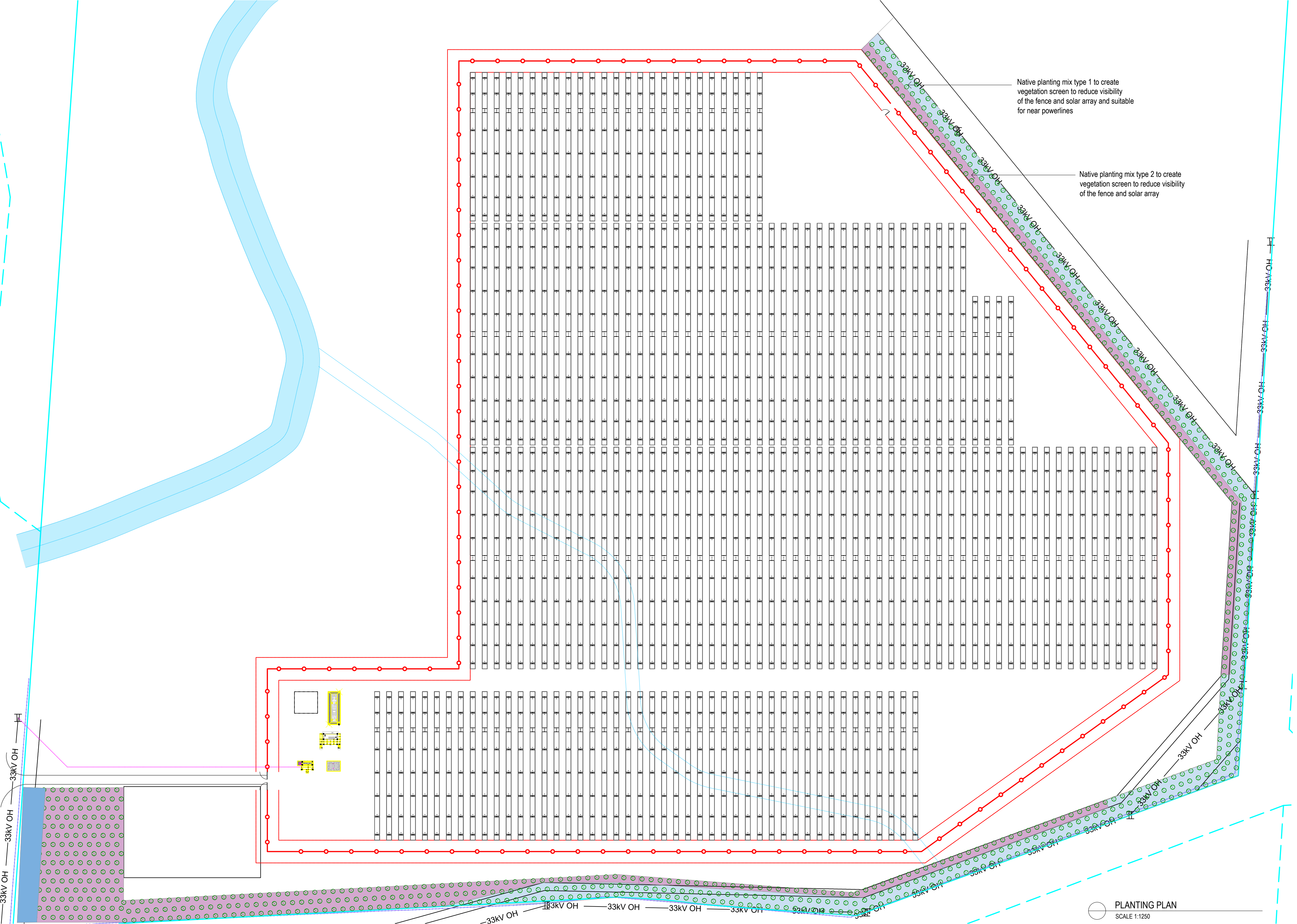
PROPOSED PLANT SCHEDULE - NATIVE MIX TYPE 2						
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE	ESTIMATED TIME TO MATURITY
AV	TREES					
EC	ALLOCAUARINA VERTICILLIATA	DROOPING SHEOAK	245	5-8m	tube	5-6 years
	EUCALYPTUS COSMOPHYLLA	CUP GUM	245	5-8m	tube	6-7 years
AL	SHRUBS					
AM	ACACIA ACINACEA	WREATH WATTLE	245	1-2m	tube	3-4 years
CT	ALLOCAUARINA MUELLERIANA	COMMON OAK-BUSH	245	1-3m	tube	4 years
DV	CALYTRIX TETRAGONA	FRINGE MYRTLE	245	1-2m	tube	3-4 years
HR	DODONAEA VISCOSA SSP SPATHULATA	STICKY HOP-BUSH	245	1.5-4m	tube	3-4 years
ME	HAKEA ROSTRATA	BEAKED HAKEA	245	1-4m	tube	4 years
	MELALEUCA DECUSSATA	HONEY MYRTLE	245	2m	tube	3 years



NATIVE PLANT MIX TYPE 2 - TYPICAL ELEVATION  
SCALE 1:100

Rev.	Date	Issue	Checked
A	11/10/23	Preliminary Issue	AE
B	11/10/23	DA Issue	AE

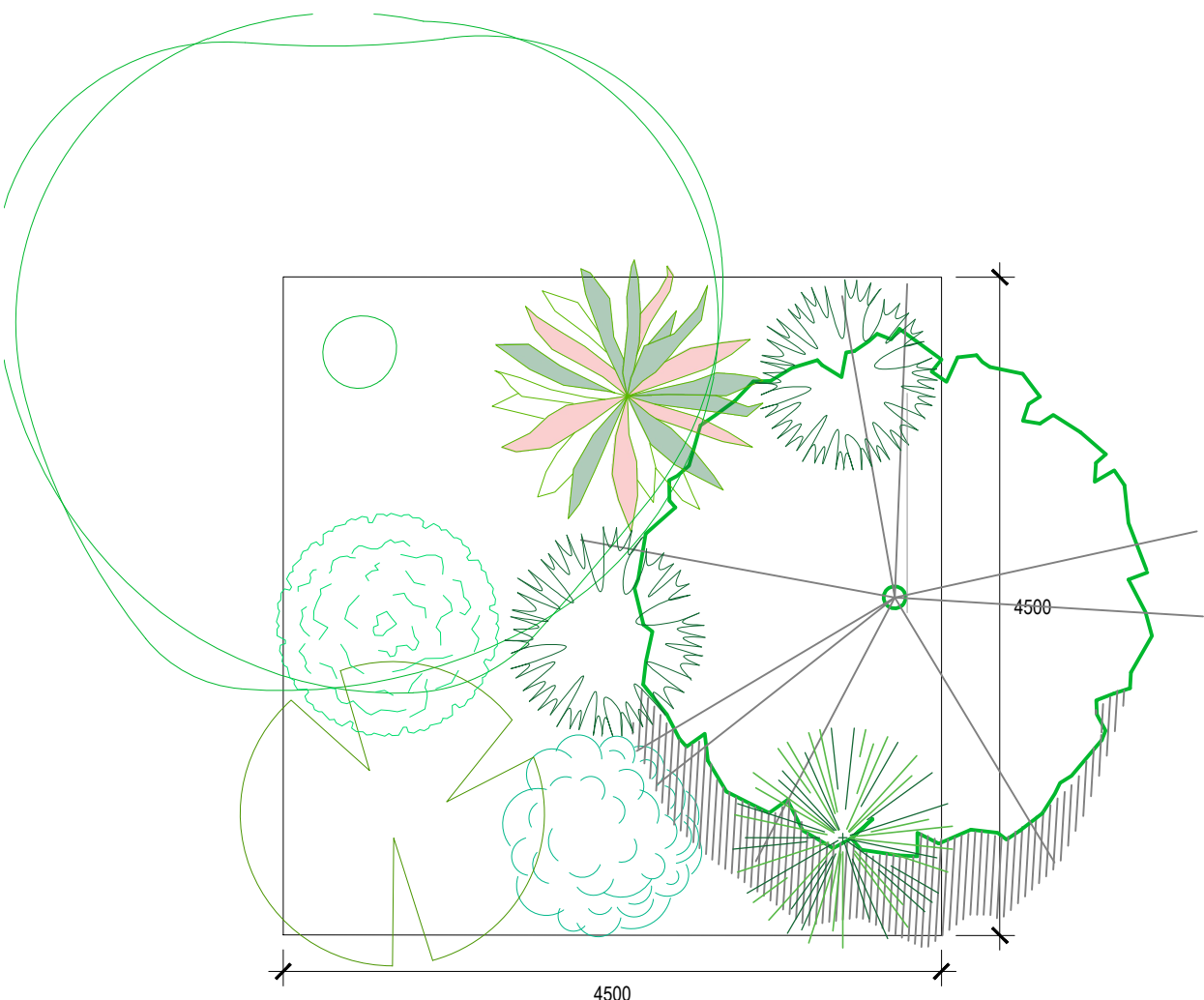
Note - New fence to be black PVC coated chain mesh.  
The black colour is most suitable as it blends into the surrounding environment and appears to disappear due to black absorbing the light rather than reflecting it.  
The open style will also let light through so it will not appear as a solid structure.



Native planting mix type 1 to create vegetation screen to reduce visibility of the fence and solar array and suitable for near powerlines

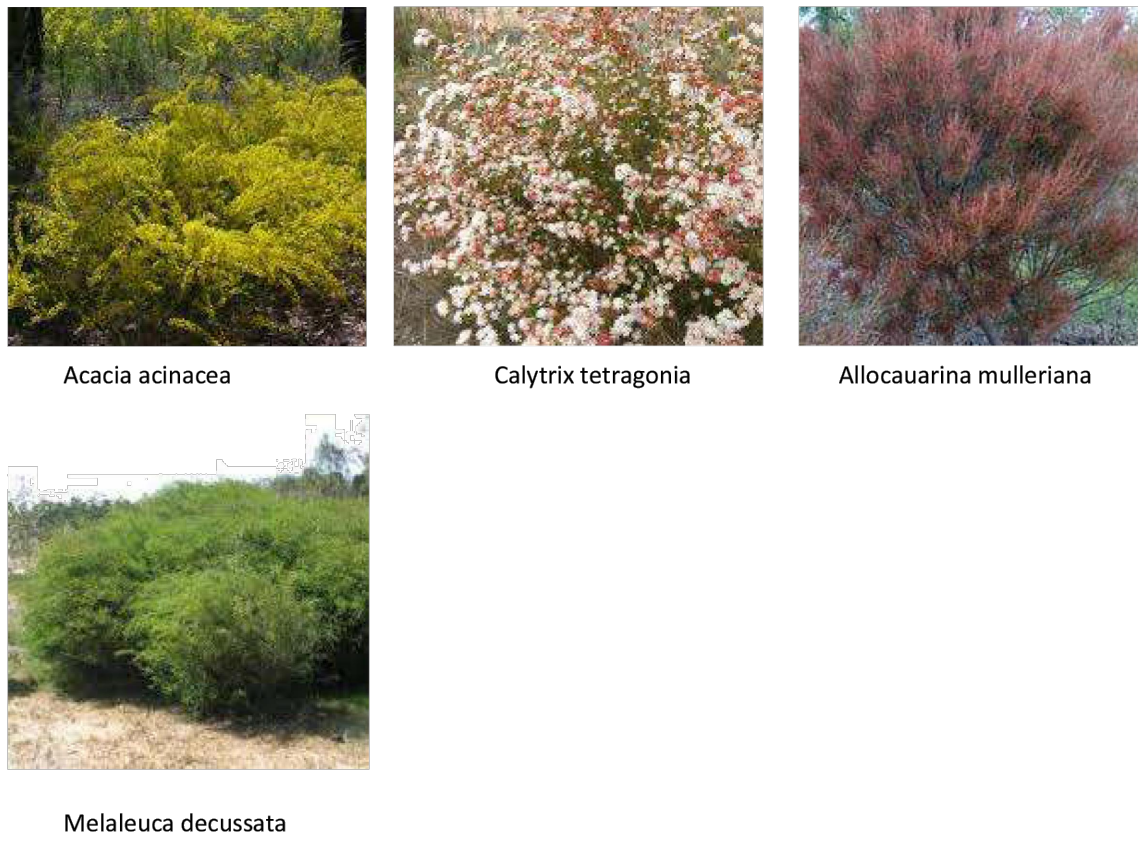
Native planting mix type 2 to create vegetation screen to reduce visibility of the fence and solar array

PLANTING PLAN  
SCALE 1:1250

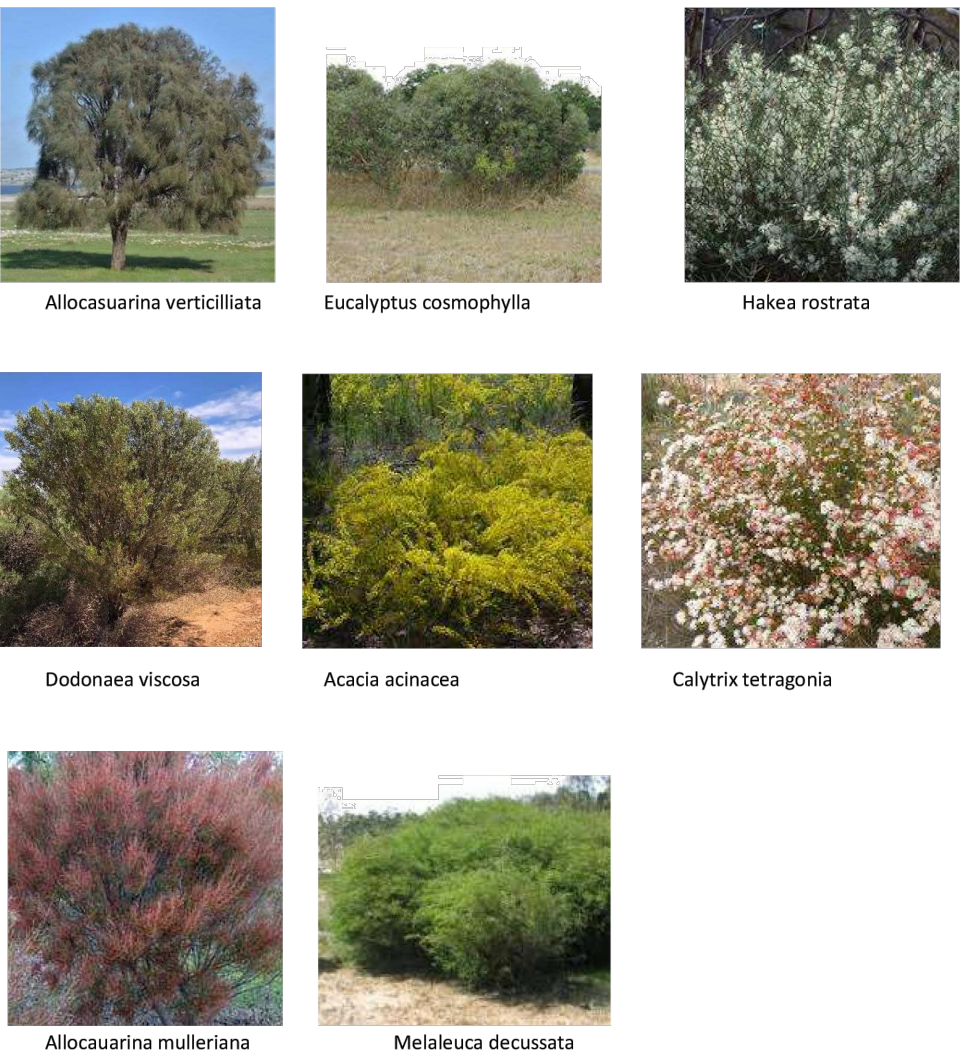


NATIVE PLANT MIX TYPE 2 - MATRIX  
SCALE 1:50

PLANTING PALETTE - NATIVE MIX TYPE 1



PLANTING PALETTE - NATIVE MIX TYPE 2

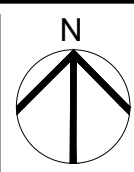


SPACE  
LANDSCAPE DESIGNS

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Suite 138, 117 Old Pittwater Rd,  
Brookvale NSW 2100

PROJECT:  
Birdwood Solar Farm  
SITE ADDRESS:  
Lot 16 Warren Road, Birdwood

CLIENT: YES Group  
DRN: T.Browne (B.LArch)  
SCALE: As shown@A1  
PROJECT NO: 232133



DRAWING TITLE:  
PLANTING PLAN  
DRAWING NO:  
L-02

Rev: B



LEGEND

PROPERTY BOUNDARY

ASSET PROTECTION ZONE

SECURITY FENCE

NATIVE PLANT BUFFER TYPE 1

NATIVE PLANT BUFFER TYPE 2

EXISTING TREES TO REMAIN



NATIVE VEGETATION TO REMAIN—  
EUCALYPTS SPP

8m DOUBLE RURAL GATES—  
& 4m ACCESS TRACK TO SITE FROM  
WINTON ROAD

SINGLE 3m GATE

NATIVE VEGETATION TO REMAIN  
EUCALYPTS SPP

NATIVE VEGETATION SCREENING  
ALONG NORTHERN SIDE OF THE  
SOLAR ARRAY TO MINIMISE THE  
VISUAL IMPACT AS VIEWED FROM  
WARREN ROAD

10m NATIVE VEGETATION STRIP  
TO MINIMISE THE VISUAL IMPACT  
AS VIEWED FROM THE PUBLIC SPHERE

NOTES:  
- 5m CLEARANCE TO BE PROVIDED BETWEEN SECURITY FENCE AND NATIVE VEGETATION  
- 10m ASSET PROTECTION ZONE (APZ) AROUND SITE PERIMETER  
- VEGETATION WITHIN OVERHEAD LINE EASEMENT TO BE SELECTED AND INSTALLED  
TO COMPLY WITH THE ELECTRICITY (PRINCIPLES OF VEGETATION CLEARANCE) REGULATIONS.

NOTES:  
- Contractors to check and verify all dimensions and all levels on site prior to any works.  
- Any discrepancies should be immediately referred to Space Landscape Designs.  
- All works to comply with S.C.A. Safety Procedures and relevant Australian Standards.  
- Dimensions recognised over loading. All measurements are in millimetres.

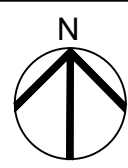
Rev.	Date	Issue	Checked
A	11/10/23	Preliminary Issue	AE
B	11/10/23	DA Issue	

**SPACE**  
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Suite 138, 117 Old Pittwater Rd,  
Brookvale NSW 2100

PROJECT:  
Birdwood Solar Farm  
SITE ADDRESS:  
Lot 16 Warren Road, Birdwood

CLIENT: YES Group  
DRN: T.Browne (B.LArch)  
SCALE: 1:1250@A1  
PROJECT NO: 232133



DRAWING TITLE:  
LANDSCAPE PLAN  
DRAWING NO:  
L-01

Rev. B



LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION

Locate any underground and overground services & ensure no damage occurs. All dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

PROTECTION OF EXISTING TREES:

Prior to construction, the builder shall erect tree protection fencing to the drip line of existing trees to be retained. The fence shall be constructed of star pickets at 2.4m spacings and connected by three strands of 2mm wire at 300mm spacings to a minimum height of 1500mm. Protect all trees affected by demolition & construction. Take necessary precautions to protect the Structural Root Zone(SRZ) as per AS 4970-2009 Australian Standard for Protection of Trees on Development Sites.Tree protection measures shall remain intact until the completion of all construction works.

Prohibited Works or material storage within the TPZ as per AS 4970-2009 except with approval of council:

- entry of machinery or storage of building materials, parking of any kind of vehicle
- erection or placement of site facilities, removal or stockpiling of soil or site debris, disposal of liquid waste including paint & concrete wash
- excavation or trenching of any kind (including irrigation or electrical connections).
- attaching any signs or any other objects to the tree, placement of waste disposal or skip bins
- pruning and removal of branches, other than those by a qualified Arborist

SITE ESTABLISHMENT

Fence the area as required with a sheep proof fence to control possible livestock impacts.

ELIMINATE WEEDS

Remove all existing weeds with a glyphosate based herbicide as per manufacturers recommendations. Weed control shall never be performed by mechanical cultivation or by scraping. Weed elimination to commence in July - weather dependant. A second spray to be performed in 2 weeks - weather dependant. Do not spray when raining or if rain is forecasted or on excessively hot, dry or windy days.

Herbicide spraying is to be used to eliminate all existing weeds a minimum 30 days prior to planting.

EXCAVATION & PLANTING PREPARATION

Excavate garden beds with a single furrow rip line to a minimum depth of 300mm. Seedlings to be planted with Hamilton tree planter tool. Plants to be protected from pests and wind with CorFlute Tree Guards until they become established. Tree Guard to be secured with one 75cm high hardwood timber stake 11 x 23mm.

REUSE EXISTING TOPSOIL

Existing site topsoil should be salvaged & appropriately stockpiled where possible.

PLANT STOCK

Seedlings to be supplied by reputable production nurseries in accordance with AS 2303:2018 Tree Stock for Landscape Use. Plants to be supplied weed, pest and disease free in 50 x 50 x 120mm deep tubes. Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species. Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%. Stock selection should also be based on NATSPEC Guide *Specifying Trees: a Guide to Assessment of Tree Quality*.

MULCHING

All construction must comply with AS 4454-2003 Compost, soil conditioners and mulches. All planting area to receive 50-75mm of garden Mulch. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.

WATERING

Water in immediately with 10 litres of water per plant after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.

MAINTENANCE STRATEGY

For the successful establishment of plants it is essential that adequate maintenance on a regular basis be provided. This regular maintenance will encourage quick development of the trees and reduce the cost of replacing dying plants.

INSPECTION

Inspect site and seedlings one month after planting and replace any losses.

WATERING

Adequate watering during plant establishment is required for the first few weeks. The rootball and surrounding soil should be adequately moist. As the plants establish the intervals should increase and then the plant should only be watered at the first signs of wilting. After 3-6 months the plant should be able to survive on its own.

FERTILISING

Fertilising will only be required if the plant is indicating signs of poor condition and slow growth due to nutrient deficiencies. If fertilising is deemed to be necessary it will be carried out after the second seasons growth at the end of the second growing season in late summer to autumn. N:P:K ratios and application rates vary greatly depending on conditions of use. Consult manufacturers for application rates suitable for individual plantings. Fertilisers may be applied to the soil in an organic granular application with a low phosphorus and nitrogen content, applied in a broad casting fashion to quantities & rates described on fertiliser bags.

MULCHING

Following planting, rake all garden areas and tamp lightly to give an even graded surface. Spread 75mm layer of mulch over the surface of all garden beds. Care shall be taken not to mix soil and mulch together. All mulching is to be carried out with AS 4454 composted organic material, low in phosphorous and derived from the raw material, green waste. Mulching materials must be sourced from a certified fully licensed Australian Standard producer. Every 6 months all garden beds are to be checked to ensure there is sufficient mulch. If additional mulch is required it will be to a maximum depth of 75mm and 100mm from the tree trunk.

REMEDIAL PRUNING

Once plants are established, pruning will be an ongoing process, which will require the periodical removal of unsightly dead wood and hazardous branches.

WEEDING

Weed control measures should aim to eliminate weed germination and establishment. Weeds are to be controlled while young and before seed set. Declared noxious weeds require action, varying from treatment to removal. Contact Council's Noxious Weeds Officer for further information.

PLANT STAKING

Once plants are self supporting remove tree guard and stake.

PEST AND DISEASE CONTROL

Treatment of pests and diseases is important for maintaining healthy plants. Non-chemical controls and treatments should always be considered first. Natural control of pests is encouraged such as removing the parts affected by disease, hand removal of certain pests and encouraging birds.

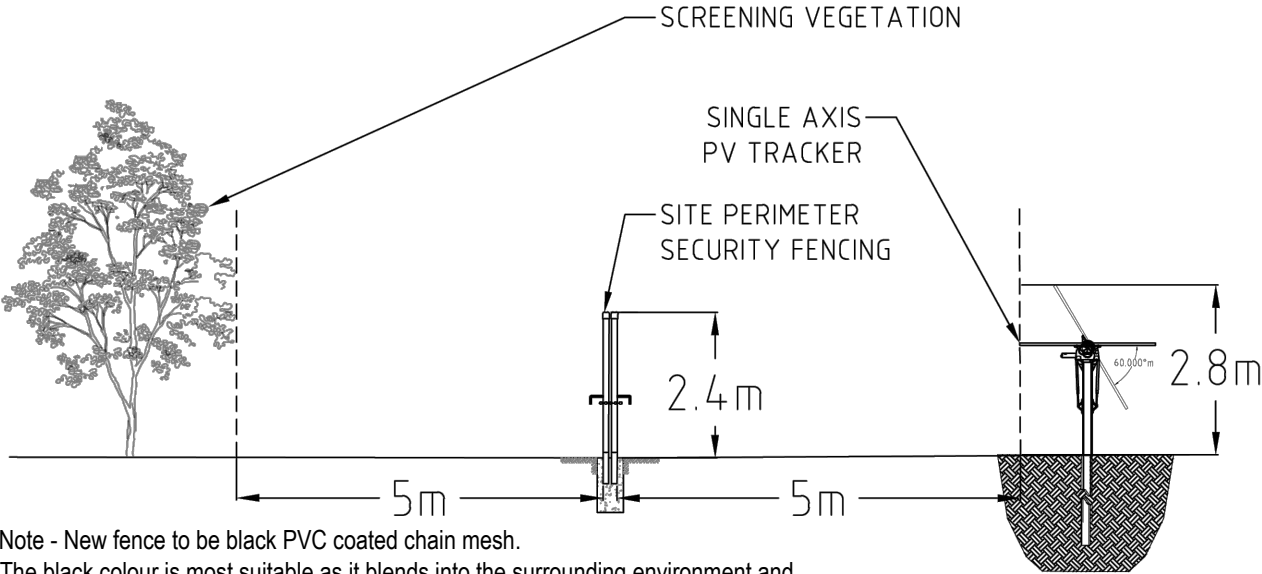
REPLANTING

Should any plants require replacing the same species and tube stock shall be used. The following guidelines are recommended:

- Plants are to be removed from their containers with all labels removed.
- A hole is to be excavated at 2-3 times the diameter of the container and at the same depth as the root ball with the sides loosened.
- No organic matter, gravel or coarse material to be placed at the bottom of the planting hole.
- All plants are to be planted so the top of the root ball is level with the existing ground level.
- Original site soil is to be used as back fill around plant. Plants to be watered in.Apply mulch to a depth of 75mm and 100mm away from the trunk

SOIL TESTING

If growth of plants is poor or every 3 months during twelve month establishment period, a soil pH test should be performed at 5 different locations. Take each sample to spade depth. Follow the instructions as per the pH colourimetric kit to check the soil pH is at an acceptable level.



Note - New fence to be black PVC coated chain mesh.  
The black colour is most suitable as it blends into the surrounding environment and appears to disappear due to black absorbing the light rather than reflecting it.  
The open style will also let light through so it will not appear as a solid structure.

01 TYPICAL ASSET PROTECTION ZONE SECTION

SCALE N.T.S.



02 TYPICAL CORFLUTE TREE GUARD

SCALE N.T.S.

NOTES:  
- Contractors to check and verify all dimensions and all levels on site prior to any works.  
- Any discrepancies should be immediately referred to Space Landscape Designs.  
- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.  
- Dimensions recognised over scaling. All measurements are in millimetres.

Rev.	Date	Issue
A	11/10/23	Preliminary Issue
B	11/10/23	DA Issue

Checked
AE
AE

SPACE  
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd  
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spacedesigns.com.au  
P 02 9905 7870 F 02 9905 7657  
Suite 138, 117 Old Pittwater Rd,  
Brookvale NSW 2100

PROJECT:  
Birdwood Solar Farm  
SITE ADDRESS:  
Lot 16 Warren Road, Birdwood

CLIENT: YES Group  
DRN: T.Browne (B.LArch)  
SCALE: 1:100@A3  
PROJECT NO: 232133

DRAWING TITLE:  
LANDSCAPE DETAILS  
DRAWING No:  
L-03  
Rev: B

# TYPICAL DRIVEWAY DETAIL

Not to Scale

4000 mm

Property Boundary

**Driveway** - Width 4000 mm wide with 'wings' on each side (6000 mm radius).

**Pavement** - the road pavement will be a minimum 150 mm deep compacted rubble.

**Grade** - the driveway shall be constructed to the same level as the edge of pavement on the road through to the property boundary.

DRIVEWAY

TP = TANGENT POINT

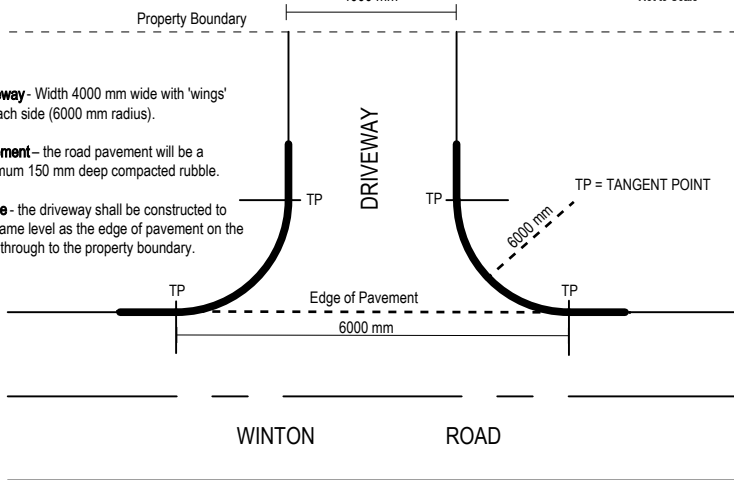
6000 mm

Edge of Pavement

6000 mm

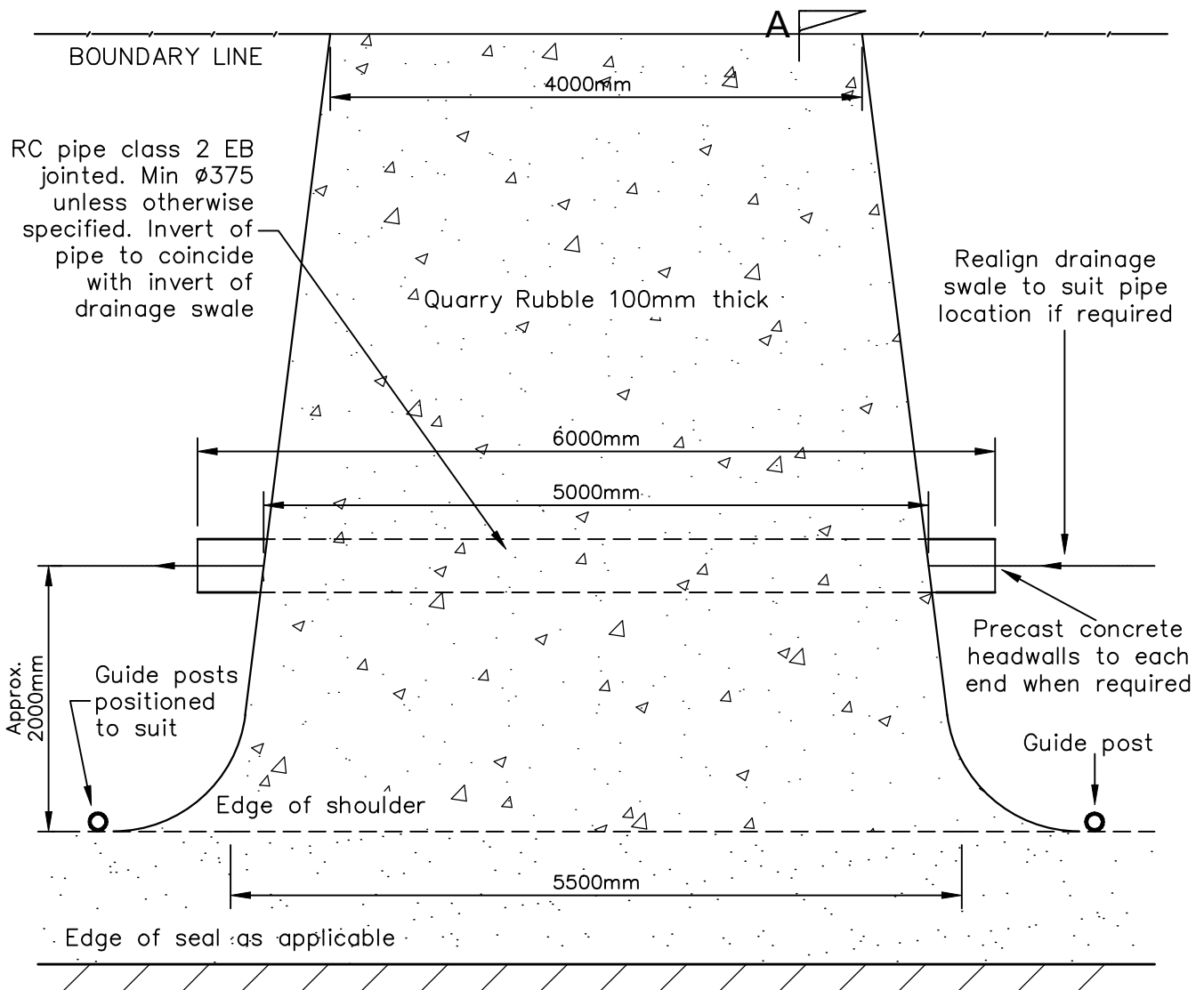
WINTON

ROAD





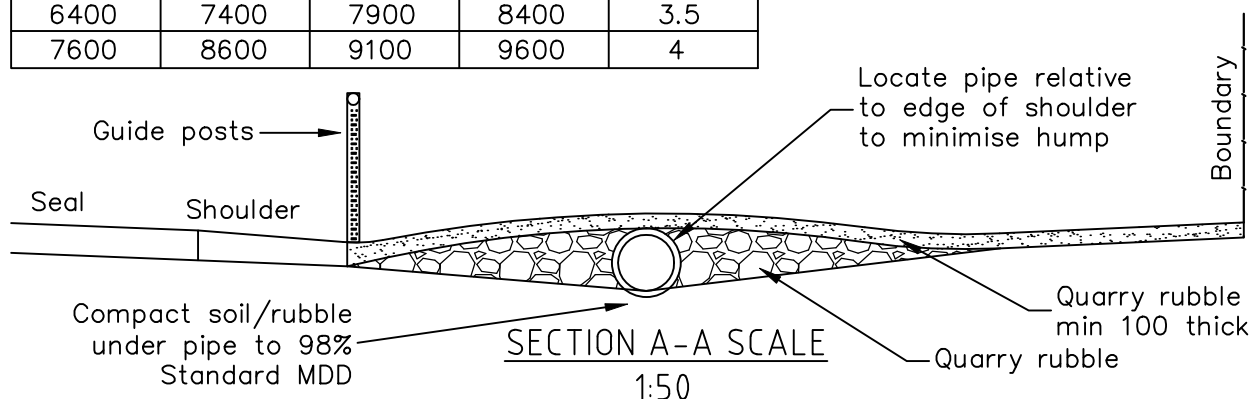
Refer to Standard Drawing No 20: – Entranceways Rural\_Guide for verge crossing levels



PLAN VIEW

STANDARD WIDTH OF ENTRANCEWAY

At boundary	At swale	At shoulder	Pipe length	No of pipes
4000	5000	5500	6000	2.5
5200	6200	6700	7200	3
6400	7400	7900	8400	3.5
7600	8600	9100	9600	4



SECTION A-A SCALE

1:50

ASSOCIATED DRAWINGS:  
13, 19, 20.

Quarry rubble to be PM21 compacted to 95% Modified MDD. Where swale depth exceeds 800mm headwalls will be required. Guide posts are composite rubber with delineators & driveable anchor 1m high located to suit the situation.



## PIPED ENTRANCE

FOR RURAL VERGE CROSSOVER

SCALE: AS SHOWN

DRAWN BY: SAB

DATE DRAWN: MAR 10

DRAWING NO: 16

A

A4

13 October 2023

**DA 23025290 – Birdwood Solar Farm & Associated Infrastructure  
Lot 16 Torrens Valley Road, Birdwood SA 5234**

**SUMMARY OF PROPOSED AMENDMENTS TO APPROVED PLANS**

The YES Group is proposing to make the following amendments / variations to the approved plans for the proposed Birdwood Solar Farm development at Lot 16 Torrens Valley Road, Birdwood as contained in DA 23025290 (formerly DA 473/530/20).

**1. Site Area –**

The site area to be occupied by the Solar Farm has been reduced from 13 hectares to 10 hectares.

**2. Capacity of the Solar Farm –**

The capacity of the Solar Farm has reduced slightly from 4.98MW to a 4.95MW facility.

**3. Solar Array Configuration –**

The number of tracker stands has reduced from 1,800 to 1,547 and the number of solar panels has reduced from 13,000 to 12,150 modules.

**4. Battery Storage –**

The battery storage facility has been reduced from 5 units to 2 units. The sized of the respective units has also reduced to 2.4m x 12m x 2.7m high.

**5. Inverters –**

There will now be 1 inverter, being a Sungrow SC4950 Inverter with dimensions of 2.4m x 12m x 2.7m high (40ft container) – this is a reduction in the number of inverters from 2 to 1.

**6. Temporary Site Office and Maintenance Storage Area –**

There is no change to the temporary site office and maintenance storage area. These facilities will be only required during the 15 week construction period.

**7. Landscaping –**

The landscaping to be provided has increased significantly on the western, eastern & southern boundaries – the additional landscaping has been included to provide screening from the public realm on the adjoining roads.

A Landscaping Plan (Screen Planting / Revegetation Plan) prepared by Space Landscape Designs provides the extent and details of the proposed plantings & revegetation to be undertaken on the site to screen the solar farm from the public realm.

**8. Fencing –**

The proposed 2.4m high security mesh fence is to use black coated PVC mesh as described in the Landscaping Plan as follows – *“New fence to be black PVC coated chain mesh. The black colour is most suitable as it blends into the surrounding environment and appears to disappear due to black absorbing the light rather than reflecting it. The open style will also let light through so it will not appear as a solid structure.”*

## 9. Signage –

There are no proposed changes to the location of signage at the entrance gate (including project details, site contact, emergency details and site safety considerations).

## 10. Site Access –

Access to the site is to be gained only from Winton Road, with a new access crossover to be constructed from Winton Road into the site approximately 55 metres north of the southern property boundary. The access crossover is to be constructed as a 4 metre wide compacted rubble crossover & road.

A formal application for Council approval will be lodged pursuant to section 221 of the Local Government Act 1999 for an alteration to a public road for the installation of the proposed crossover. With a swale drain existing along Winton Road, the proposed new access crossover will be installed in accordance with Council's Rural Piped Crossover Driveway specification.

## 11. Watercourse –

No pylons are to be constructed within the minor watercourse so as to cause any impediment to water flows. The watercourse will be surveyed to determine its extent & alignment during the preparation of the Building Consent application to assist in finalising the pylon piling layout to ensure there are no pylons placed in the watercourse.

## 12. Grid Connection –

The connection point of the solar farm to the electricity grid has been relocated to Winton Road away from the overhead electricity transmission line along Torrens Valley Road.

## 13. Asset Protection Zone (APZ) –

A 10 metre site asset protection zone is to be maintained around the perimeter of the solar farm to provide both protection to the solar farm and access in the event of an emergency event.

Yours sincerely



F.N. (Frank) Brennan PSM MPIA

Accredited Planning Professional APP20190029

Principal Consultant

**FRANK BRENNAN CONSULTING SERVICES**



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PROFESSIONAL

Planning, Development and Infrastructure Act 2016



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E: frank@fbcs.com.au  
W: www.fbcs.com.au

4 October 2023

Ms Melanie Scott  
Senior Statutory Planner  
Adelaide Hills Council  
PO Box 44  
WOODSIDE SA 5244

Dear Melanie

**DA 23025290 – Birdwood Solar Farm & Associated Infrastructure  
Lot 16 Torrens Valley Road, Birdwood SA 5234**

As previously advised I am acting for the YES Group in relation to the proposed Birdwood Solar Farm development at Lot 16 Torrens Valley Road, Birdwood as contained in DA 23025290.

We acknowledge receipt of Council's letter dated 21 September 2023 requesting further information in relation to our Development Application 23025290 and we advise as follows –

1. An amended site plan which details the site boundaries and dimensioned setbacks for all the activities proposed on the site from those boundaries, including but not limited to the landscaping, the proposed security fence and the solar arrays. Note the plan provided says it has site boundaries but I cannot see them.

Response: Please find attached the amended site plan.

2. The amended site plan should also detail the watercourse on the site and no pylons should be placed in the watercourse. You will note the original approval reflected this.

Response: I can confirm there will be no pylons constructed within the watercourse so as to cause any impediment to flow within the watercourse. The watercourse will be surveyed to determine its extent & alignment during the preparation of the Building Consent application to assist in finalising the pylon piling layout to ensure there are no pylons placed in the watercourse.

3. The plan supplied references significant trees which should be more correctly labelled as native vegetation – large eucalypts.

Response: Please find attached the amended site plan.

4. Dimensioned floor plans and elevations of the proposed support structures.

Response: Please find attached the floor plans & elevations for the proposed support structures.

5. The information you provided on 29 August in response to questions should be in a support document which can be put with a package for notification.

Response: Please find attached a project outline summarising the proposed amendments to the approved solar farm development.

- 6 As discussed, this application will not progress to notification without the landscape plan as described as the reserved matter on 20-530. That is a landscape plan prepared by a suitably qualified landscape architect to provide a landscaping plan that minimises the visual impact of the proposed development as viewed from the public sphere to the Council's reasonable satisfaction. The landscaping plan should, where possible, incorporate use of evergreen species; vegetation screening along the northern side of the solar array to reduce visibility along Warren Road & stock/wildlife exclusion fencing to protect newly planted vegetation and to aid establishment.

Ms Melanie Scott  
Senior Statutory Planner  
Adelaide Hills Council  
4 October 2023  
Page | 2

It is noted you have removed the northern portion of the proposed solar farm, reducing visual impacts from Warren Rd. The reduced setbacks from Torrens Valley Rd from an average of 100m to between 10m and 20m substantially increase the potential visual impact from Torrens Valley Rd and should be addressed by your landscape plan professional.

Further no landscaping is proposed to the north eastern edge of the solar farm. Noting the deciduous nature of the existing roadside vegetation on Warren Rd please have the landscape architect comment on the benefit of some additional plantings either on the boundary with Warren Rd or along the edge of the solar farm.

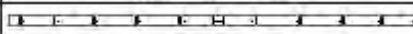
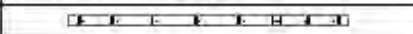
Response: Please find attached the Landscaping Plan (Screen Planting / Revegetation Plan).

7. Please explain the terminology arrays with strings and relate them to the plan. For example block A is 25 arrays with 2 strings, how does that relate to the boxes drawn on the plan.

Response: the following explanation / calculations are provided to clarify the terminology around arrays & strings and how this related to the layout plan.

- Array – Connection of solar modules in a parallel formation.
- Strings – Connection of modules in a series formation.

There are 27 modules to a String. The Nextracker legend below shows how the proposed configuration of 2 (54 module) and 3 (81 module) string modules are distributed over the solar farm.

NEXTRACKER HORIZON TRACKER LEGEND			
MODULE QTY	LENGTH	SITE QTY	TRACKER SYMBOL
81 MODULE (3 STRINGS)	97.3m	100	
54 MODULE (2 STRINGS)	65.2m	75	

8. Construction details and exact dimensioned location for the proposed crossover on Winton Road.

Response: the proposed crossover is to be located 55 metres north of the southern property boundary along Winton Road and the crossover / driveway is to be constructed of compacted rubble material and is to be 4 metres wide. A copy of the crossover plan is attached.

If you require any further information in relation to this project please do not hesitate to contact me at your convenience.

Yours sincerely



F.N. (Frank) Brennan PSM MPIA  
Accredited Planning Professional APP20190029  
Principal Consultant  
**FRANK BRENNAN CONSULTING SERVICES**



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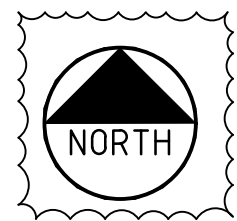


SCALE: N.T.S.



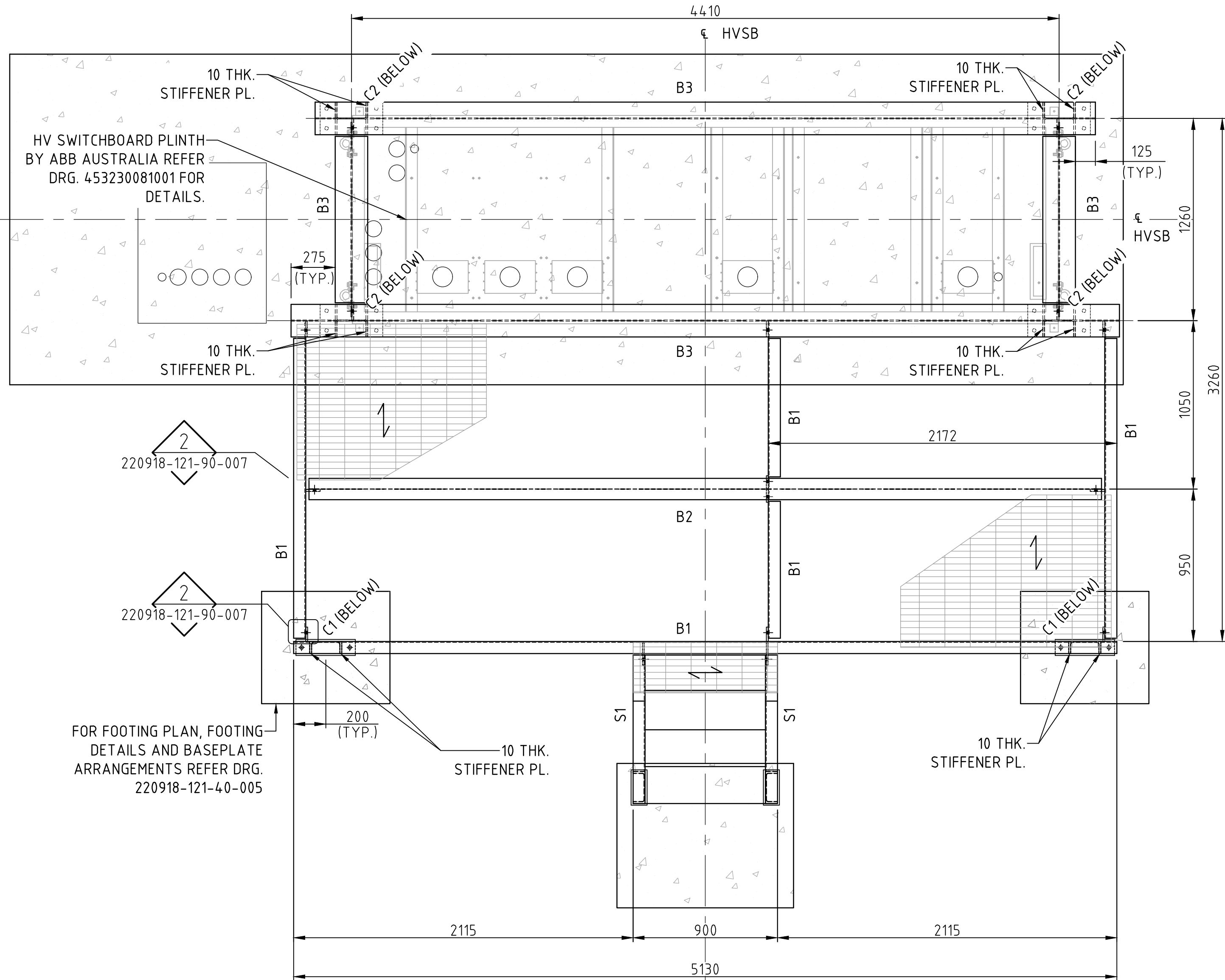
A1SHEET





HOLD 2

STEELWORK SCHEDULE		
MARK NO.	MEMBER	REMARKS
B1	200 PFC	PLATFORM BEAM
B2	200 UB 22	PLATFORM SUPPORT BEAM
B3	200 UC 46	HVSB BEAM
C1	200 PFC	PLATFORM COLUMN
C2	200 UC 46	HVSB COLUMN
S1	200 PFC	STRINGER
BR1	100x10 EA	BRACING



PLAN  
SCALE 1:20

NOTES:

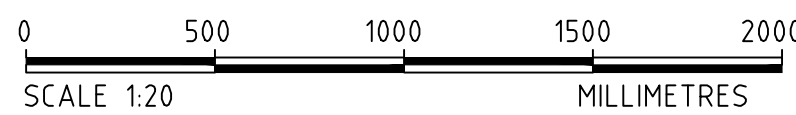
- FOR STRUCTURAL STEELWORK NOTES REFER TO DRAWING 220918-121-90-005.
- FOR HV SWITCHBOARD CONTAINER DETAILS, REFER TO THE PROVIDED VENDOR DRAWING.
- FIXING OF HV SWITCHBOARD CONTAINER TO THE SUPPORTING STEEL STRUCTURE IS TO BE UNDERTAKEN BY OTHERS AS PER TIE DOWN DETAIL FROM DRG. 220918-121-90-007.
- FOR FOOTING DETAILS AND BASEPLATE ARRANGEMENTS, REFER TO DRAWING 220918-121-40-005.

LEGEND:

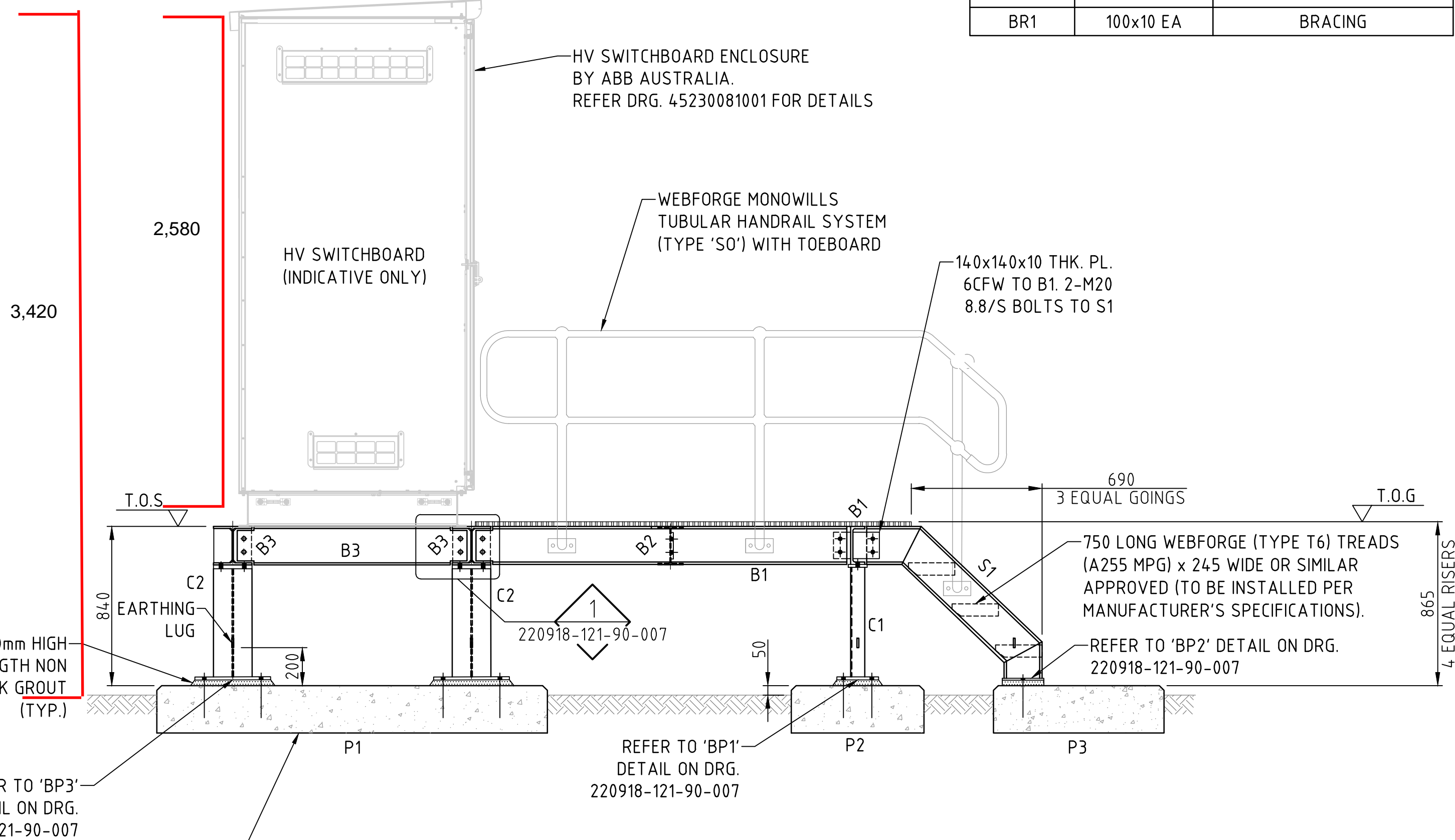
T.O.S TOP OF STEEL  
T.O.G TOP OF GRATING

HOLDS:

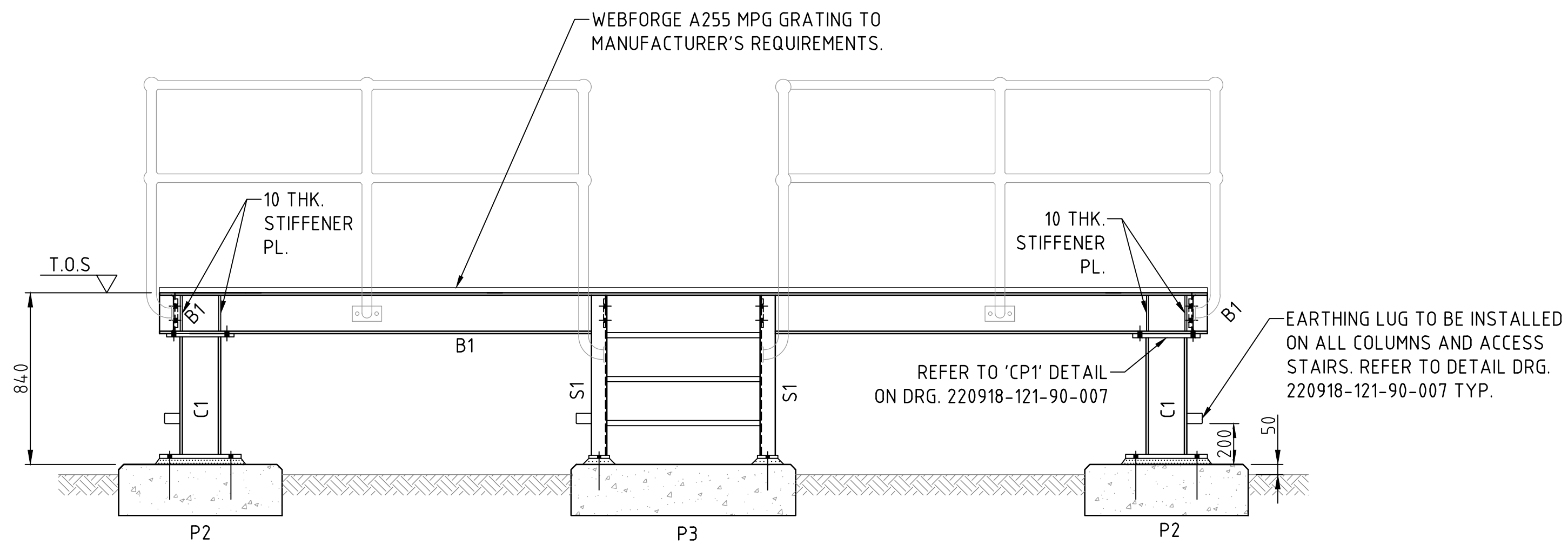
- STRUCTURAL DESIGN TO BE CONFIRMED UPON FINAL VENDOR DESIGN OF ELECTRICAL EQUIPMENT. HOLDS SHALL BE RESOLVED PRIOR TO CONSTRUCTION ELSE CONFIRM WITH DESIGN ENGINEER.
- ORIENTATION TO BE CONFIRMED BASED ON FINAL SITE LAYOUT.



ISSUED FOR APPROVAL



WEST ELEVATION  
SCALE 1:20



SOUTH ELEVATION  
SCALE 1:20

redmud  
greenenergy

www.redmud.net.au

REVISION		REFERENCE DRAWINGS	
0A	31/08/23	220918-121-90-007	PLATFORM STEELWORK DETAILS
No	DATE	220918-121-40-005	FOOTING LAYOUT PLAN AND DETAILS
		220918-121-90-005	STRUCTURAL STEELWORK NOTES
			TITLE
			NUMBER

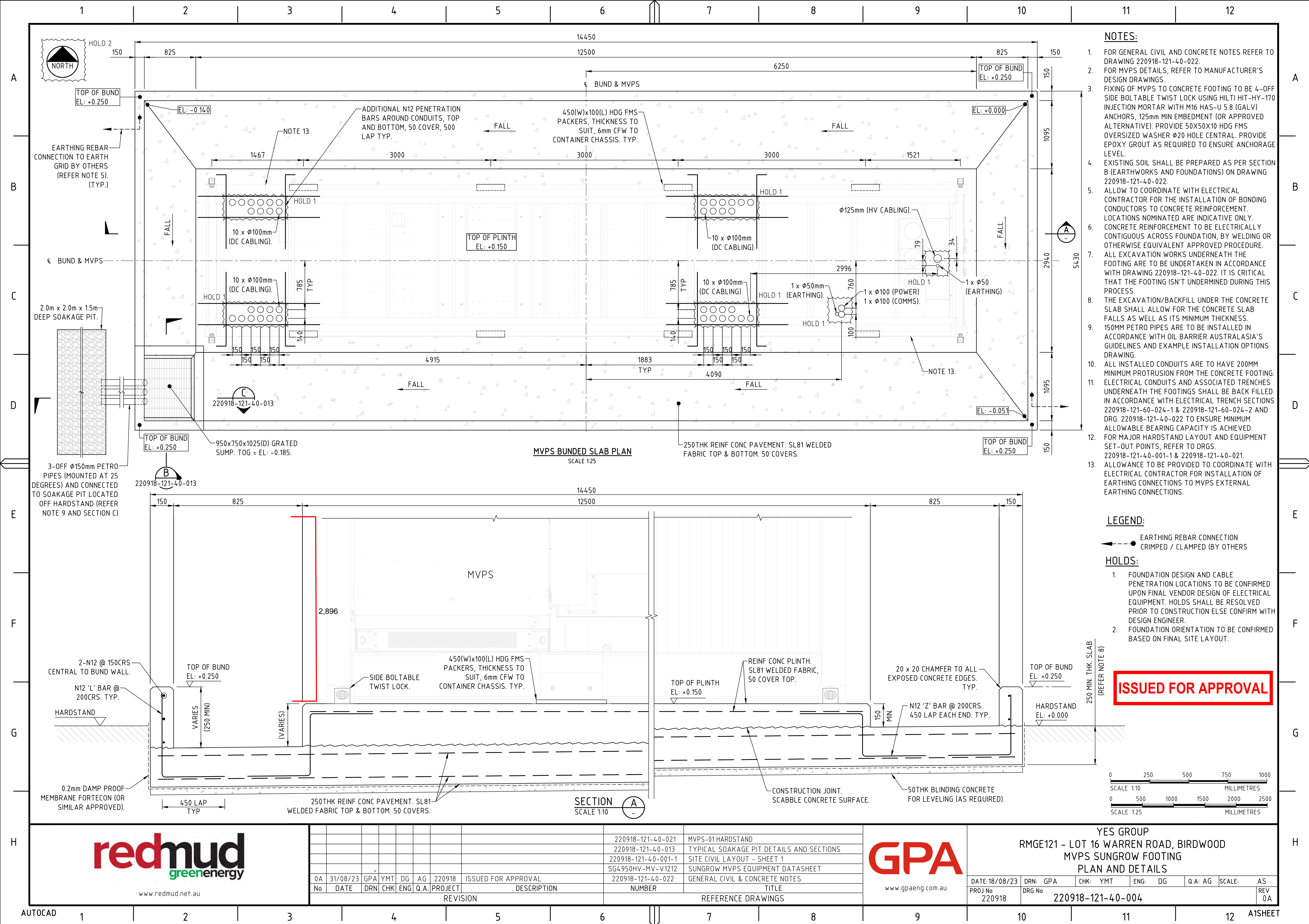
GPA

www.gpaeng.com.au

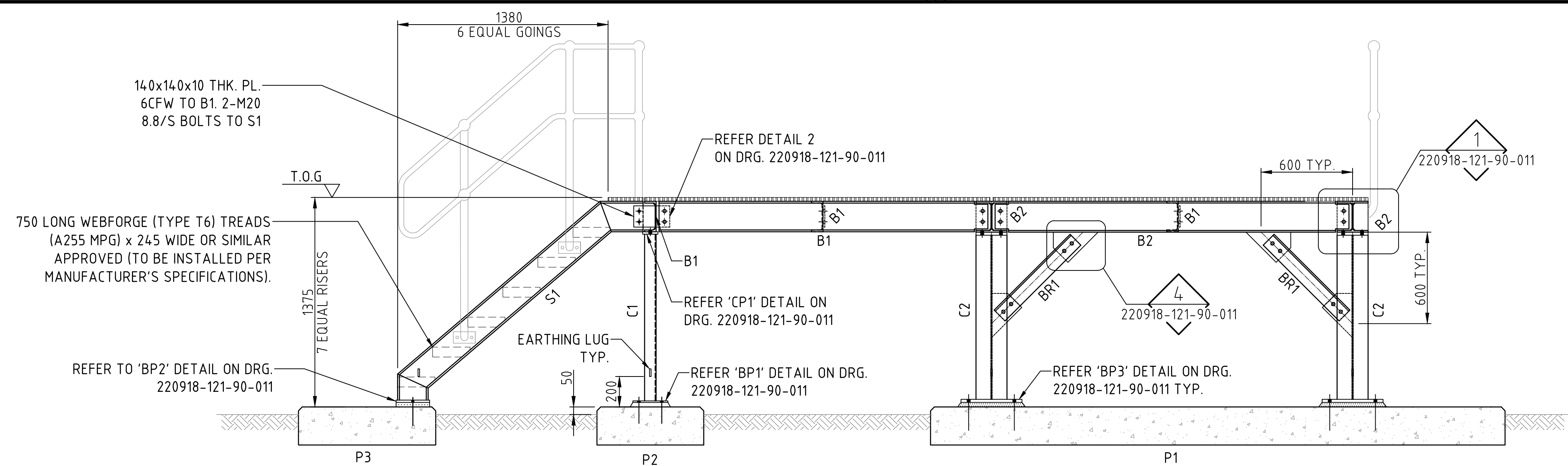
YES GROUP  
RMGE121 - LOT 16 WARREN ROAD, BIRDWOOD  
HV SWITCHBOARD PLATFORM  
PLAN AND ELEVATIONS

DATE:18/08/23	DRN: GPA	CHK: YMT	ENG: DG	Q.A: AG	SCALE: AS	REV 0A
PROJ No 220918	DRG No 220918-121-90-006					



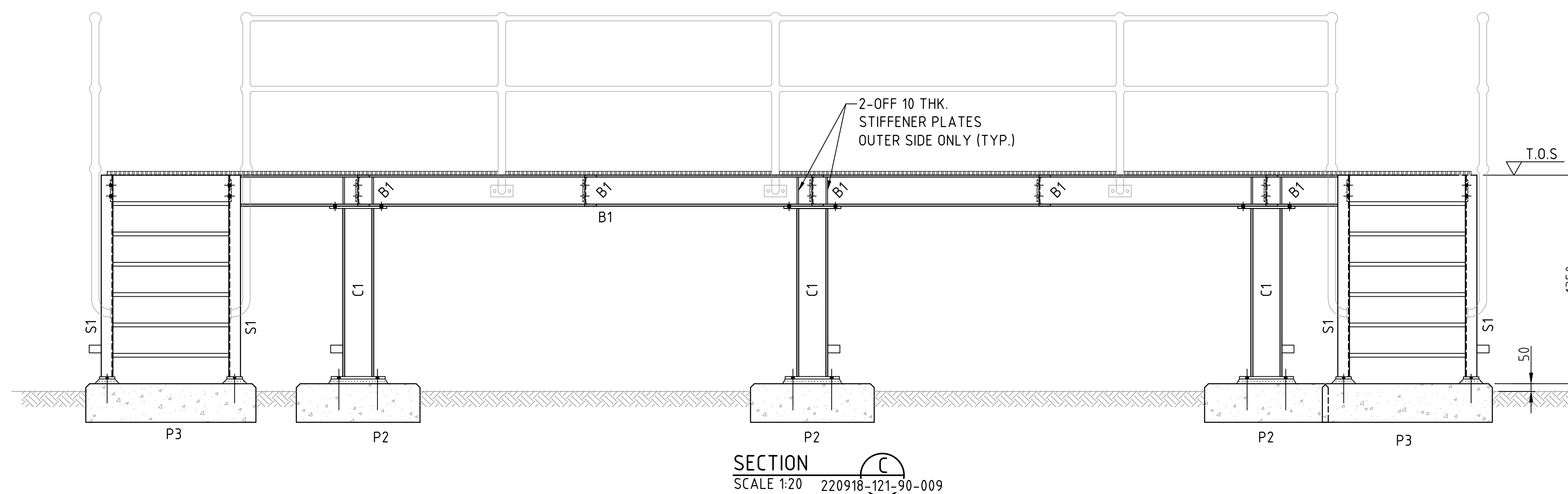
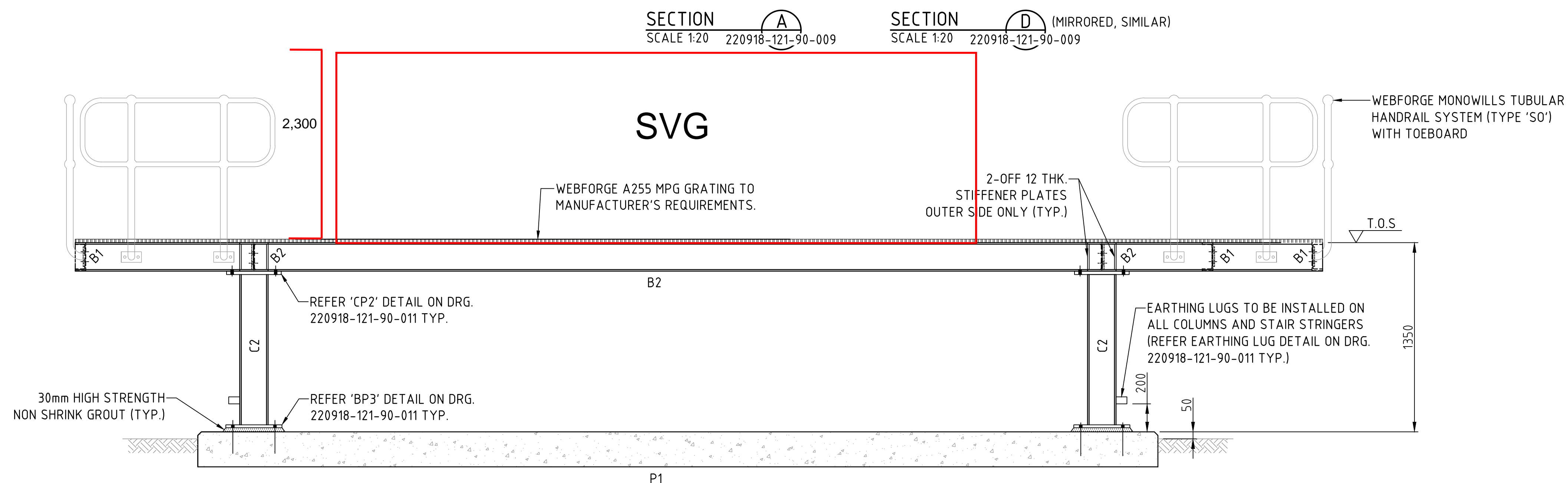




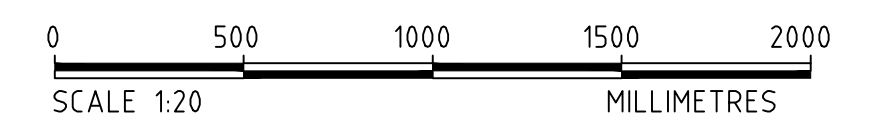


NOTES:

1. FOR STRUCTURAL STEELWORK NOTES REFER TO DRAWING 220918-121-90-005.



**ISSUED FOR APPROVAL**



[www.redmud.net.au](http://www.redmud.net.au)

									220918-121-90-011	PLATFORM STEELWORK DETAILS	
									220918-121-90-009	PLATFORM PLAN	
									220918-121-40-008	FOOTING LAYOUT PLAN AND DETAILS	
0A	31/08/23	GPA	YMT	DG	AG	220918	ISSUED FOR APPROVAL		220918-121-90-005	STRUCTURAL STEELWORK NOTES	
No	DATE	DRN	CHK	ENG	Q.A.	PROJECT	DESCRIPTION	NUMBER	TITLE		
							REVISION				

# GPA

[www.qpaenq.com.au](http://www.qpaenq.com.au)

YES GROUP  
RMGE121 - LOT 16 WARREN ROAD, BIRDWOOD  
SVG CONTAINER PLATFORM  
ELEVATION AND SECTIONS

DATE: 18/08/23	DRN: GPA	CHK: YMT	ENG: DG	Q.A: AG	SCALE: AS
PROJ No 220918	DRG No 220918-121-90-010				REV 0A

29 September 2023

**DA 23025290 – Birdwood Solar Farm & Associated Infrastructure  
Lot 16 Torrens Valley Road, Birdwood SA 5234**

**SUMMARY OF PROPOSED AMENDMENTS TO APPROVED PLANS**

The YES Group is proposing to make the following amendments / variations to the approved plans for the proposed Birdwood Solar Farm development at Lot 16 Torrens Valley Road, Birdwood as contained in DA 23025290 (formerly DA 473/530/20).

▪ **Site Area –**

The site area to be occupied by the Solar Farm has been reduced from 13 hectares to 10 hectares.

▪ **Capacity of the Solar Farm –**

The capacity of the Solar Farm has reduced slightly from 4.98MW to a 4.95MW facility.

▪ **Solar Array Configuration –**

The number of tracker stands has reduced from 1,800 to 1,547 and the number of solar panels has reduced from 13,000 to 12,150 modules.

▪ **Battery Storage –**

The battery storage facility has been reduced from 5 units to 2 units. The sized of the respective units has also reduced to 2.4m x 12m x 2.7m high.

▪ **Inverters –**

There will now be 1 inverter, being a Sungrow SC4950 Inverter with dimensions of 2.4m x 12m x 2.7m high (40ft container) – this is a reduction in the number of inverters from 2 to 1.

▪ **Temporary Site Office and Maintenance Storage Area –**

There is no change to the temporary site office and maintenance storage area. These facilities will be only required during the 15 week construction period.

▪ **Landscaping –**

The landscaping to be provided has increased significantly on the western, eastern & southern boundaries – the additional landscaping has been included to provide screening from the public realm on the adjoining roads.

A Landscaping Plan (Screen Planting / Revegetation Plan) prepared by Environments By Design provides the extent and details of the proposed plantings & revegetation to be undertaken on the site to screen the solar farm from the public realm.

▪ **Fencing & Signage –**

There are no proposed changes to the 2.4m high security mesh fence and the location of signage at the entrance gate (including project details, site contact, emergency details and site safety considerations).

▪ **Site Access –**

Access to the site is to be gained only from Winton Road, with a new access crossover to be constructed from Winton Road into the site approximately 55 metres north of the southern property boundary. The access crossover is to be constructed as an 4 metre wide compacted rubble crossover & road.



- **Grid Connection –**

The connection point of the solar farm to the electricity grid has been relocated to Winton Road away from the overhead electricity transmission line along Torrens Valley Road.

- **Asset Protection Zone (APZ) –**

A 10 metre side asset protection zone is to be maintained around the perimeter of the solar farm to provide both protection to the solar farm and access in the event of an emergency event.

Yours sincerely



F.N. (Frank) Brennan PSM MPIA  
Accredited Planning Professional APP20190029  
Principal Consultant  
**FRANK BRENNAN CONSULTING SERVICES**



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*Planning, Development and Infrastructure Act 2016*

## YES Group - Screen Planting / Revegetation Plan

### Location – Lot 16 Torrens Valley Road, Birdwood SA 5234

- Sec: P6597 DP:13143
- Title/Volume/Folio: CT:5460/130

### Objective

To create a native vegetation screen along the Torrens Valley Way, Winton Road and a vegetation screening along the northern side of the solar array to reduce visibility along Warren Road.

### Plant species selection

Common Name	Botanical Name	Estimated dimensions (H)	Area /Mix 1 – near powerlines	Area 2/Mix 2	Units
Drooping Sheoak	<i>Allocasuarina verticillata</i>	5-8m		Yes	245
Cup Gum	<i>Eucalyptus cosmophylla</i>	3-8m		Yes	245
Wreath Wattle	<i>Acacia acinacea</i>	1-2m	Yes	Yes	650
Fringe Myrtle	<i>Calytrix tetragona</i>	1-2m	Yes	Yes	650
Beaked Hakea	<i>Hakea rostrata</i>	1-4m		Yes	245
Sticky Hop-Bush	<i>Dodonaea viscosa ssp spathulata</i>	1.5-4m		Yes	245
Common Oak-bush	<i>Allocasuarina muelleriana</i>	1-3m	Yes	Yes	650
Honey Myrtle	<i>Melaleuca decussata</i>	2m	Yes	Yes	650
				Total	3580

Selection Guide Reference Used :

- Plant detailed species profiles are from the AHC Guide Native Habitat: Landscaping and Gardening Guide ref <https://www.ahc.sa.gov.au/environment/native-habitat-gardening>
- List of trees that can be planted near powerlines ref - <https://www.sa.gov.au/topics/energy-and-environment/safe-energy-use/powerline-safety> -

### The seedlings

- The seedlings will be specially propagated for the project using a reputable plant propagation nursery. They are to be weed, pest and disease free.
- Seedlings will be propagated in forestry tubes 50 x 50 x 120mm deep.

### Planting Time

- The planting will occur during the first spring after the construction on the site commences. Month is August or September.

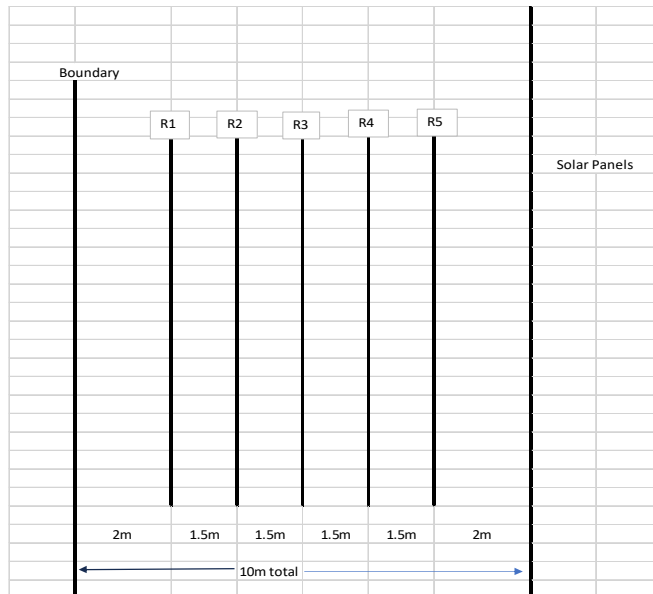
### Plant spacing

- Screen width = 10m
- Seedlings spacing is 1.5m between rows and between plants.



## Planting Design

This is the general layout design enabling mowing between boundary fence and planting.



## Establishment – (year of planting)

- Fence the area, where required, with a sheep proof fence to control possible livestock impacts.
- Pre weed control (July - weather dependant) strips x 2 each 2m wide using herbicide – glyphosate (as per label).
- Single furrow rip line (30cm deep) to aid planting.
- Second spray 2 weeks (weather dependant) prior to planting strips x 2 each 2m wide using herbicide – glyphosate (as per label)
- Each hole marked, planted using a Hamilton tree planter tool.
- Core flute tree guard used for each seedling.
- Every planted seedling to be watered with 10 litres of water at time of planting.

## Basic Layout planting plan

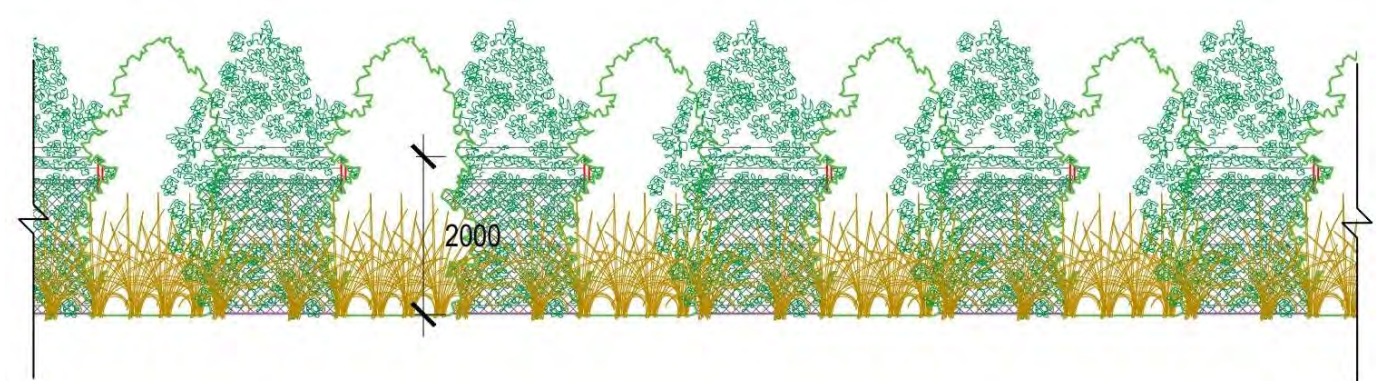
Refer to species list on previous page

The location of the existing power line will dictate which planting mix will be used.

- Blue is Mix 1
- Purple is Mix 2



## Typical Elevation





## Maintenance

- Inspect site and seedlings 1 month after planting and replace any losses, water if necessary.
- Inspect site, control weeds and water seedlings in October of the planting year.
- Inspect site and water seedlings in December of the planting year.
- Inspect site and water seedlings in February of the following year.
- Grass weed control (fusillade or similar) after opening rain.
- Inspect site and replace any losses in May of the year after planting.

## Long term

- Maintain the site for 3 years, controlling weeds, replacing lost plants and watering as required.

## Materials

### Propagation container Type



### Tree guard



Species selected  
List / Mix 1



Acacia acinacea



Calytrix tetragonia



Allocuarina mulleriana



Melaleuca decussata



List / Mix 2



*Allocasuarina verticillata*



*Eucalyptus cosmophylla*



*Hakea rostrata*



*Dodonaea viscosa*



*Acacia acinacea*



*Calytrix tetragonia*



*Allocasuarina mulleriana*



*Melaleuca decussata*

# TYPICAL DRIVEWAY DETAIL

Not to Scale

4000 mm

Property Boundary

**Driveway** - Width 4000 mm wide with 'wings' on each side (6000 mm radius).

**Pavement** - the road pavement will be a minimum 150 mm deep compacted rubble.

**Grade** - the driveway shall be constructed to the same level as the edge of pavement on the road through to the property boundary.

DRIVEWAY

TP = TANGENT POINT

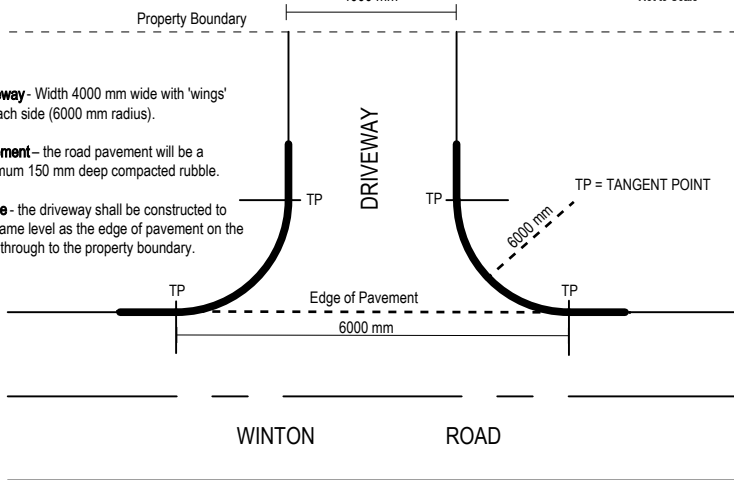
6000 mm

Edge of Pavement

6000 mm

WINTON

ROAD





**OFFICE USE ONLY**

Case Number: ERD-20-000169

Date Filed: 04 February 2021

FDN: 10



**ENVIRONMENT, RESOURCES AND DEVELOPMENT COURT OF SOUTH AUSTRALIA**

No. 169 of 2020

BETWEEN

MATTHEW SACKY  
Appellant

- and -

HAZE SACKY  
Second Appellant

- and -

GARRY NORTH  
Third Appellant

- and -

DREW JOYCE  
Fourth Appellant

- and -

ADELAIDE HILLS COUNCIL  
Respondent

- and -

TETRIS ENERGY PTY LTD  
Second Respondent

---

**ORDER**

---

Judicial Officer:  
Date of Order:

Commissioner Rumsby  
04 February 2021

THE COURT ORDERS that:

1. The appeal be allowed for the limited purpose of amending the conditions of development plan consent.
2. Condition 1 of the development plan consent granted by the Adelaide Hills Council on 21 October 2020 numbered 20/530/473 (**'development plan consent'**) be amended to delete the words "Birdwood Solar Farm amended Landscaping Plan prepared by Tetris Energy dated 14 September 2020 and date stamped by Council Amended 14 September 2020.
3. Condition 3 of the development plan consent be amended to include after the words "traffic and access" the words "including, but not restricted to the impact of dust and noise on nearby residents, damage to the existing road and safety issues arising out of the construction of the development".
4. Condition 8 of the development plan consent be amended to delete the words "first year to allow landscaping to become established and henceforth", and to replace them with the words "first three years or such other period (whether longer or shorter) until the vegetation is established and, thereafter,".
5. A reserved matter be added to the development plan consent in the words: "Pursuant to section 33(3) of the Development Act 1993, the following matter shall be reserved for further assessment, to the satisfaction of the Council, prior to the granting of full development approval: The Applicant shall engage a suitably qualified landscape architect and provide to the Council a landscaping plan that minimises the visual impact of the proposed development as viewed from the public sphere to the Council's reasonable satisfaction. The landscaping plan should, where possible, incorporate:
  - use of evergreen species
  - vegetation screening along the northern side of the solar array to reduce visibility along Warren Road
  - stock/wildlife exclusion fencing to protect newly planted vegetation and to aid establishment.
6. The Appeal is otherwise dismissed and the Council's decision to grant development plan consent to development number 20/530/473 is affirmed.



.....  
DEPUTY REGISTRAR



# Details of Representations

## Application Summary

Application ID	23025290
Proposal	Variation to the site layout plan for the Solar Farm development in DA 473/530/20 [Solar farm (4.98MW), comprising ground mounted solar arrays (maximum height 2.9m), battery storage containers (4MW), inverters, switchboards and associated decks, temporary site office, storage building & associated car parking, fencing (maximum height 2.3m), landscaping & signage]
Location	LOT 16 WARREN RD BIRDWOOD SA 5234

## Representations

### Representor 1 - Matthew Sackey

Name	Matthew Sackey
Address	PO Box 529 BIRDWOOD SA, 5234 Australia
Submission Date	10/11/2023 06:33 AM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
<b>Reasons</b>	

## Attached Documents

Matt-and-Haze-Sackey-Solar-farm-objection-Nov-23-1300013.pdf
--

## **Objection to the Birdwood Solar Farm**

Matt & Haze Sackey, 9<sup>th</sup> November 2023

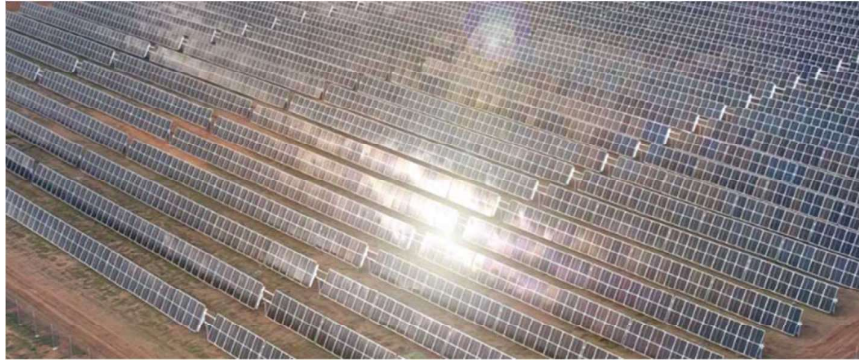
Once again, I raise my strenuous objections to the solar farm being proposed adjacent to the township of Birdwood. Clear guidelines in the then Development Plan requiring the “enhancement of the amenity and landscape of the region for the enjoyment of residents” have been seemingly disregarded “on balance” in favour a developer’s right to profit, regardless of the impact on residents, visitors, and our wider community. The amendments being proposed are significant changes to what was already an incredibly poor proposal. The proposed amendments not only make it significantly different (and worse) than the original development, but also walk-back multiple concessions that were included after feedback in the original approval process.

This new site layout will have a significant and detrimental impact on our enjoyment of our soon-to-be finished new home, far more so than the one it replaces. When the original Development was approved several years ago, we had no choice but to scrap the well-advanced plans we had to build on our property as the visual impact of the solar farm on our chosen house site was untenable. At a considerable cost we started from scratch, relocating our home to a less desirable position, designing and orienting the house to avoid overlooking the solar panels. It seems that all of that was for nothing – this new design sees both buildings and solar panels brought closer to our home and further south on the site (closer to Torrens Valley Rd), in full view from the large windows we installed to take in the scenery. We are now looking straight down the proposed site access road to industrial buildings and row after row of solar panels, clearly visible from our master bedroom, lounge room, dining room and kitchen.

The proposed planting, even when it grows in 5-10 years’ time, is not positioned between our house and the solar farm, so it doesn’t actually do anything to screen what will be an industrial eye sore. I’m also concerned about glare from the solar panels and how this will affect our home. Despite the previous developer’s assurances that there is no glare from their solar panels, I note that the images of projects completed by Yes Group shown on their web site show considerable reflection of light from theirs (see below). Have they given assurances that none of the 1547 solar panels will reflect glare like this into our home which is situated between them and the setting sun?







My wife and I have put everything we have into buying our property in this beautiful location and building our dream home. It is devastating to us that we are now facing the prospect of the beautiful rural outlook we designed our home around being replaced with a view of solar panels and industrial buildings. Surely, we should be offered some protection against a developer impacting our home and lives like this. As far as I know, nobody from the Developer or Council as visited our property to consider the impact this will have on our home.

I was one of the large number of concerned residents that appealed the original decision of the Council Assessment Panel in the Environment, Resources and Development Court. As part of this appeal, we entered into the mediation process in good faith and agreed several negotiated outcomes in return for ending our appeal. It seems to make a mockery of that appeal/mediation process if the developer can simply submit an amendment that eliminates conditions that were agreed and formalised by a Court Order (Case number ERD-20-000169 for reference). These include:

- The original design had a 100m set back from Torrens Valley Rd which was a concession made in response to the numerous concerns about the visual impact of the development on this scenic tourist route. This was a key consideration for us as we negotiated throughout the mediation process, but this has now been reduced back to the original location immediately adjacent to the road, with much greater visual impact for residents and visitors (and our home).
- We negotiated Condition 8 of the original approval to be amended to include watering for a longer period of up to 3 years to speed up the establishment of the screen planting. This has been reduced to 6 months in the amendments Landscaping Plan
- We negotiated that “a suitably qualified landscape architect” be engaged to prepare a landscape plan to minimise the visual impact of the development. I note that the Sydney based firm that did the landscape plan specialises in backyard swimming pools and domestic gardens in the affluent suburbs of Sydney. Did they even visit the site? Did they consider the topography of the area and the elevated position of the town and roadway? I had previously corresponded with a local experienced landscape architect who nominated several measures that could be employed to reduce the visual impact of the development, none of which appear in the landscape plan. We had hoped that the Council would hold the developer to a high standard on this point, but it appears not to be the case.
- The Court Order also included that the Landscaping Plan should incorporate stock and wildlife exclusion fencing to protect the new planting and aid establishment. Sheep fencing is mentioned but not drawn on the plan and there is no mention of wildlife exclusion fencing. Rabbits, hares, and kangaroos are common in this area and have caused significant damage to revegetation efforts on my own property immediately over the road from the development site. Leaving out exclusion fencing will mean even longer before the plantings offer any screening value, once again having greater visual impact to the detriment of our community.

The whole Court process was time consuming and stressful and ultimately, we gave up our right of appeal to achieve concessions that I feel should have been required by the Council from the outset. The Developer has now reneged on these items we agreed, and we end up with a worse development with no right of appeal. This surely can't be how these planning processes are designed to work.

Another small point I wanted to raise was regarding the removal of trees. I see that there a couple of mature trees in the middle of the solar panel arrays that would be removed (I assume, due to solar panels being marked on the plan over the top of them). More worrying to me is that the landscape plan shows the perimeter security fence going through the middle of some mature eucalypts at the North West corner of the development site. This fence is drawn in a slightly different location on Preliminary Site Layout plan, so I hope that this is sloppy drawing by the landscape architect and these trees will not be removed. As a committee member of the local Landcare group I am keenly aware of the priceless value of mature habitat trees like this in riparian areas and their removal would alone be reason not to approve this development.

I would also like to re-raise one of my original concerns with this development that remains today. I've heard developers and planning professionals make inexplicable comparisons between this solar farm and things like vineyards, fruit orchards, farm sheds and even bird netting that exist in a rural setting like ours. I say inexplicable because these are a normal part of primary production compared to an enormous industrial product that a solar farm is. It is unfathomable that a large-scale industrial installation like this would be considered by the council, particularly as it is on a significant tourist route, located just 200m from a township and is in a location overlooked by family homes. Everyone agreed that the development as originally approved can't be hidden, and the finished product will be highly visible in the landscape. This amended proposal is even worse than the original in terms of the impact it has on the idyllic rural outlook that both residents and locals have a right to enjoy. Approval of this development will see a significant and permanent destruction of the beautiful, idyllic landscape that attracts both residents and visitors to our community.

A representative from Yes Group recently rang my wife to tell her that there was an amendment to the original development application. They made it clear on this call that this change was a done deal, and that there was nothing we could do to stop it going ahead. That begs the question of what value there is in lodging a submission like this when the outcomes appear to be a foregone conclusion. I can only beg and implore you to make the decision to protect us and the community from the impact that this development will have on our home and our community by denying approval for this horrendous development.



## Representations

### Representor 2 - Rhiannon North

Name	Rhiannon North
Address	1977 Warren Rd BIRDWOOD SA, 5234 Australia
Submission Date	10/11/2023 06:33 AM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I oppose the development

#### Reasons

In 2020 a group of concerned Birdwood residents lodged an appeal in the Environment, Resources and Development Court against the approval granted by the Adelaide Hills Council and the Council Assessment Panel (CAP) for a Solar Power Plant to be built on the outskirts of our township. Through the Court mediation process, we have arrived at an outcome that concludes the appeal and has achieved much better mitigation of the visual impact that the development will have on local residents and visitors to our area. While we are pleased to have achieved a reduction in the visual impact that this development will have on our community, we feel we have been let down by the Council, the CAP and the Planning process. It is our view that residents should not have had to append our own time, money and effort to achieve something that the Council and CAP should have insisted on in the first place for a non-complying development of this nature. Even with the concessions we have achieved through the Court mediation process, this industrial development will still be an eyesore in our community for decades to come, and, in our view, is not appropriate development in the picturesque rural landscape immediately adjacent to our town. While everyone in our group is supportive of renewable energy, we still maintain that this is not the right place for it and we are disappointed that the Council and CAP have allowed a development that is completely out of character with the rural primary production area it will be taking over. I can not in good faith support a development that should not have been approved in the first place. Some of the amendments seem to lessen the visual impact and should be included if this development will be going ahead anyway. HOWEVER, this amendment brings the solar panels even closer to the main entrance to Birdwood a mere 20m as opposed to approx 100 m when consent was granted. This is NOT the entrance to our town that we want. Please do not let this part of the amendment be approved.

### Attached Documents

ABN 91 376 720 132

PO Box 96  
BEACHPORT SA 5280

M: 0418 838 152  
E: frank@fbcs.com.au  
W: www.fbcs.com.au

27 November 2023

Ms Melanie Scott  
Senior Statutory Planner  
Adelaide Hills Council  
PO Box 44  
WOODSIDE SA 5244

Dear Melanie

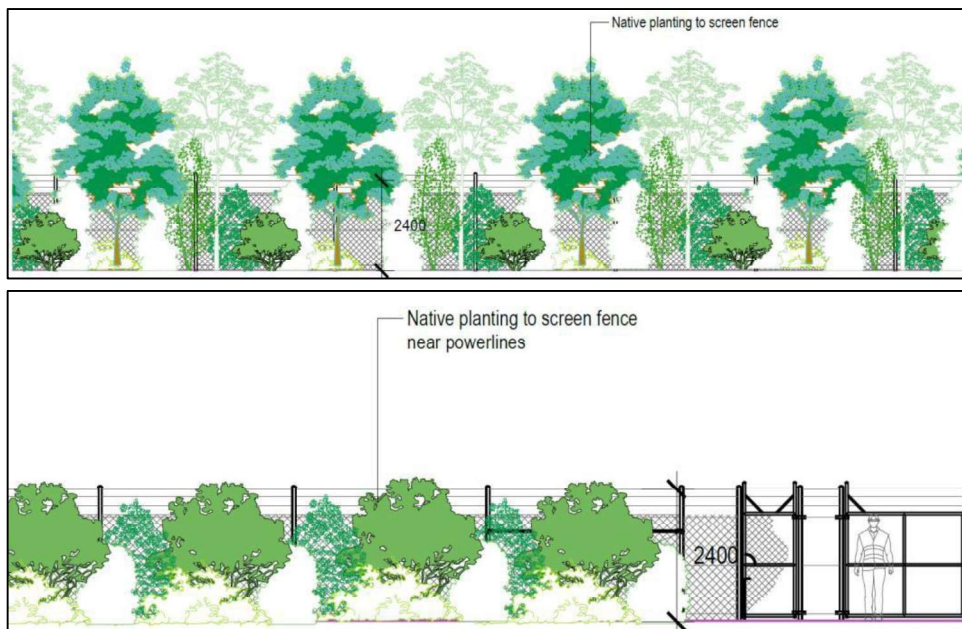
<b>Development Number:</b>	23025290
<b>Applicant:</b>	Yes Group Pty Ltd
<b>Location:</b>	Lot 16 Torrens Valley Road, Birdwood SA 5234
<b>Proposed Development:</b>	Variation to the site layout plan for the Solar Farm development in DA 473/530/20

As previously advised, I am acting for the YES Group in relation to the proposed Birdwood Solar Farm development at Lot 16 Torrens Valley Road, Birdwood as contained in DA 23025290.

We acknowledge receipt of copies of the two representations submitted to Council during the public notification period of our Development Application. In response to the matters raised in the representations we advise as follows –

1. Visual Amenity – we are of the view that the potential for visual impacts arising from the solar farm development are significantly mitigated by the extensive landscaping to be established around the eastern, southern and western perimeters.

The plantings include a range of trees & shrubs with a mature height ranging from 1-2 metres to 5-8 metres high and is designed to provide a full screening effect to the solar farm when viewed from the public realm – see typical elevations below from the landscaping plan.





Ms Melanie Scott  
Senior Statutory Planner  
Adelaide Hills Council  
15 November 2023  
Page | 3

Further the footprint of the solar farm has been reduced from 13 hectares to 10 hectares and the number of tracker stands has been reduced from 1,800 to 1,547 and the number of solar panels has reduced from 13,000 to 12,150 modules.

2. Landscaping – the landscaping plan submitted as part of our Development Application has been prepared by a qualified landscape architect and as described above, the range of trees & shrubs to be established around the perimeter of the solar farm have a range of mature heights that seeks to minimise the potential visual impacts of the solar farm development.

- Plant Establishment – the Court Order of 4 February 2021 states – “*Condition 8 of the development plan consent be amended to delete the words “first year to allow landscaping to become established and henceforth”, and to replace them with the words “first three years or such other period (whether longer or shorter) until the vegetation is established and, thereafter,”.* (My underlining)

We will comply with amended condition 8 as outlined in the Court Order dated 4 February 2021.

- Planting Stock – the trees identified in the Plant Schedule – Native Mix Type 2 (Drooping Sheoak and Cup Gum) will be 3 year old plants and not tube stock as identified in the landscaping plan. This will provide a more immediate screening effect at the time of planting when viewed from the public realm.
  - Watering – all trees and shrubs planted on the site will be watered by a reticulated dripper system to ensure their establishment and survival.
  - Maintenance – the landscaping plantings will be attended regularly by the site maintenance staff to ensure their establishment and survival.
3. Fencing – the Court Order dated 4 February 2021 provided a Reserved matter that stated (in part) as follows – “*The landscaping plan should, where possible, incorporate: .... stock/wildlife exclusion fencing to protect newly planted vegetation and to aid establishment.*”

The landscaping plan submitted with the variation Development Application shows trees & shrubs are all to be planted with stakes and tree guards to protect the new plantings and to aid in their establishment.

The grazing of livestock in the landscaped area surrounding the solar farm will not be undertaken until the vegetation is appropriately established, with vegetation maintained by mechanical means (ie: mowing / slashing).

4. Setback – the solar array has been amended to provide a greater setback to Torrens Valley Road with a minimum setback distance of 33.5 metres being achieved. An amended site plan for the solar farm is attached.

Given the extensive landscaping proposed to be established around the perimeter of the solar farm, the setback distances to the adjoining roads are considered appropriate and will not negatively impact on the visual amenity when viewing from the public realm.

5. Native Vegetation – I can confirm there is no native vegetation proposed to be cleared as part of the solar farm development. There is an exclusion zone provided around the two native trees within the solar array area as shown on the amended site plan attached.
6. Glare – solar panels are designed to absorb the energy from sunlight and not to reflect it, with solar panels coated in an anti-reflective paint to minimise any reflectivity and the potential for negative impacts on adjoining properties.

Ms Melanie Scott  
Senior Statutory Planner  
Adelaide Hills Council  
15 November 2023  
Page | 4

7. ERD Court Appeal – our Development Application is seeking a variation to the site layout plan for the Solar Farm development in DA 473/530/20 – comprising ground mounted solar arrays (maximum height 2.9m), battery storage containers (4MW), inverters, switchboards and associated decks, temporary site office, storage building & associated car parking, fencing (maximum height 2.3m), landscaping & signage.

Our Development Application also seeks to address the matters detailed in the Court Order dated 4 February 2021.

It should also be noted, the conditions of Development Plan Consent granted by Council for DA 473/530/20 on 21 October 2020 and varied by the Court Order dated 4 February 2021 remain in effect if Planning Consent approval is granted for our variation Development Application and subject to any other conditions the relevant authority consider appropriate if granting approval.

If you require any further information in relation to this project, please do not hesitate to contact me at your convenience.

Yours sincerely



F.N. (Frank) Brennan PSM MPIA  
Accredited Planning Professional APP20190029  
Principal Consultant

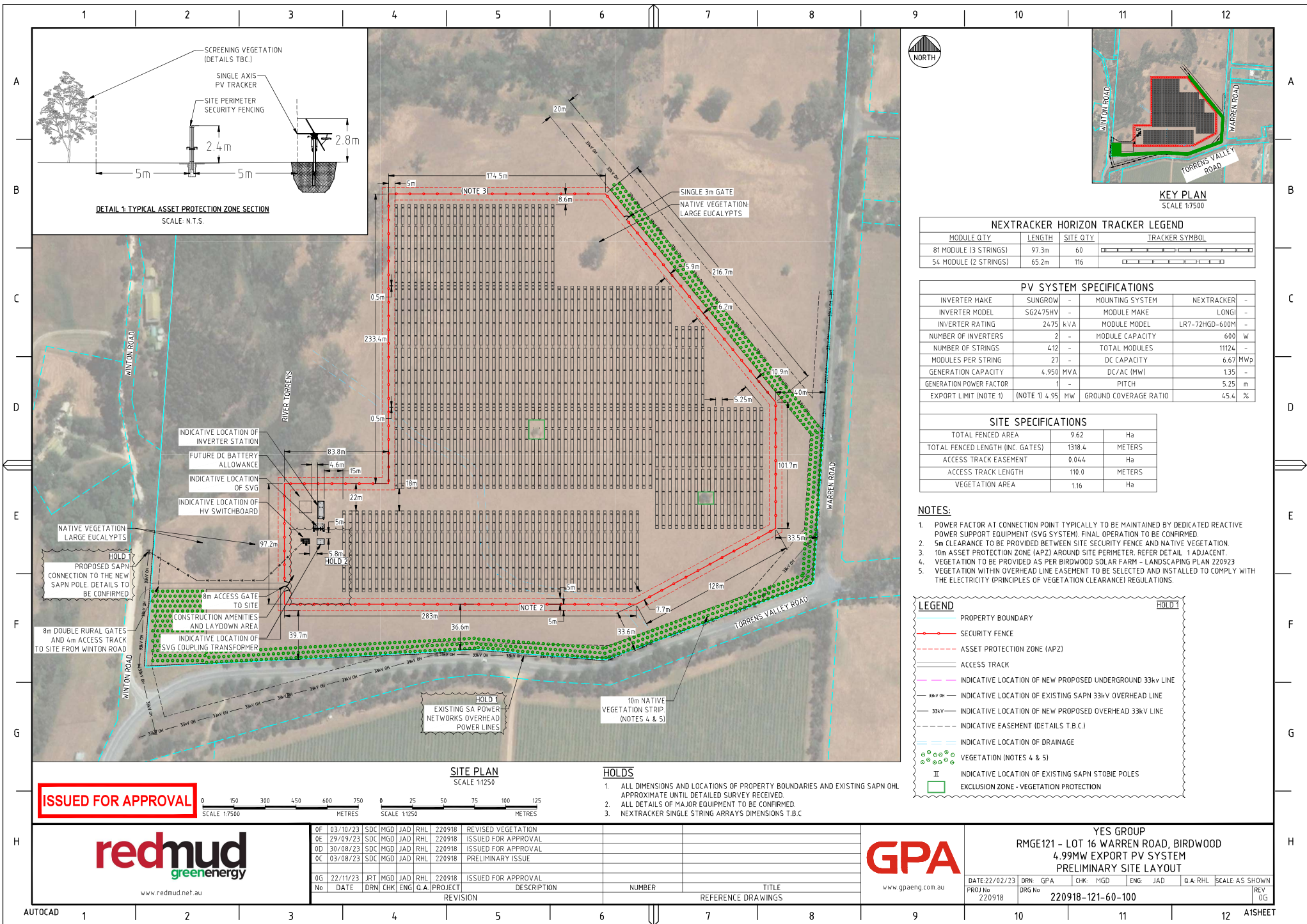
**FRANK BRENNAN CONSULTING SERVICES**



ACCREDITED  
PROFESSIONAL

*Planning, Development and Infrastructure Act 2016*





13 October 2023

**DA 23025290 – Birdwood Solar Farm & Associated Infrastructure  
Lot 16 Torrens Valley Road, Birdwood SA 5234**

**SUMMARY OF PROPOSED AMENDMENTS TO APPROVED PLANS**

The YES Group is proposing to make the following amendments / variations to the approved plans for the proposed Birdwood Solar Farm development at Lot 16 Torrens Valley Road, Birdwood as contained in DA 23025290 (formerly DA 473/530/20).

**1. Site Area –**

The site area to be occupied by the Solar Farm has been reduced from 13 hectares to 10 hectares.

**2. Capacity of the Solar Farm –**

The capacity of the Solar Farm has reduced slightly from 4.98MW to a 4.95MW facility.

**3. Solar Array Configuration –**

The number of tracker stands has reduced from 1,800 to 1,547 and the number of solar panels has reduced from 13,000 to 12,150 modules.

**4. Battery Storage –**

The battery storage facility has been reduced from 5 units to 2 units. The sized of the respective units has also reduced to 2.4m x 12m x 2.7m high.

**5. Inverters –**

There will now be 1 inverter, being a Sungrow SC4950 Inverter with dimensions of 2.4m x 12m x 2.7m high (40ft container) – this is a reduction in the number of inverters from 2 to 1.

**6. Temporary Site Office and Maintenance Storage Area –**

There is no change to the temporary site office and maintenance storage area. These facilities will be only required during the 15 week construction period.

**7. Landscaping –**

The landscaping to be provided has increased significantly on the western, eastern & southern boundaries – the additional landscaping has been included to provide screening from the public realm on the adjoining roads.

A Landscaping Plan (Screen Planting / Revegetation Plan) prepared by Space Landscape Designs provides the extent and details of the proposed plantings & revegetation to be undertaken on the site to screen the solar farm from the public realm.

**8. Fencing –**

The proposed 2.4m high security mesh fence is to use black coated PVC mesh as described in the Landscaping Plan as follows – *“New fence to be black PVC coated chain mesh. The black colour is most suitable as it blends into the surrounding environment and appears to disappear due to black absorbing the light rather than reflecting it. The open style will also let light through so it will not appear as a solid structure.”*



## 9. Signage –

There are no proposed changes to the location of signage at the entrance gate (including project details, site contact, emergency details and site safety considerations).

## 10. Site Access –

Access to the site is to be gained only from Winton Road, with a new access crossover to be constructed from Winton Road into the site approximately 55 metres north of the southern property boundary. The access crossover is to be constructed as a 4 metre wide compacted rubble crossover & road.

A formal application for Council approval will be lodged pursuant to section 221 of the Local Government Act 1999 for an alteration to a public road for the installation of the proposed crossover. With a swale drain existing along Winton Road, the proposed new access crossover will be installed in accordance with Council's Rural Piped Crossover Driveway specification.

## 11. Watercourse –

No pylons are to be constructed within the minor watercourse so as to cause any impediment to water flows. The watercourse will be surveyed to determine its extent & alignment during the preparation of the Building Consent application to assist in finalising the pylon piling layout to ensure there are no pylons placed in the watercourse.

## 12. Grid Connection –

The connection point of the solar farm to the electricity grid has been relocated to Winton Road away from the overhead electricity transmission line along Torrens Valley Road.

## 13. Asset Protection Zone (APZ) –

A 10 metre site asset protection zone is to be maintained around the perimeter of the solar farm to provide both protection to the solar farm and access in the event of an emergency event.

Yours sincerely



F.N. (Frank) Brennan PSM MPIA

Accredited Planning Professional APP20190029

Principal Consultant

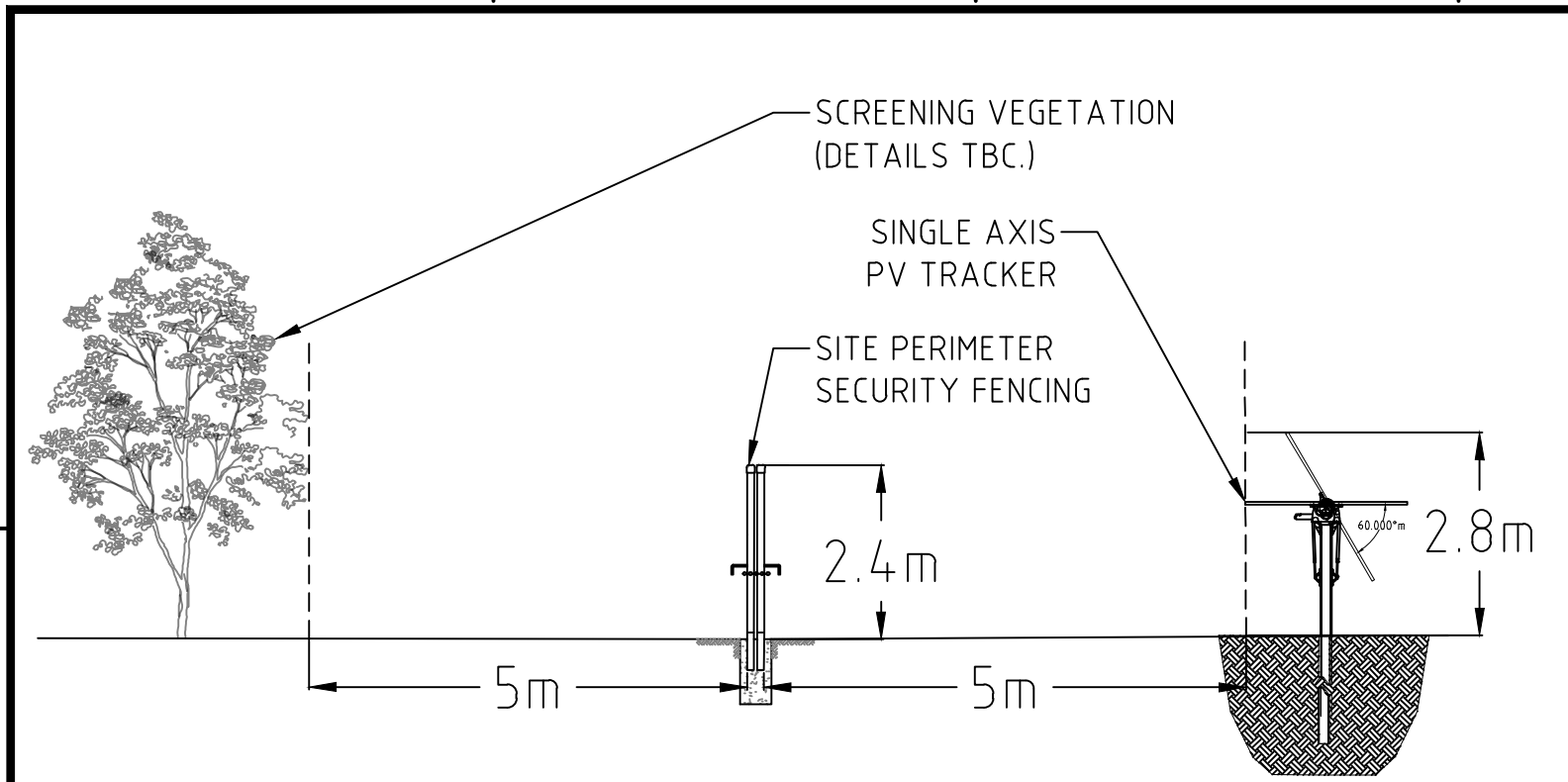
**FRANK BRENNAN CONSULTING SERVICES**



ACCREDITED  
PROFESSIONAL

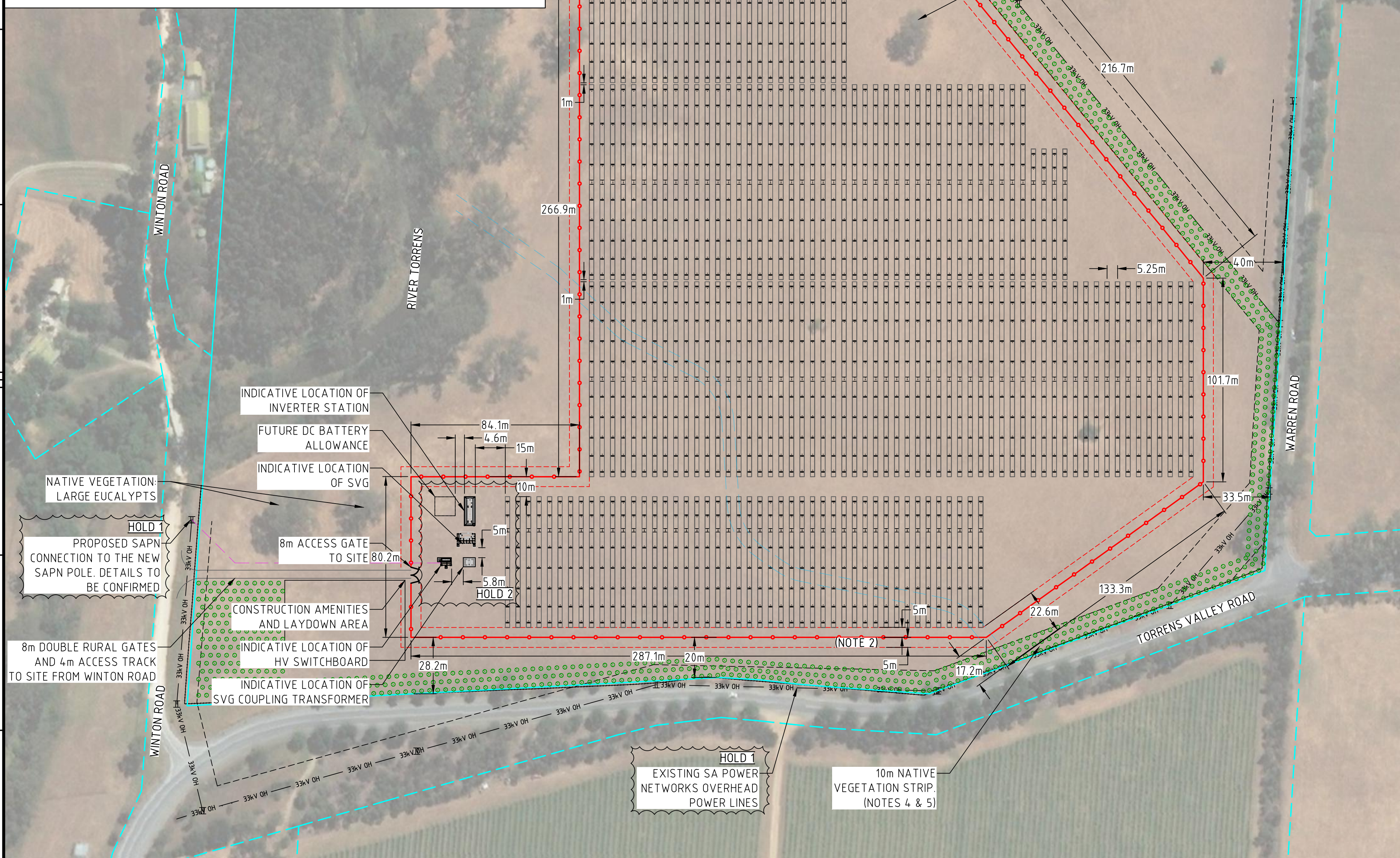
Planning, Development and Infrastructure Act 2016





DETAIL 1: TYPICAL ASSET PROTECTION ZONE SECTION

SCALE: N.T.S.



SITE PLAN

SCALE 1:1250

HOLDS

1. ALL DIMENSIONS AND LOCATIONS OF PROPERTY BOUNDARIES AND EXISTING SAPN OHL APPROXIMATE UNTIL DETAILED SURVEY RECEIVED.
2. ALL DETAILS OF MAJOR EQUIPMENT TO BE CONFIRMED.
3. NEXTRACKER SINGLE STRING ARRAYS DIMENSIONS T.B.C

ISSUED FOR APPROVAL

SCALE 1:7500  
0 150 300 450 600 750  
METRES

SCALE 1:1250  
0 25 50 75 100 125  
METRES

redmud  
greenenergy

www.redmud.net.au

REV	DATE	DRN	CHK	ENG	Q.A.	PROJECT	DESCRIPTION	NUMBER	TITLE
0F	03/10/23	SDC	MGD	JAD	RHL	220918	REVISED VEGETATION		
0E	29/09/23	SDC	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
0D	30/08/23	SDC	MGD	JAD	RHL	220918	ISSUED FOR APPROVAL		
0C	03/08/23	SDC	MGD	JAD	RHL	220918	PRELIMINARY ISSUE		
0B	22/02/23	ABR	MGD	JAD	RHL	220918	PRELIMINARY ISSUE		
0A	10/02/23	GPA	MGD	JAD	RHL	220918	PRELIMINARY ISSUE		
No	DATE	DRN	CHK	ENG	Q.A.	PROJECT	DESCRIPTION	NUMBER	TITLE

REVISION

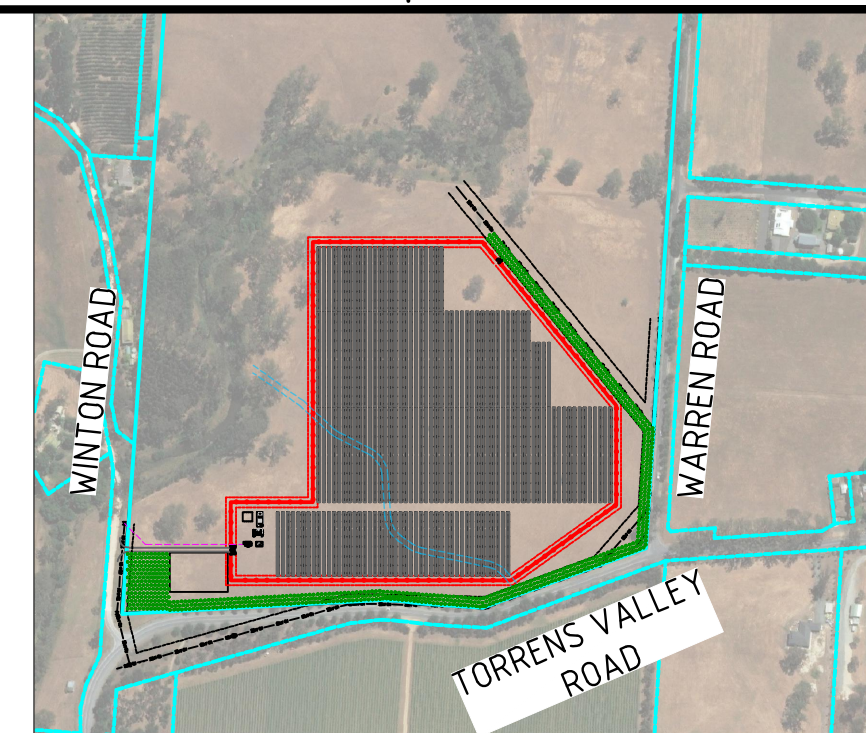
REFERENCE DRAWINGS

GPA

www.gpaeng.com.au

YES GROUP  
RMGE121 - LOT 16 WARREN ROAD, BIRDWOOD  
4.99MW EXPORT PV SYSTEM  
PRELIMINARY SITE LAYOUT

DATE: 22/02/23	DRN: GPA	CHK: MGD	ENG: JAD	Q.A: RHL	SCALE: AS SHOWN
PROJ No: 220918	DRG No: 220918-121-60-100				REV 0F



KEY PLAN

SCALE 1:7500

NEXTRACKER HORIZON TRACKER LEGEND

MODULE QTY	LENGTH	SITE QTY	TRACKER SYMBOL
81 MODULE (3 STRINGS)	97.3m	100	
54 MODULE (2 STRINGS)	65.2m	75	

PV SYSTEM SPECIFICATIONS

INVERTER MAKE	SUNGROW	-	MOUNTING SYSTEM	NEXTRACKER	-
INVERTER MODEL	SG2475HV	-	MODULE MAKE	LONGI	-
INVERTER RATING	2475	kVA	MODULE MODEL	LR5-72HBD-545M	-
NUMBER OF INVERTERS	2	-	MODULE CAPACITY	545	W
NUMBER OF STRINGS	450	-	TOTAL MODULES	12150	-
MODULES PER STRING	27	-	DC CAPACITY	6.62	MWp
GENERATION CAPACITY	4.950	MVA	DC/AC (MW)	1.34	-
GENERATION POWER FACTOR	1	-	PITCH	5.25	m
EXPORT LIMIT (NOTE 1)	(NOTE 1) 4.95	MW	GROUND COVERAGE RATIO	43	%

SITE SPECIFICATIONS

TOTAL PROPERTY AREA	136.34	ACRES	55.17	Ha
TOTAL FENCED AREA	24.50	ACRES	9.91	Ha
VEGETATION AREA	2.86	ACRES	1.16	Ha

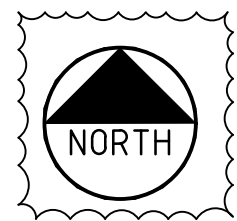
NOTES:

1. POWER FACTOR AT CONNECTION POINT TYPICALLY TO BE MAINTAINED BY DEDICATED REACTIVE POWER SUPPORT EQUIPMENT (SVG SYSTEM). FINAL OPERATION TO BE CONFIRMED.
2. 5m CLEARANCE TO BE PROVIDED BETWEEN SITE SECURITY FENCE AND NATIVE VEGETATION.
3. 10m ASSET PROTECTION ZONE (APZ) AROUND SITE PERIMETER. REFER DETAIL 1 ADJACENT.
4. VEGETATION TO BE PROVIDED AS PER BIRDWOOD SOLAR FARM - LANDSCAPING PLAN 220923
5. VEGETATION WITHIN OVERHEAD LINE EASEMENT TO BE SELECTED AND INSTALLED TO COMPLY WITH THE ELECTRICITY (PRINCIPLES OF VEGETATION CLEARANCE) REGULATIONS.

LEGEND

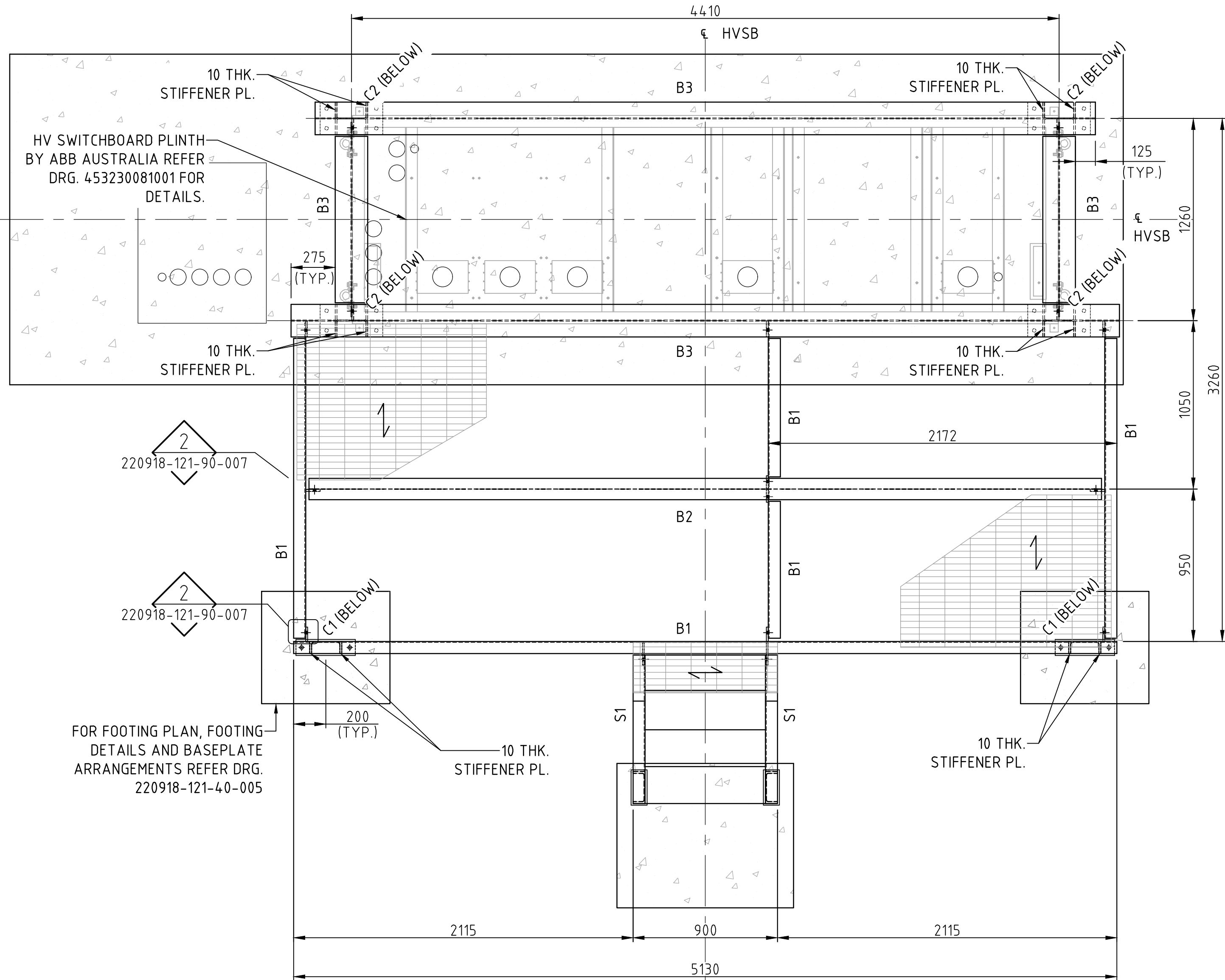
	PROPERTY BOUNDARY
	SECURITY FENCE
	ASSET PROTECTION ZONE (APZ)
	ACCESS TRACK
	INDICATIVE LOCATION OF NEW PROPOSED UNDERGROUND 33kV LINE
	INDICATIVE LOCATION OF EXISTING SAPN 33kV OVERHEAD LINE
	INDICATIVE LOCATION OF NEW PROPOSED OVERHEAD 33kV LINE
	INDICATIVE EASEMENT (DETAILS T.B.C.)
	INDICATIVE LOCATION OF DRAINAGE
	VEGETATION (NOTES 4 & 5)
	INDICATIVE LOCATION OF EXISTING SAPN STOBIE POLES





HOLD 2

STEELWORK SCHEDULE		
MARK NO.	MEMBER	REMARKS
B1	200 PFC	PLATFORM BEAM
B2	200 UB 22	PLATFORM SUPPORT BEAM
B3	200 UC 46	HVSB BEAM
C1	200 PFC	PLATFORM COLUMN
C2	200 UC 46	HVSB COLUMN
S1	200 PFC	STRINGER
BR1	100x10 EA	BRACING



PLAN  
SCALE 1:20

NOTES:

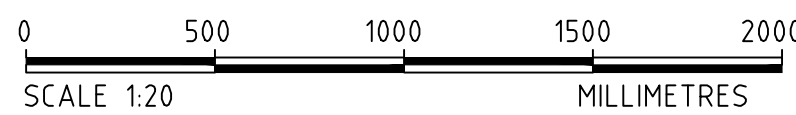
- FOR STRUCTURAL STEELWORK NOTES REFER TO DRAWING 220918-121-90-005.
- FOR HV SWITCHBOARD CONTAINER DETAILS, REFER TO THE PROVIDED VENDOR DRAWING.
- FIXING OF HV SWITCHBOARD CONTAINER TO THE SUPPORTING STEEL STRUCTURE IS TO BE UNDERTAKEN BY OTHERS AS PER TIE DOWN DETAIL FROM DRG. 220918-121-90-007.
- FOR FOOTING DETAILS AND BASEPLATE ARRANGEMENTS, REFER TO DRAWING 220918-121-40-005.

LEGEND:

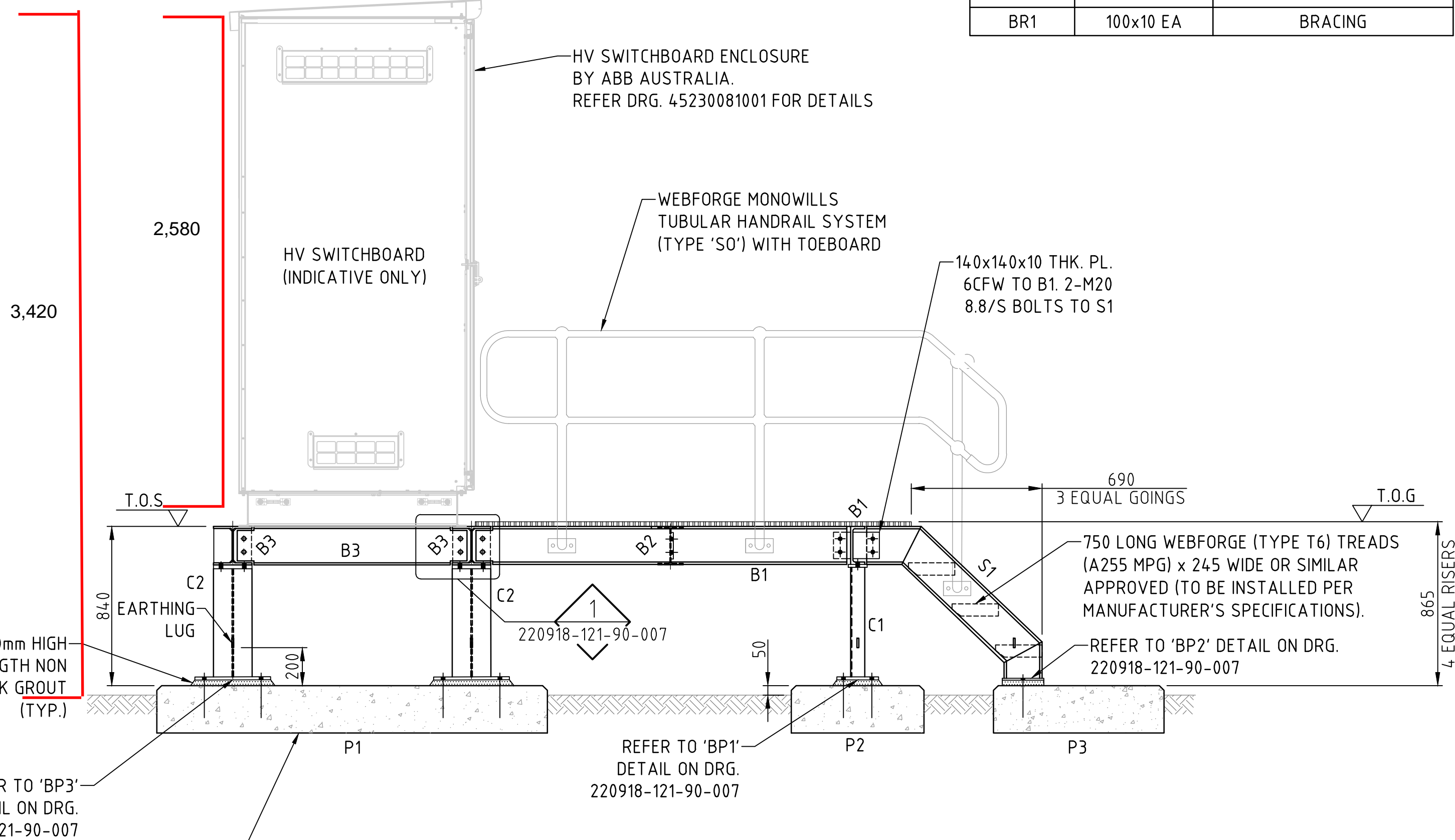
T.O.S TOP OF STEEL  
T.O.G TOP OF GRATING

HOLDS:

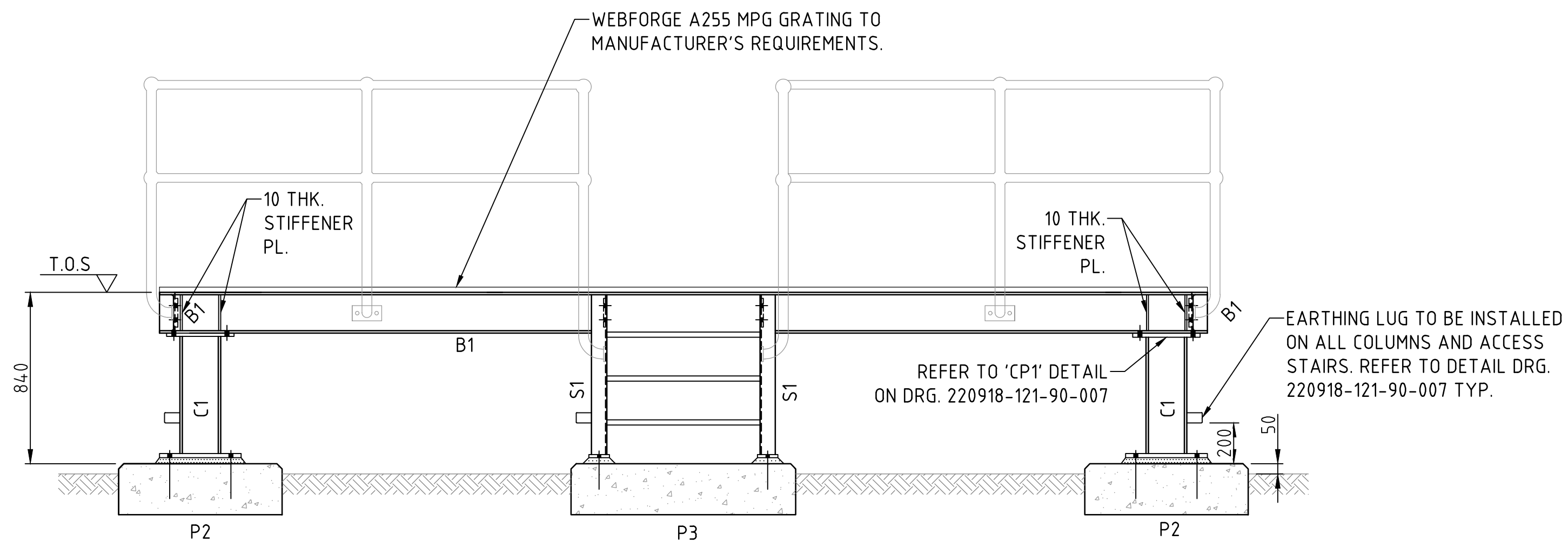
- STRUCTURAL DESIGN TO BE CONFIRMED UPON FINAL VENDOR DESIGN OF ELECTRICAL EQUIPMENT. HOLDS SHALL BE RESOLVED PRIOR TO CONSTRUCTION ELSE CONFIRM WITH DESIGN ENGINEER.
- ORIENTATION TO BE CONFIRMED BASED ON FINAL SITE LAYOUT.



ISSUED FOR APPROVAL



WEST ELEVATION  
SCALE 1:20



SOUTH ELEVATION  
SCALE 1:20

redmud  
greenenergy

www.redmud.net.au

REVISION		REFERENCE DRAWINGS	
0A	31/08/23	220918-121-90-007	PLATFORM STEELWORK DETAILS
No	DATE	220918-121-40-005	FOOTING LAYOUT PLAN AND DETAILS
		220918-121-90-005	STRUCTURAL STEELWORK NOTES
			TITLE
			NUMBER
			DESCRIPTION
			PROJECT
			Q.A.
			ENG
			CHK
			YMT
			DG
			AG
			DRN
			GPA
			DATE:18/08/23
			DRN: GPA
			CHK: YMT
			ENG: DG
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			REV 0A
			220918-121-90-006
			PROJ No 220918
			DRG No

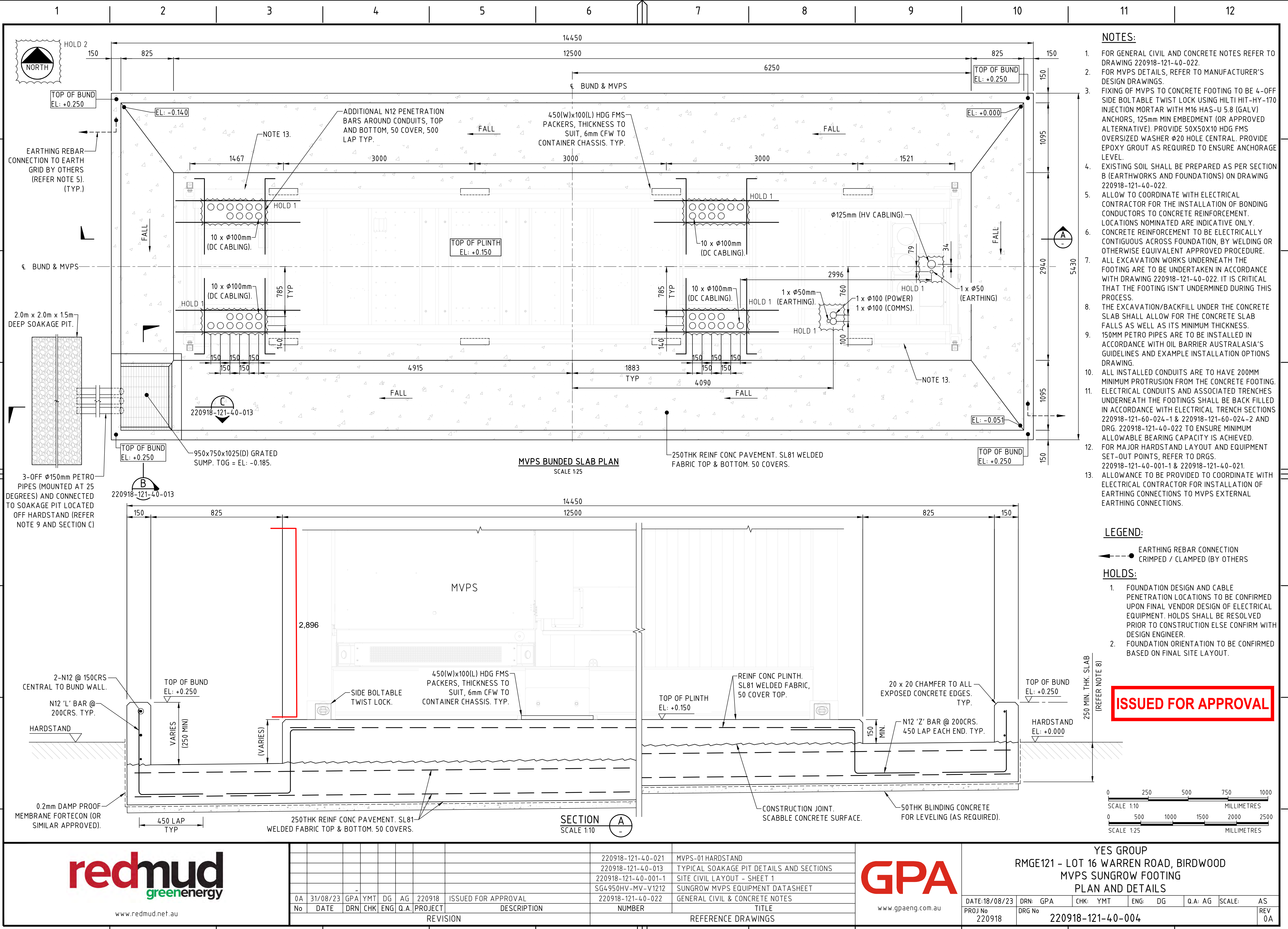
GPA

www.gpaeng.com.au

YES GROUP  
RMGE121 - LOT 16 WARREN ROAD, BIRDWOOD  
HV SWITCHBOARD PLATFORM  
PLAN AND ELEVATIONS

DATE:18/08/23	DRN: GPA	CHK: YMT	ENG: DG	Q.A: AG	SCALE: AS	REV 0A
PROJ No 220918	DRG No	220918-121-90-006				











LEGEND

PROPERTY BOUNDARY

ASSET PROTECTION ZONE

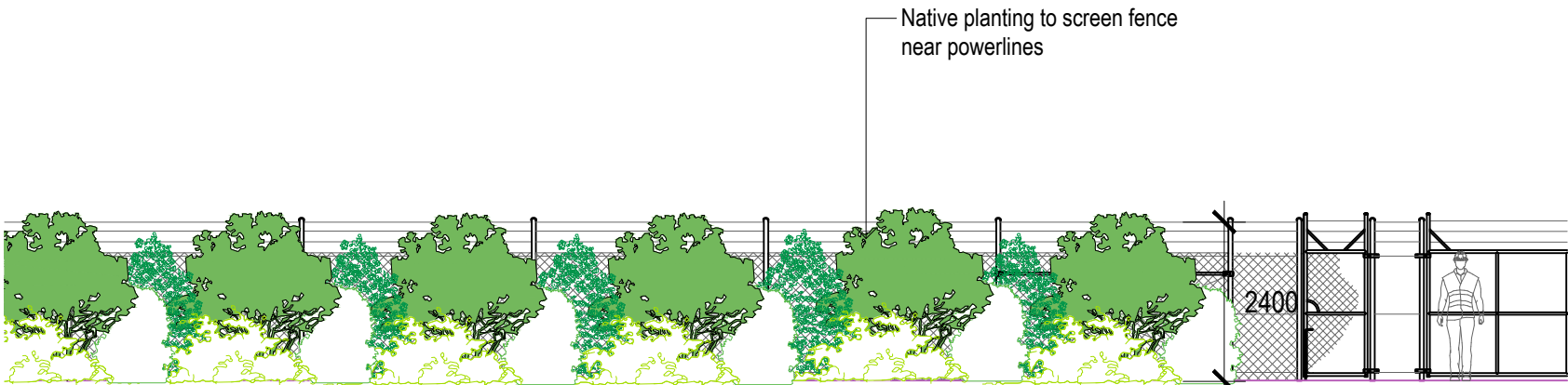
SECURITY FENCE

NATIVE PLANT SCREEN PLANTING

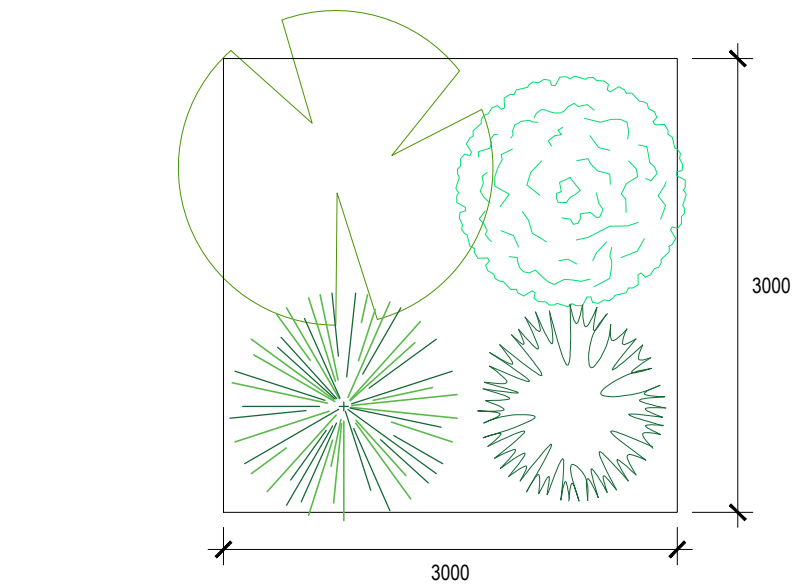
NATIVE MIX TYPE 1

NATIVE MIX TYPE 2

PROPOSED PLANT SCHEDULE - NATIVE MIX TYPE 1						
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE	ESTIMATED TIME TO MATURITY
AL	SHRUBS					
AM	ACACIA ACINACEA	WREATH WATTLE	405	1-2m	tube	3-4 years
CT	ALLOCAUARINA MUELLERIANA	COMMON OAK-BUSH	405	1-3m	tube	4 years
ME	CALYTRIX TETRAGONA	FRINGE MYRTLE	405	1-2m	tube	3-4 years
	MELALEUCA DECUSSATA	HONEY MYRTLE	405	2m	tube	3-4 years

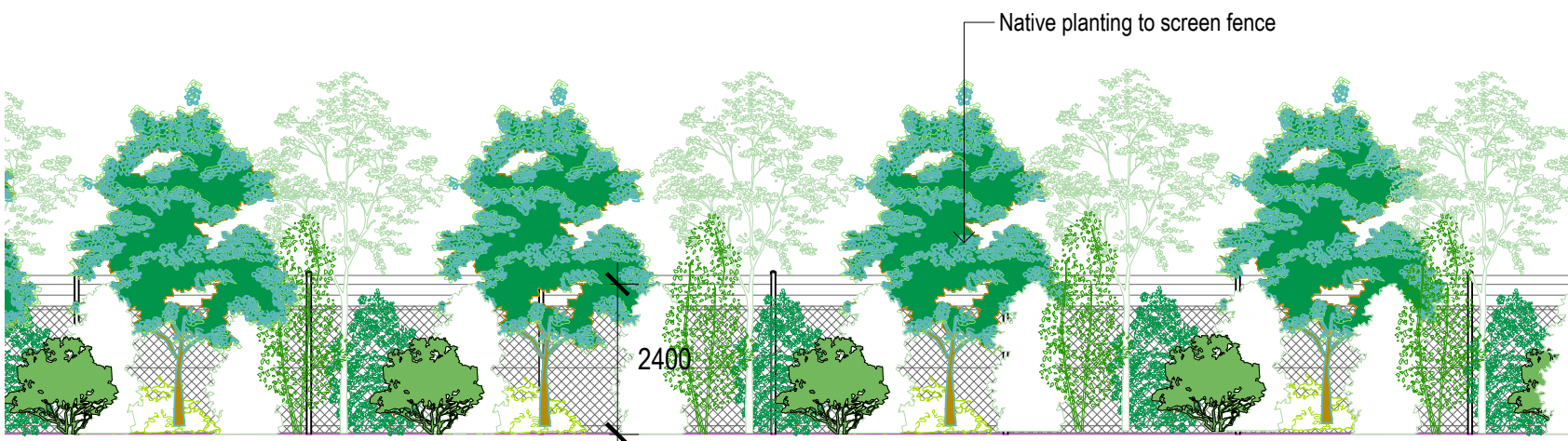


NATIVE PLANT MIX TYPE 1 - TYPICAL ELEVATION  
SCALE 1:100



NATIVE PLANT MIX TYPE 1 - MATRIX  
SCALE 1:50

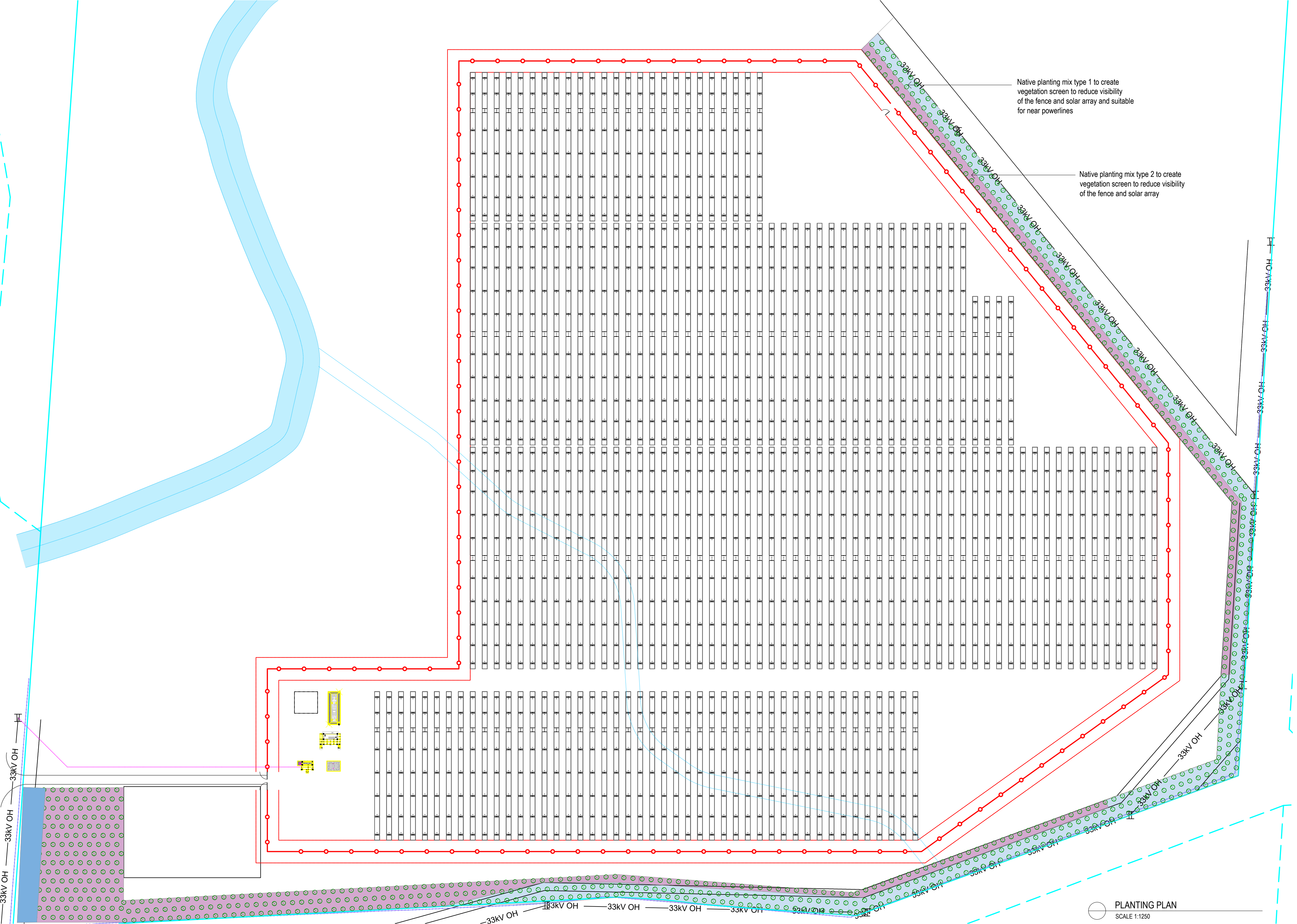
PROPOSED PLANT SCHEDULE - NATIVE MIX TYPE 2						
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE	ESTIMATED TIME TO MATURITY
AV	TREES					
EC	ALLOCAUARINA VERTICILLIATA	DROOPING SHEOAK	245	5-8m	tube	5-6 years
	EUCALYPTUS COSMOPHYLLA	CUP GUM	245	5-8m	tube	6-7 years
AL	SHRUBS					
AM	ACACIA ACINACEA	WREATH WATTLE	245	1-2m	tube	3-4 years
CT	ALLOCAUARINA MUELLERIANA	COMMON OAK-BUSH	245	1-3m	tube	4 years
DV	CALYTRIX TETRAGONA	FRINGE MYRTLE	245	1-2m	tube	3-4 years
HR	DODONAEA VISCOSA SSP SPATHULATA	STICKY HOP-BUSH	245	1.5-4m	tube	3-4 years
ME	HAKEA ROSTRATA	BEAKED HAKEA	245	1-4m	tube	4 years
	MELALEUCA DECUSSATA	HONEY MYRTLE	245	2m	tube	3 years



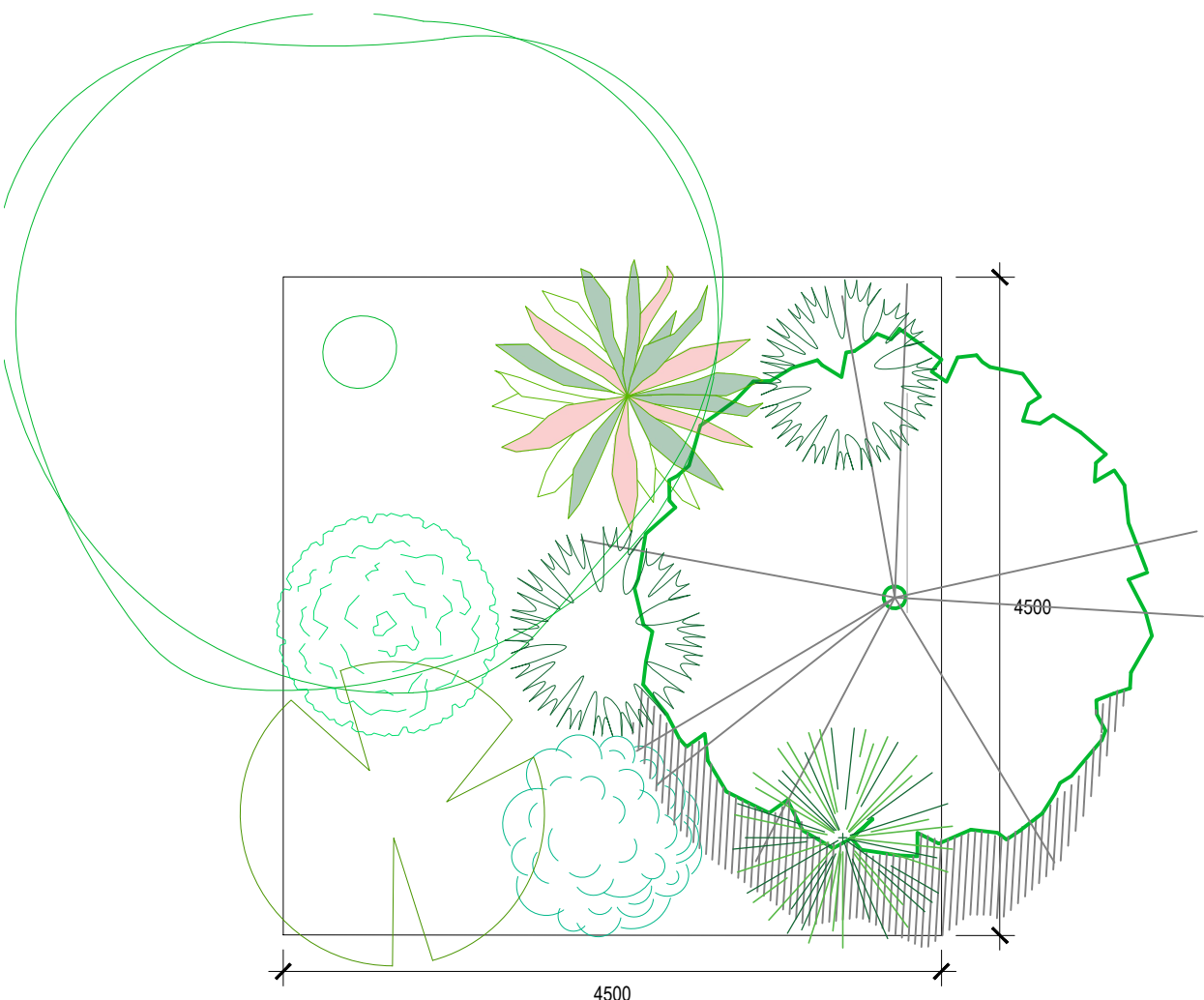
NATIVE PLANT MIX TYPE 2 - TYPICAL ELEVATION  
SCALE 1:100

Rev.	Date	Issue	Checked
A	11/10/23	Preliminary Issue	AE
B	11/10/23	DA Issue	AE

Note - New fence to be black PVC coated chain mesh.  
The black colour is most suitable as it blends into the surrounding environment and appears to disappear due to black absorbing the light rather than reflecting it.  
The open style will also let light through so it will not appear as a solid structure.

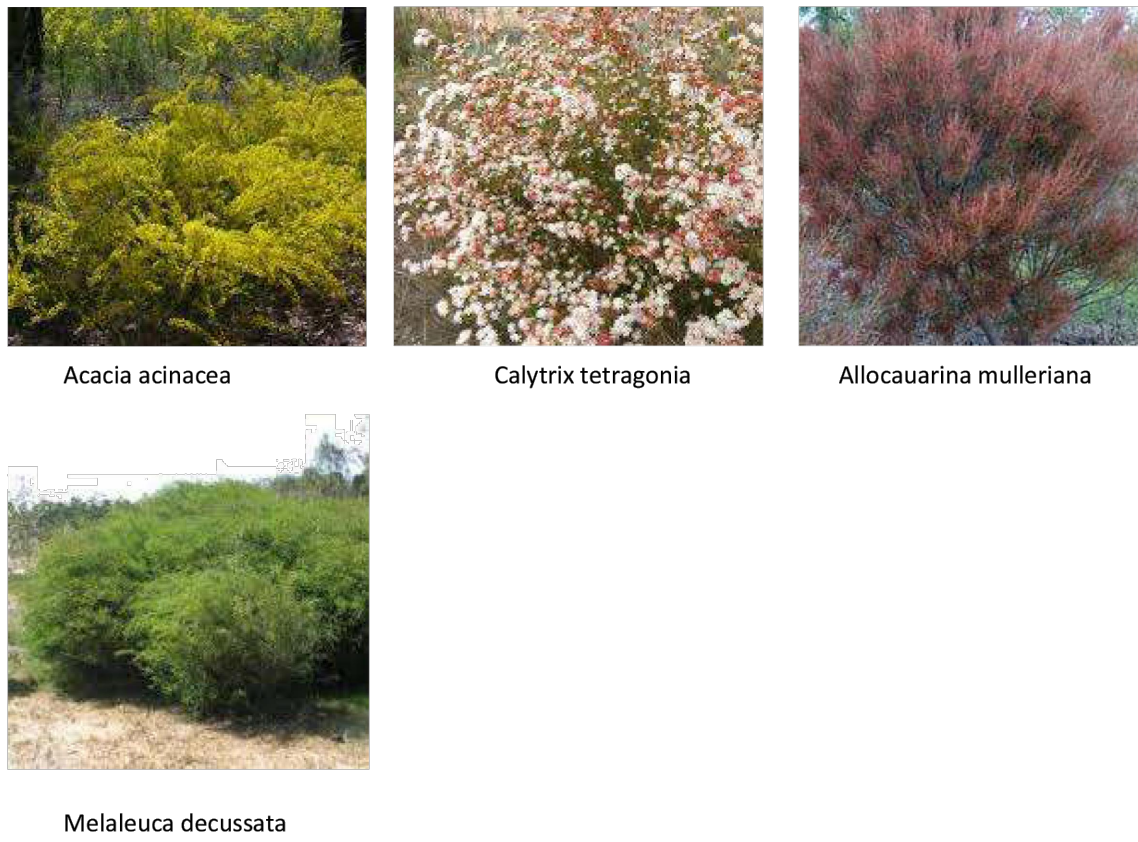


PLANTING PLAN  
SCALE 1:1250



NATIVE PLANT MIX TYPE 2 - MATRIX  
SCALE 1:50

PLANTING PALETTE - NATIVE MIX TYPE 1



PLANTING PALETTE - NATIVE MIX TYPE 2



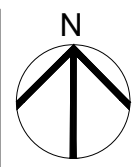
NOTES:  
- Contractors to check and verify all dimensions and all levels on site prior to any works.  
- Any discrepancies should be immediately referred to Space Landscape Designs.  
- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.  
- Dimensions designed over piping. All measurements are in millimetres.

SPACE  
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd  
ABN 60 799 663 674 ACN 139 316 251  
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P 02 9905 7870 F 02 9905 7657  
Suite 138, 117 Old Pittwater Rd,  
Brookvale NSW 2100

PROJECT:  
Birdwood Solar Farm  
SITE ADDRESS:  
Lot 16 Warren Road, Birdwood

CLIENT: YES Group  
DRN: T.Browne (B.LArch)  
SCALE: As shown@A1  
PROJECT NO: 232133



DRAWING TITLE:  
PLANTING PLAN  
DRAWING NO:  
L-02

Rev: B



LEGEND

PROPERTY BOUNDARY

ASSET PROTECTION ZONE

SECURITY FENCE

NATIVE PLANT BUFFER TYPE 1

NATIVE PLANT BUFFER TYPE 2

EXISTING TREES TO REMAIN



NATIVE VEGETATION TO REMAIN—  
EUCALYPTS SPP

8m DOUBLE RURAL GATES—  
& 4m ACCESS TRACK TO SITE FROM  
WINTON ROAD

SINGLE 3m GATE

NATIVE VEGETATION TO REMAIN  
EUCALYPTS SPP

NATIVE VEGETATION SCREENING  
ALONG NORTHERN SIDE OF THE  
SOLAR ARRAY TO MINIMISE THE  
VISUAL IMPACT AS VIEWED FROM  
WARREN ROAD

10m NATIVE VEGETATION STRIP  
TO MINIMISE THE VISUAL IMPACT  
AS VIEWED FROM THE PUBLIC SPHERE

NOTES:  
- 5m CLEARANCE TO BE PROVIDED BETWEEN SECURITY FENCE AND NATIVE VEGETATION  
- 10m ASSET PROTECTION ZONE (APZ) AROUND SITE PERIMETER  
- VEGETATION WITHIN OVERHEAD LINE EASEMENT TO BE SELECTED AND INSTALLED  
TO COMPLY WITH THE ELECTRICITY (PRINCIPLES OF VEGETATION CLEARANCE) REGULATIONS.

NOTES:  
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- Any discrepancies should be immediately referred to Space Landscape Designs.  
- All works to comply with S.C.A. Statutory Authorities and relevant Australian Standards.  
- Dimensions recognised over loading. All measurements are in millimetres.

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B	11/10/23	DA Issue	

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Suite 138, 117 Old Pittwater Rd,  
Brookvale NSW 2100

PROJECT:  
Birdwood Solar Farm  
SITE ADDRESS:  
Lot 16 Warren Road, Birdwood

CLIENT: YES Group  
DRN: T.Browne (B.LArch)  
SCALE: 1:1250@A1  
PROJECT NO: 232133



DRAWING TITLE:  
LANDSCAPE PLAN  
DRAWING NO:  
L-01

Rev. B



LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION

Locate any underground and overground services & ensure no damage occurs. All dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

PROTECTION OF EXISTING TREES:

Prior to construction, the builder shall erect tree protection fencing to the drip line of existing trees to be retained. The fence shall be constructed of star pickets at 2.4m spacings and connected by three strands of 2mm wire at 300mm spacings to a minimum height of 1500mm. Protect all trees affected by demolition & construction. Take necessary precautions to protect the Structural Root Zone(SRZ) as per AS 4970-2009 Australian Standard for Protection of Trees on Development Sites.Tree protection measures shall remain intact until the completion of all construction works.

Prohibited Works or material storage within the TPZ as per AS 4970-2009 except with approval of council:

- entry of machinery or storage of building materials, parking of any kind of vehicle
- erection or placement of site facilities, removal or stockpiling of soil or site debris, disposal of liquid waste including paint & concrete wash
- excavation or trenching of any kind (including irrigation or electrical connections).
- attaching any signs or any other objects to the tree, placement of waste disposal or skip bins
- pruning and removal of branches, other than those by a qualified Arborist

SITE ESTABLISHMENT

Fence the area as required with a sheep proof fence to control possible livestock impacts.

ELIMINATE WEEDS

Remove all existing weeds with a glyphosate based herbicide as per manufacturers recommendations. Weed control shall never be performed by mechanical cultivation or by scraping. Weed elimination to commence in July - weather dependant. A second spray to be performed in 2 weeks - weather dependant. Do not spray when raining or if rain is forecasted or on excessively hot, dry or windy days.

Herbicide spraying is to be used to eliminate all existing weeds a minimum 30 days prior to planting.

EXCAVATION & PLANTING PREPARATION

Excavate garden beds with a single furrow rip line to a minimum depth of 300mm. Seedlings to be planted with Hamilton tree planter tool. Plants to be protected from pests and wind with CorFlute Tree Guards until they become established. Tree Guard to be secured with one 75cm high hardwood timber stake 11 x 23mm.

REUSE EXISTING TOPSOIL

Existing site topsoil should be salvaged & appropriately stockpiled where possible.

PLANT STOCK

Seedlings to be supplied by reputable production nurseries in accordance with AS 2303:2018 Tree Stock for Landscape Use. Plants to be supplied weed, pest and disease free in 50 x 50 x 120mm deep tubes. Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species. Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%. Stock selection should also be based on NATSPEC Guide *Specifying Trees: a Guide to Assessment of Tree Quality*.

MULCHING

All construction must comply with AS 4454-2003 Compost, soil conditioners and mulches. All planting area to receive 50-75mm of garden Mulch. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.

WATERING

Water in immediately with 10 litres of water per plant after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.

MAINTENANCE STRATEGY

For the successful establishment of plants it is essential that adequate maintenance on a regular basis be provided. This regular maintenance will encourage quick development of the trees and reduce the cost of replacing dying plants.

INSPECTION

Inspect site and seedlings one month after planting and replace any losses.

WATERING

Adequate watering during plant establishment is required for the first few weeks. The rootball and surrounding soil should be adequately moist. As the plants establish the intervals should increase and then the plant should only be watered at the first signs of wilting. After 3-6 months the plant should be able to survive on its own.

FERTILISING

Fertilising will only be required if the plant is indicating signs of poor condition and slow growth due to nutrient deficiencies. If fertilising is deemed to be necessary it will be carried out after the second seasons growth at the end of the second growing season in late summer to autumn. N:P:K ratios and application rates vary greatly depending on conditions of use. Consult manufacturers for application rates suitable for individual plantings. Fertilisers may be applied to the soil in an organic granular application with a low phosphorus and nitrogen content, applied in a broad casting fashion to quantities & rates described on fertiliser bags.

MULCHING

Following planting, rake all garden areas and tamp lightly to give an even graded surface. Spread 75mm layer of mulch over the surface of all garden beds. Care shall be taken not to mix soil and mulch together. All mulching is to be carried out with AS 4454 composted organic material, low in phosphorous and derived from the raw material, green waste. Mulching materials must be sourced from a certified fully licensed Australian Standard producer. Every 6 months all garden beds are to be checked to ensure there is sufficient mulch. If additional mulch is required it will be to a maximum depth of 75mm and 100mm from the tree trunk.

REMEDIAL PRUNING

Once plants are established, pruning will be an ongoing process, which will require the periodical removal of unsightly dead wood and hazardous branches.

WEEDING

Weed control measures should aim to eliminate weed germination and establishment. Weeds are to be controlled while young and before seed set. Declared noxious weeds require action, varying from treatment to removal. Contact Council's Noxious Weeds Officer for further information.

PLANT STAKING

Once plants are self supporting remove tree guard and stake.

PEST AND DISEASE CONTROL

Treatment of pests and diseases is important for maintaining healthy plants. Non-chemical controls and treatments should always be considered first. Natural control of pests is encouraged such as removing the parts affected by disease, hand removal of certain pests and encouraging birds.

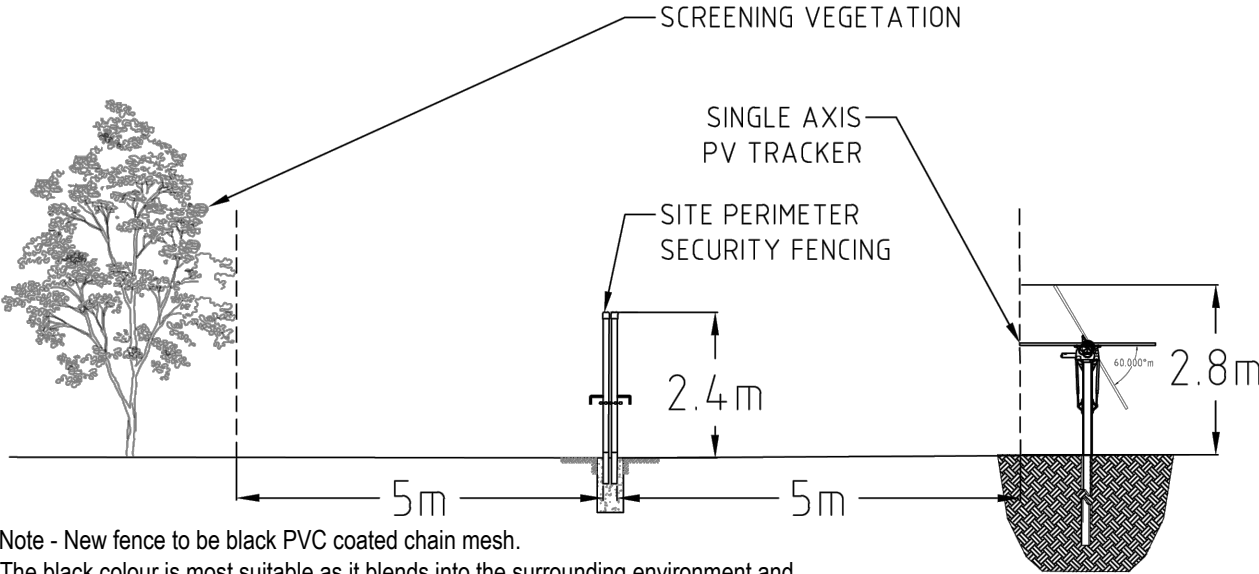
REPLANTING

Should any plants require replacing the same species and tube stock shall be used. The following guidelines are recommended:

- Plants are to be removed from their containers with all labels removed.
- A hole is to be excavated at 2-3 times the diameter of the container and at the same depth as the root ball with the sides loosened.
- No organic matter, gravel or coarse material to be placed at the bottom of the planting hole.
- All plants are to be planted so the top of the root ball is level with the existing ground level.
- Original site soil is to be used as back fill around plant. Plants to be watered in.Apply mulch to a depth of 75mm and 100mm away from the trunk

SOIL TESTING

If growth of plants is poor or every 3 months during twelve month establishment period, a soil pH test should be performed at 5 different locations. Take each sample to spade depth. Follow the instructions as per the pH colourimetric kit to check the soil pH is at an acceptable level.



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The open style will also let light through so it will not appear as a solid structure.

01 TYPICAL ASSET PROTECTION ZONE SECTION

SCALE N.T.S.



02 TYPICAL CORFLUTE TREE GUARD

SCALE N.T.S.

NOTES:  
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- Dimensions recognised over scaling. All measurements are in millimetres.

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Checked
AE
AE

SPACE  
LANDSCAPE DESIGNS

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Suite 138, 117 Old Pittwater Rd,  
Brookvale NSW 2100

PROJECT:  
Birdwood Solar Farm  
SITE ADDRESS:  
Lot 16 Warren Road, Birdwood

CLIENT: YES Group  
DRN: T.Browne (B.LArch)  
SCALE: 1:100@A3  
PROJECT NO: 232133

DRAWING TITLE:  
LANDSCAPE DETAILS

DRAWING No:

L-03

Rev: B



# TYPICAL DRIVEWAY DETAIL

Not to Scale

4000 mm

Property Boundary

**Driveway** - Width 4000 mm wide with 'wings' on each side (6000 mm radius).

**Pavement** - the road pavement will be a minimum 150 mm deep compacted rubble.

**Grade** - the driveway shall be constructed to the same level as the edge of pavement on the road through to the property boundary.

DRIVEWAY

TP = TANGENT POINT

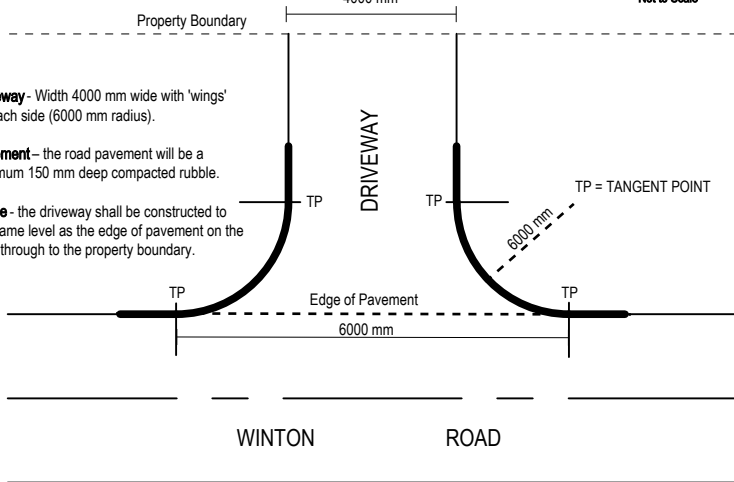
6000 mm

Edge of Pavement

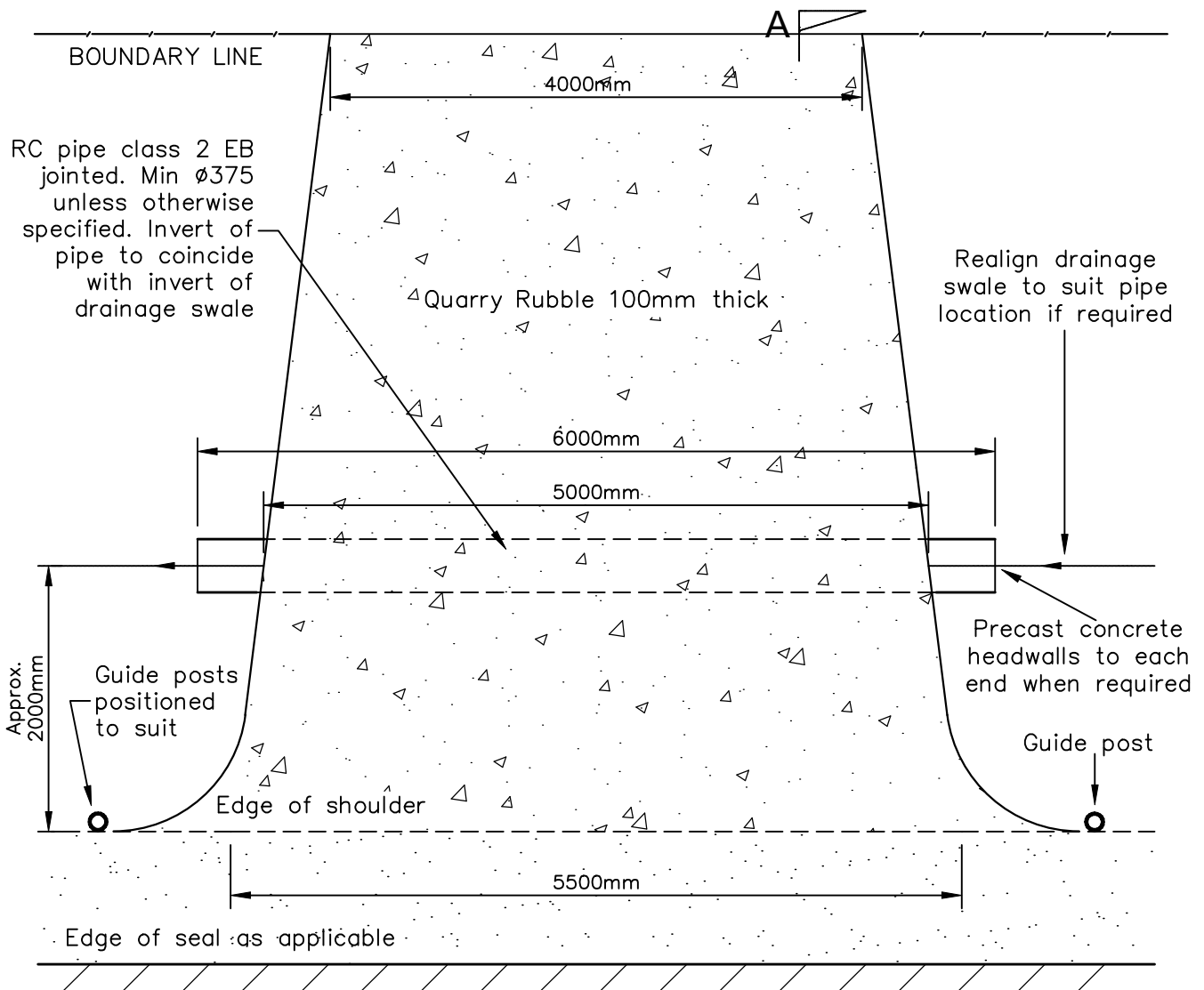
6000 mm

WINTON

ROAD



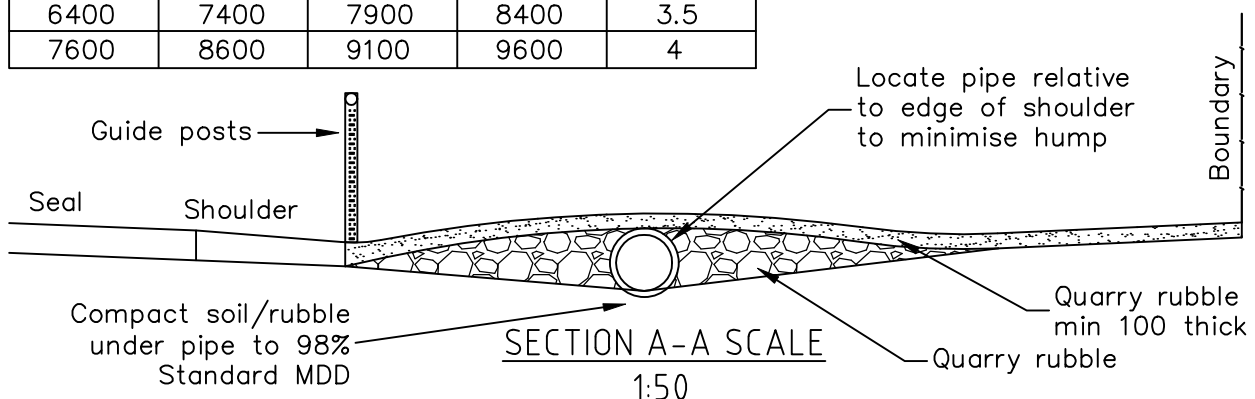
Refer to Standard Drawing No 20: – Entranceways Rural\_Guide for verge crossing levels



PLAN VIEW

STANDARD WIDTH OF ENTRANCEWAY

At boundary	At swale	At shoulder	Pipe length	No of pipes
4000	5000	5500	6000	2.5
5200	6200	6700	7200	3
6400	7400	7900	8400	3.5
7600	8600	9100	9600	4



SECTION A-A SCALE

1:50

ASSOCIATED DRAWINGS:  
13, 19, 20.

Quarry rubble to be PM21 compacted to 95% Modified MDD. Where swale depth exceeds 800mm headwalls will be required. Guide posts are composite rubber with delineators & driveable anchor 1m high located to suit the situation.



## PIPED ENTRANCE

FOR RURAL VERGE CROSSOVER

SCALE: AS SHOWN

DRAWN BY: SAB

DATE DRAWN: MAR 10

DRAWING NO: 16

A

A4

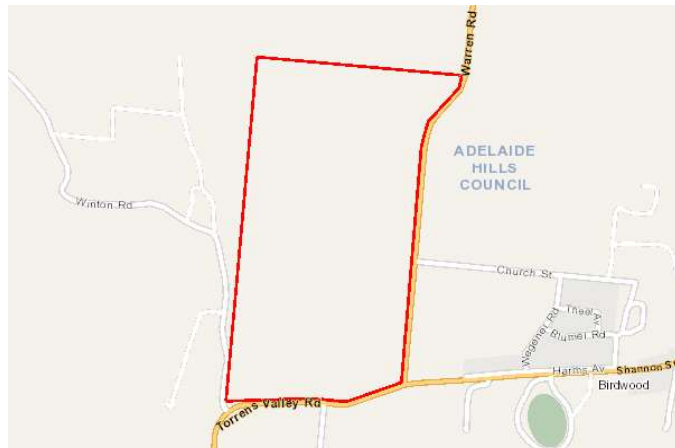


LOT 16 WARREN RD BIRDWOOD SA 5234

Address:

Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPPA click on the map below



## Property Zoning Details

Zone

Productive Rural Landscape

Overlay

Environment and Food Production Area  
 Hazards (Flooding)  
 Hazards (Bushfire - Medium Risk)  
 Hazards (Flooding - Evidence Required)  
 Limited Land Division  
 Mount Lofty Ranges Water Supply Catchment (Area 2)  
 Native Vegetation  
 Prescribed Water Resources Area  
 Traffic Generating Development  
 Urban Transport Routes  
 Water Resources

## Development Pathways

### ■ Productive Rural Landscape

#### 1. Accepted Development

Means that the development type does not require planning consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- None

#### 2. Code Assessed - Deemed to Satisfy

Means that the development type requires consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Deck

#### 3. Code Assessed - Performance Assessed

Performance Assessed development types listed below are those for which the Code identifies relevant policies.

Additional development types that are not listed as Accepted, Deemed to Satisfy or Restricted default to a Performance assessed Pathway. Please contact your local council for more information.

- Deck

#### 4. Impact Assessed - Restricted

Means that the development type requires approval. Classes of development that are classified as Restricted are listed in Table 4 of the relevant Zones.

## Part 2 - Zones and Sub Zones

### Productive Rural Landscape Zone

#### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	A diverse range of land uses at an appropriate scale and intensity that capitalise on the region's proximity to the metropolitan area and the tourist and lifestyle opportunities this presents while also conserving the natural and rural character, identity, biodiversity and sensitive environmental areas and scenic qualities of the landscape.

Policy24		P&D Code (in effect) - Version 2023.12 - 17/08/2023
DO 2	A zone that promotes agriculture, horticulture, value adding opportunities, farm gate businesses, the sale and consumption of agricultural based products, tourist development and accommodation that expands the economic base and promotes its regional identity.	
DO 3	Create local conditions that support new and continuing investment while seeking to promote co-existence with adjoining activities and mitigate land use conflicts.	

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<b>PO 1.1</b>  The productive value of rural land for a range of primary production and horticultural activities and associated value adding of primary produce (such as beverage production), retailing and tourism is supported, protected and maintained. The proliferation of land uses that may be sensitive to those activities is avoided.	<b>DTS/DPF 1.1</b>  Development comprises one or more of the following: <ul style="list-style-type: none"> <li>(a) Advertisement</li> <li>(b) Agricultural building</li> <li>(c) Brewery</li> <li>(d) Carport</li> <li>(e) Cidery</li> <li>(f) Commercial forestry</li> <li>(g) Distillery</li> <li>(h) Dwelling</li> <li>(i) Dwelling addition</li> <li>(j) Farming</li> <li>(k) Function venue</li> <li>(l) Horse keeping</li> <li>(m) Horticulture</li> <li>(n) Industry</li> <li>(o) Low intensity animal husbandry</li> <li>(p) Outbuilding</li> <li>(q) Shop</li> <li>(r) Small-scale ground mounted solar power facility</li> <li>(s) Tourist accommodation</li> <li>(t) Transport distribution</li> <li>(u) Verandah</li> <li>(v) Warehouse</li> <li>(w) Winery</li> <li>(x) Workers' accommodation</li> </ul>
Siting and Design	
<b>PO 2.1</b>  Development is provided with suitable vehicle access.	<b>DTS/DPF 2.1</b>  Development is serviced by an all-weather trafficable public road.
<b>PO 2.2</b>  Buildings are generally located on flat land to minimise cut and fill and the associated visual impacts.	<b>DTS/DPF 2.2</b>  Buildings: <ul style="list-style-type: none"> <li>(a) are located on a site with a slope not greater than 10% (1-in-10)</li> <li>(b) do not result excavation and/or filling of land that is greater than 1.5m from natural ground level.</li> </ul>
Horticulture	
<b>PO 3.1</b>  Horticulture is located and conducted on land that has the physical capability of supporting the activity and in a manner that: <ul style="list-style-type: none"> <li>(a) enhances the productivity of the land for the growing of food and produce in a sustainable manner</li> <li>(b) avoids adverse interface conflicts with other land uses</li> <li>(c) utilises sound environmental practices to mitigate negative impacts on natural resources and water quality</li> <li>(d) is sympathetic to surrounding rural landscape character and amenity, where horticulture is proposed to be carried out in an enclosed building such as a greenhouse.</li> </ul>	<b>DTS/DPF 3.1</b>  Horticultural activities: <ul style="list-style-type: none"> <li>(a) are conducted on an allotment with an area of at least 1ha</li> <li>(b) are sited on land with a slope not greater than 10% (1-in-10)</li> <li>(c) are not conducted within 50m of a watercourse or native vegetation</li> <li>(d) are not conducted within 100m of a sensitive receiver in other ownership</li> <li>(e) provide for a headland area between plantings and property boundaries of at least 10m in width</li> <li>(f) where carried out in an enclosed building such as a greenhouse, the building has a total floor area not greater than 250m<sup>2</sup></li> <li>(g) in the form of olive growing, is not located within 500m of a conservation or national park.</li> </ul>



Rural Industry	
<b>PO 4.1</b>  Small-scale industry (including beverage production and washing, processing, bottling and packaging activities), storage, warehousing, produce grading and packing, transport distribution or similar activities provide opportunities for diversification and value adding to locally sourced primary production activities.	<b>DTS/DPF 4.1</b>  Industries, storage, warehousing, produce grading and packing and transport distribution activities and similar activities (or any combination thereof):  (a) are directly related and ancillary to a primary production use on the same or adjoining allotment (b) are located on an allotment not less than 2ha in area (c) have a total floor area not exceeding 350m <sup>2</sup> .
<b>PO 4.2</b>  Expansion of established small-scale or new large scale industry (including beverage production and washing, processing, bottling and packaging activities), storage, warehousing, produce grading and packing, transport distribution or similar activities:  (a) are commensurate with the allotment on which it is situated to mitigate adverse impacts on the amenity of land in other ownership and the character of locality (b) realise efficiencies in primary production related storage, sorting, packaging, manufacturing and the like (c) primarily involve primary production commodities sourced from the same allotment and/or surrounding rural areas.	<b>DTS/DPF 4.2</b>  None are applicable.
<b>PO 4.3</b>  Industry, storage, warehousing, transport distribution or similar activities are sited, designed and of a scale that maintains rural function and character in a manner that respects landscape amenity.	<b>DTS/DPF 4.3</b>  Buildings and associated activities:  (a) are setback at least 50m from all road and allotment boundaries (b) are not sited within 100m of a sensitive receiver in other ownership (c) have a building height not greater than 10m above natural ground level (d) incorporate the loading and unloading of vehicles within the confines of the allotment.
Dwellings	
<b>PO 5.1</b>  Dwellings provide a convenient base for landowners to conduct and manage commercial scale primary production and related value adding activities without compromising the use of the allotment, adjacent land or long term purpose of the zone for primary production or related tourism values due to a proliferation of dwellings.	<b>DTS/DPF 5.1</b>  Dwellings:  (a) are located on an allotment with an area not less than: (b) are located on an allotment used for and is ancillary to primary production and/or primary production related value-adding activities (c) will not result in more than one dwelling on an allotment.  In relation to DTS/DPF 5.1, in instances where:  (d) more than one value is returned, refer to the <i>Minimum Dwelling Allotment Size Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development (e) no value is returned for DTS/DPF 5.1(a) (ie there is a blank field), then there is no minimum dwelling allotment size applicable and DTS/DPF 5.1(a) is met.
<b>PO 5.2</b>  Dwelling are sited, designed and of a scale that maintains a pleasant natural and rural character and amenity.	<b>DTS/DPF 5.2</b>  Dwellings:  (a) are setback from all allotment boundaries by at least 40m (b) do not exceed 2 building levels and 9m measured from the top of the footings (c) have a wall height no greater than 6m.
<b>PO 5.3</b>  Development resulting in more than one dwelling on an allotment supports ageing in place for the owner of the allotment or multi-generational management of farms in a manner that minimises the potential loss of land available for primary production.	<b>DTS/DPF 5.3</b>  Dwelling that will result in more than one dwelling on an allotment where all the following are satisfied:  (a) it is located within 20m of an existing dwelling (b) share the same utilities of the existing dwelling (c) will use the same access point from a public road as the existing dwelling (d) it is located on an allotment not less than 40ha in area (e) will not result in more than two dwellings on an allotment.

<b>PO 5.4</b>  Dwelling additions are sited, designed and of a scale that maintains a pleasant rural character and amenity.	<b>DTS/DPF 5.4</b>  Additions or alterations to an existing dwelling: <ul style="list-style-type: none"> <li>(a) are setback behind the main façade of the existing dwelling</li> <li>(b) do not exceed 2 building levels and 9m measured from the top of the footings</li> <li>(c) have a wall height that is no greater than 6m from the top of the footings.</li> </ul>
Shops, Tourism and Function Venues	
<b>PO 6.1</b>  Shops are associated with an existing primary production or primary production related value adding industry to support diversification of employment, provide services to visitors and showcase local and regional products.	<b>DTS/DPF 6.1</b>  Shops, other than where located in The Cedars Subzone: <ul style="list-style-type: none"> <li>(a) are ancillary to and located on the same allotment or adjoining allotment used for primary production or primary production related value adding industries</li> <li>(b) offer for sale or consumption produce or goods that are primarily sourced, produced or manufactured on the same allotment or adjoining allotments</li> <li>(c) have a gross leasable floor area not exceeding 100m<sup>2</sup> or 250m<sup>2</sup> in the case of a cellar door</li> <li>(d) have an area for the display of produce or goods external to a building not exceeding 25m<sup>2</sup></li> <li>(e) do not result in more than 75 seats for customer dining purposes in a restaurant.</li> </ul>
<b>PO 6.2</b>  Shops that are proposed in new buildings are sited, designed and of a scale that maintains a pleasant rural character and amenity.	<b>DTS/DPF 6.2</b>  Shops in new buildings: <ul style="list-style-type: none"> <li>(a) are setback from all property boundaries by at least 20m</li> <li>(b) are not sited within 100m of a sensitive receiver in other ownership</li> <li>(c) have a building height that does not exceed 9m above natural ground level.</li> </ul>
<b>PO 6.3</b>  Tourist accommodation is associated with the primary use of the land for primary production or primary production related value adding industry to enhance and provide authentic visitor experiences.	<b>DTS/DPF 6.3</b>  Tourist accommodation, other than where located in The Cedars Subzone: <ul style="list-style-type: none"> <li>(a) is ancillary to and located on the same allotment or an adjoining allotment used for primary production or primary production related value adding industry</li> <li>(b) in relation to the area used for accommodation: <ul style="list-style-type: none"> <li>(i) where in a new building, or buildings, does not exceed a cumulative total floor area of 100m<sup>2</sup></li> <li>or</li> <li>(ii) where in an existing building, does not exceed 150m<sup>2</sup> and</li> </ul> </li> <li>(c) does not result in more than one tourist accommodation facility being located on the same allotment.</li> </ul>
<b>PO 6.4</b>  Tourist accommodation proposed in a new building or buildings are sited, designed and of a scale that maintains a pleasant rural character and amenity.	<b>DTS/DPF 6.4</b>  Tourist accommodation in new buildings: <ul style="list-style-type: none"> <li>(a) is setback from all property boundaries by at least 40m</li> <li>(b) has a building height that does not exceed 7m above natural ground level.</li> </ul>
<b>PO 6.5</b>  Function venues are associated with the primary use of the land for primary production or primary production related value adding industry.	<b>DTS/DPF 6.5</b>  Function venues, other than where located in The Cedars Subzone: <ul style="list-style-type: none"> <li>(a) are ancillary to and located on the same allotment or an adjoining allotment used for primary production or primary production related value adding industry</li> <li>(b) do not exceed a capacity of 75 persons for customer dining purposes.</li> </ul>
<b>PO 6.6</b>  Function venues are sited, designed and of a scale that maintains a pleasant natural and rural character and amenity.	<b>DTS/DPF 6.6</b>  Function venues: <ul style="list-style-type: none"> <li>(a) are located on an allotment having an area of at least 5ha</li> <li>(b) are setback from all property boundaries by at least 40m</li> <li>(c) are not sited within 100m of a sensitive receiver in other ownership</li> <li>(d) have a building height that does not exceed 9m above natural ground level.</li> </ul>
Offices	



<p><b>PO 7.1</b></p> <p>Offices are directly related to and associated with the primary use of the land for primary production or primary production related value adding industry.</p>	<p><b>DTS/DPF 7.1</b></p> <p>Offices, other than where located in The Cedars Subzone:</p> <p>(a) are ancillary to and located on the same allotment or an adjoining allotment used for primary production or primary production related value adding industry</p> <p>(b) have a gross leasable floor area not exceeding 100m<sup>2</sup>.</p>
Adaptive Reuse of Existing Buildings	
<p><b>PO 8.1</b></p> <p>Adaptive reuse of existing buildings for small-scale shops, offices, tourist accommodation or ancillary rural activities.</p>	<p><b>DTS/DPF 8.1</b></p> <p>Development within an existing building is for any of the following:</p> <p>(a) a shop</p> <p>(b) office</p> <p>(c) tourist accommodation.</p>
Workers' accommodation	
<p><b>PO 9.1</b></p> <p>Workers' accommodation provides short-term accommodation for persons temporarily engaged in the production, management or processing of primary produce.</p>	<p><b>DTS/DPF 9.1</b></p> <p>Workers' accommodation:</p> <p>(a) is developed on a site at least 2ha in area</p> <p>(b) has a total floor area not exceeding 250m<sup>2</sup></p> <p>(c) is in the form of a single building or part of a cluster of buildings that are physically connected</p> <p>(d) amenities accommodate not more than 20 persons at any one time</p> <p>(e) is setback at least 50m from a road boundary</p> <p>(f) is setback at least 40m from a side or rear allotment boundary</p> <p>(g) is located within 20m of an existing dwelling on the same allotment</p> <p>(h) does not result in more than one facility being located on the same allotment.</p>
Renewable Energy Facilities	
<p><b>PO 10.1</b></p> <p>Renewable energy facilities and ancillary development minimises significant fragmentation or displacement of existing primary production.</p>	<p><b>DTS/DPF 10.1</b></p> <p>None are applicable.</p>
<p><b>PO 10.2</b></p> <p>Small-scale ground mounted solar power facilities support rural production or value-adding industries.</p>	<p><b>DTS/DPF 10.2</b></p> <p>None are applicable.</p>
Built Form and Character	
<p><b>PO 11.1</b></p> <p>Large buildings designed and sited to reduce impacts on scenic and rural vistas by:</p> <p>(a) having substantial setbacks from boundaries and adjacent public roads</p> <p>(b) using low reflective materials and finishes that blend with the surrounding landscape</p> <p>(c) being located below ridgelines.</p>	<p><b>DTS/DPF 11.1</b></p> <p>None are applicable.</p>
Land Division	
<p><b>PO 12.1</b></p> <p>Land division creating additional allotments is not supported other than where located in The Cedars Subzone to support tourist development.</p>	<p><b>DTS/DPF 12.1</b></p> <p>Except where the land division is proposed in The Cedars Subzone, no additional allotments are created.</p>
<p><b>PO 12.2</b></p> <p>Allotment boundaries, including by realignment, are positioned to incorporate sufficient space around existing residential, tourist accommodation and other habitable buildings (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) to:</p>	<p><b>DTS/DPF 12.2</b></p> <p>Allotment boundaries are located no closer to an existing residential, tourist accommodation or other habitable building than the greater of the following:</p> <p>(a) 40m</p>

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<div><div>(a)</div>maintain a pleasant rural character and amenity for occupants</div> <div><div>(b)</div>manage vegetation within the same allotment to mitigate bushfire hazard.</div>		<div><div>(b)</div>the distance required to accommodate an asset protection zone wholly within the relevant allotment.</div>	
Agricultural Buildings			
<div>PO 13.1</div> <div>Agricultural buildings and associated activities are sited, designed and of a scale that maintains a pleasant rural character and function.</div>		<div>DTS/DPF 13.1</div> <div>Agricultural buildings:</div> <div><div>(a)</div>are located on an allotment having an area of at least 2ha</div> <div><div>(b)</div>are setback at least 40m from an allotment boundary</div> <div><div>(c)</div>have a building height not exceeding 10m above natural ground level</div> <div><div>(d)</div>do not exceed 350m<sup>2</sup> in total floor area</div> <div><div>(e)</div>incorporate the loading and unloading of vehicles within the confines of the allotment.</div>	
Outbuildings, Carports and Verandahs			
<div>PO 14.1</div> <div>Outbuildings are sited, designed and of a scale that maintain a pleasant natural and rural character and amenity.</div>		<div>DTS/DPF 14.1</div> <div>Outbuildings:</div> <div><div>(a)</div>have a primary street setback that is at least as far back as the building to which it is ancillary</div> <div><div>(b)</div>have a combined total floor area that does not exceed 100m<sup>2</sup></div> <div><div>(c)</div>do not exceed 5m in wall height measured from natural ground level (not including a gable end)</div> <div><div>(d)</div>have a total roof height that does not exceed 6m measured from natural ground level</div> <div><div>(e)</div>if clad in sheet metal, it is pre-colour treated or painted in a non-reflective colour</div> <div><div>(f)</div>will not result in more than 2 outbuildings on the same allotment.</div>	
<div>PO 14.2</div> <div>Carports and verandahs are sited, designed and of a scale to maintain a pleasant natural and rural character and amenity.</div>		<div>DTS/DPF 14.2</div> <div>Carports and verandahs:</div> <div><div>(a)</div>are set back from the primary street at least as far back as the building to which it is ancillary</div> <div><div>(b)</div>have a total floor area that does not exceed 80m<sup>2</sup></div> <div><div>(c)</div>have a post height that does not exceed 3m measured from natural ground level (not including a gable end)</div> <div><div>(d)</div>have a total roof height that does not exceed 5m measured from natural ground level</div> <div><div>(e)</div>if clad in sheet metal, the cladding is pre-colour treated or painted in a non-reflective colour.</div>	
Concept Plans			
<div>PO 15.1</div> <div>Development is compatible with the outcomes sought by any relevant Concept Plan contained within Part 12 - Concept Plans of the Planning and Design Code to support the orderly development of land through staging of development and provision of infrastructure.</div>		<div>DTS/DPF 15.1</div> <div>The site of the development is wholly located outside any relevant Concept Plan boundary. The following Concept Plans are relevant:</div> <div>In relation to DTS/DPF 15.1, in instances where:</div> <div><div>(a)</div>one or more Concept Plan is returned, refer to Part 12 - Concept Plans in the Planning and Design Code to determine if a Concept Plan is relevant to the site of the proposed development. Note: multiple concept plans may be relevant.</div> <div><div>(b)</div>in instances where 'no value' is returned, there is no relevant concept plan and DTS/DPF 15.1 is met.</div>	
Advertisements			
<div>PO 16.1</div> <div>Freestanding advertisements that identify the associated business without creating a visually dominant element within the locality.</div>		<div>DTS/DPF 16.1</div> <div>Freestanding advertisements:</div> <div><div>(a)</div>do not exceed 2m in height</div> <div><div>(b)</div>do not have a sign face that exceeds 2m2 per side.</div>	

**Table 5 - Procedural Matters (PM) - Notification**

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

#### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.



Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. Any development involving any of the following (or of any combination of any of the following): (a) advertisement (b) agricultural building (c) air handling unit, air conditioning system or exhaust fan (d) ancillary accommodation (e) carport (f) deck (g) fence (h) dwelling (i) dwelling addition (j) farming (k) horse keeping (l) internal building work (m) land division (n) outbuilding (o) pergola (p) private bushfire shelter (q) protective tree netting structure (r) replacement building (s) retaining wall (t) solar photovoltaic panels (roof mounted) (u) shade sail (v) swimming pool or spa pool and associated swimming pool safety features (w) temporary accommodation in an area affected by bushfire (x) tree damaging activity (y) verandah (z) water tank.	None specified.
3. Any development involving any of the following (or of any combination of any of the following): (a) industry (b) store (c) warehouse.	Except development that does not satisfy any of the following: 1. Productive Rural Landscape Zone DTS/DPF 4.1 2. Productive Rural Landscape Zone DTS/DPF 4.3.
4. Demolition.	Except any of the following: 1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building) 2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
5. Function venue within The Cedars Subzone.	None specified.
6. Function venue.	Except function venue that does not satisfy Productive Rural Landscape Zone DTS/DPF 6.6.
7. Horticulture.	Except horticulture that does not satisfy any of the following: 1. Productive Rural Landscape Zone DTS/DPF 3.1(d) 2. Productive Rural Landscape Zone DTS/DPF 3.1(e).
8. Railway line.	Except where located outside of a rail corridor or rail reserve.

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9. Shop within The Cedars Subzone.		None specified.
10. Shop.		Except shop that does not satisfy any of the following: <ol style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 6.1</li> <li>2. Productive Rural Landscape Zone DTS/DPF 6.2.</li> </ol>
11. Tourist accommodation within The Cedars Subzone.		None specified.
12. Tourist accommodation.		Except tourist accommodation that does not to satisfy any of the following: <ol style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 6.3</li> <li>2. Productive Rural Landscape Zone DTS/DPF 6.4.</li> </ol>
Placement of Notices - Exemptions for Performance Assessed Development		
Pursuant to regulation 47(6)(c) of the Planning, Development and Infrastructure (General) Regulations 2017, the requirement to place a notice on the relevant land under section 107(3)(a)(ii) of the <i>Planning, Development and Infrastructure Act 2016</i> does not apply in the Productive Rural Landscape Zone.		
Placement of Notices - Exemptions for Restricted Development		
Pursuant to regulation 47(6)(c) of the Planning, Development and Infrastructure (General) Regulations 2017, the requirement to place a notice on the relevant land under section 110(2)(a)(iv) of the <i>Planning, Development and Infrastructure Act 2016</i> does not apply in the Productive Rural Landscape Zone.		

## Part 3 - Overlays

### Environment and Food Production Areas Overlay

#### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of valuable rural, landscape, environmental and food production areas from urban encroachment.

#### Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<b>PO 1.1</b> Land division undertaken in accordance with Section 7 of the <i>Planning, Development and Infrastructure Act 2016</i> .	<b>DTS/DPF 1.1</b> None are applicable.

#### Procedural Matters (PM)

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the *Planning, Development and Infrastructure (General) Regulations 2017*.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None



## Hazards (Bushfire - Medium Risk) Overlay

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Development, including land division responds to the medium level of bushfire risk and potential for ember attack and radiant heat by siting and designing buildings in a manner that mitigates the threat and impact of bushfires on life and property taking into account the increased frequency and intensity of bushfires as a result of climate change.
DO 2	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting	
<b>PO 1.1</b> Buildings and structures are located away from areas that pose an unacceptable bushfire risk as a result of vegetation cover and type, and terrain.	<b>DTS/DPF 1.1</b> None are applicable.
Built Form	
<b>PO 2.1</b> Buildings and structures are designed and configured to reduce the impact of bushfire through using designs that reduce the potential for trapping burning debris against or underneath the building or structure, or between the ground and building floor level in the case of transportable buildings and buildings on stilts.	<b>DTS/DPF 2.1</b> None are applicable.
<b>PO 2.2</b> Extensions to buildings, outbuildings and other ancillary structures are sited and constructed using materials to minimise the threat of fire spread to residential and tourist accommodation (including boarding houses, hostels, dormitory style accommodation, student accommodation and Workers' accommodation) in the event of bushfire.	<b>DTS/DPF 2.2</b> Outbuildings and other ancillary structures are sited no closer than 6m from the habitable building.
Habitable Buildings	
<b>PO 3.1</b> To minimise the threat, impact and potential exposure to bushfires on life and property, residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited on the flatter portion of allotments away from steep slopes.	<b>DTS/DPF 3.1</b> None are applicable.
<b>PO 3.2</b> Residential, tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited away from	<b>DTS/DPF 3.2</b> Residential, tourist accommodation and habitable buildings for vulnerable communities are provided with asset protection zone(s) in accordance with (a) and (b):

<p>vegetated areas that pose an unacceptable bushfire risk.</p>	<p>(a) the asset protection zone has a minimum width of at least:</p> <ul style="list-style-type: none"> <li>(i) 50 metres to unmanaged grasslands</li> <li>(ii) 100 metres to hazardous bushland vegetation</li> </ul> <p>(b) the asset protection zone is contained wholly within the allotment of the development.</p>
<p><b>PO 3.3</b></p> <p>Residential, tourist accommodation and habitable buildings for vulnerable communities, (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation), has a dedicated area available that is capable of accommodating a bushfire protection system comprising firefighting equipment and water supply in accordance with <i>Ministerial Building Standard MBS 008 - Designated bushfire prone areas - additional requirements</i>.</p>	<p><b>DTS/DPF 3.3</b></p> <p>None are applicable.</p>
<p>Land Division</p>	
<p><b>PO 4.1</b></p> <p>Land division is designed and incorporates measures to minimise the danger of fire hazard to residents and occupants of buildings, and to protect buildings and property from physical damage in the event of a bushfire.</p>	<p><b>DTS/DPF 4.1</b></p> <p>None are applicable.</p>
<p><b>PO 4.2</b></p> <p>Land division is designed to provide a continuous street pattern to facilitate the safe movement and evacuation of emergency vehicles, residents, occupants and visitors.</p>	<p><b>DTS/DPF 4.2</b></p> <p>None are applicable.</p>
<p><b>PO 4.3</b></p> <p>Where 10 or more new allotments are proposed, land division includes at least two separate and safe exit points to enable multiple avenues of evacuation in the event of a bushfire.</p>	<p><b>DTS/DPF 4.3</b></p> <p>None are applicable.</p>
<p><b>PO 4.4</b></p> <p>Land division incorporates perimeter roads of adequate design in conjunction with bushfire buffer zones to achieve adequate separation between residential allotments and areas of unacceptable bushfire risk and to support safe access for the purposes of fire-fighting.</p>	<p><b>DTS/DPF 4.4</b></p> <p>None are applicable.</p>
<p>Vehicle Access - Roads, Driveways and Fire Tracks</p>	
<p><b>PO 5.1</b></p> <p>Roads are designed and constructed to facilitate the safe and effective:</p> <ul style="list-style-type: none"> <li>(a) access, operation and evacuation of fire-fighting vehicles and emergency personnel</li> <li>(b) evacuation of residents, occupants and visitors.</li> </ul>	<p><b>DTS/DPF 5.1</b></p> <p>Roads:</p> <ul style="list-style-type: none"> <li>(a) are constructed with a formed, all-weather surface</li> <li>(b) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the road</li> <li>(c) have a cross fall of not more than 6 degrees (1-in-9.5) at any point along the road</li> <li>(d) have a minimum formed road width of 6m</li> <li>(e) provide overhead clearance of not less than 4.0m between the road surface and overhanging branches or other obstructions including buildings and/or structures (Figure 1)</li> <li>(f) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around road curves by constructing the curves with a minimum external radius of 12.5m (Figure 2)</li> <li>(g) incorporating cul-de-sac endings or dead end roads do not exceed 200m in length and the end of the road has either: <ul style="list-style-type: none"> <li>(i) a turning area with a minimum formed surface radius of 12.5m (Figure 3)</li> <li>or</li> <li>(ii) a 'T' or 'Y' shaped turning area with a minimum formed surface length of 11m and minimum internal radii of 9.5m (Figure 4)</li> </ul> </li> <li>(h) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.</li> </ul>
<p><b>PO 5.2</b></p> <p>Access to habitable buildings is designed and constructed to facilitate the safe and effective:</p> <ul style="list-style-type: none"> <li>(a) access, operation and evacuation of fire-fighting vehicles and emergency personnel</li> <li>(b) evacuation of residents, occupants and visitors.</li> </ul>	<p><b>DTS/DPF 5.2</b></p> <p>Access is in accordance with (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) a clear and unobstructed vehicle or pedestrian pathway of not greater than 60 metres in length is available between the most distant part of the habitable building and the nearest part of a formed public access road</li> <li>(b) driveways: <ul style="list-style-type: none"> <li>(i) do not exceed 600m in length</li> </ul> </li> </ul>



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		<ul style="list-style-type: none"> <li>(ii) are constructed with a formed, all-weather surface</li> <li>(iii) are connected to a formed, all-weather public road with the transition area between the road and driveway having a gradient of not more than 7 degrees (1-in-8)</li> <li>(iv) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the driveway</li> <li>(v) have a crossfall of not more than 6 degrees (1-in-9.5) at any point along the driveway</li> <li>(vi) have a minimum formed width of 3m (4m where the gradient of the driveway is steeper than 12 degrees (1-in-4.5)) plus 0.5 metres clearance either side of the driveway from overhanging branches or other obstructions, including buildings and/or structures (Figure 1)</li> <li>(vii) incorporate passing bays with a minimum width of 6m and length of 17m every 200m (Figure 5)</li> <li>(viii) provide overhead clearance of not less than 4.0m between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures (Figure 1)</li> <li>(ix) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around driveway curves by constructing the curves with a minimum external radius of 12.5m (Figure 2)</li> <li>(x) allow fire-fighting vehicles to safely enter and exit an allotment in a forward direction by using a 'U' shaped drive through design or by incorporating at the end of the driveway either: <ul style="list-style-type: none"> <li>A. a loop road around the building or</li> <li>B. a turning area with a minimum radius of 12.5m (Figure 3) or</li> <li>C. a 'T' or 'Y' shaped turning area with a minimum formed length of 11m and minimum internal radii of 9.5m (Figure 4)</li> </ul> </li> <li>(xi) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.</li> </ul>	
<b>PO 5.3</b>	Development does not rely on fire tracks as means of evacuation or access for fire-fighting purposes unless there are no safe alternatives available.	<b>DTS/DPF 5.3</b>	None are applicable.

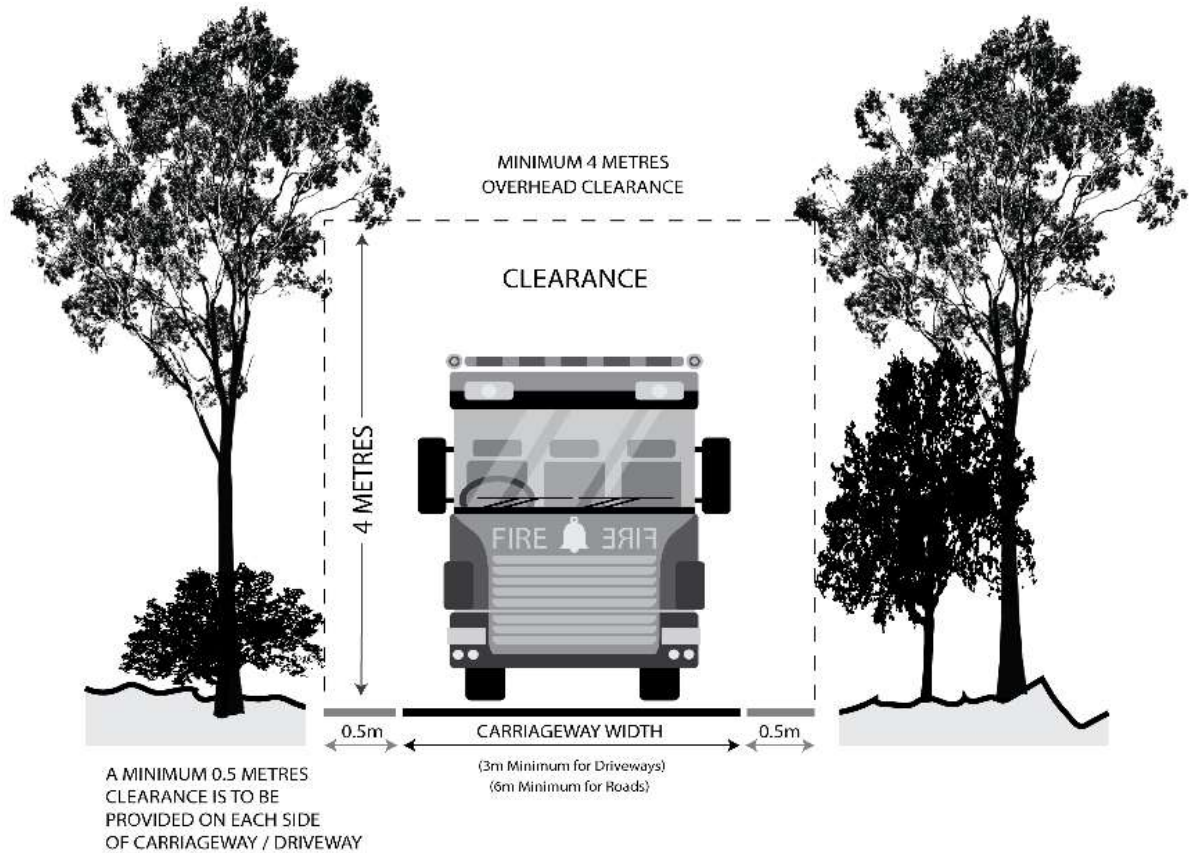
### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

### Figures and Diagrams

<b>Fire Engine and Appliance Clearances</b>
Figure 1 - Overhead and Side Clearances



#### Roads and Driveway Design

Figure 2 - Road and Driveway Curves

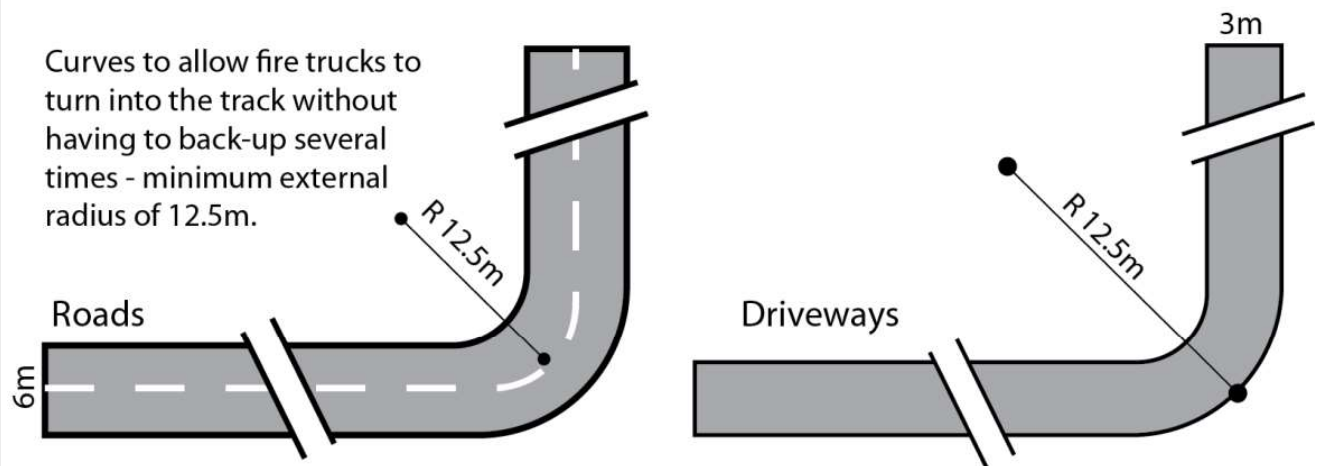
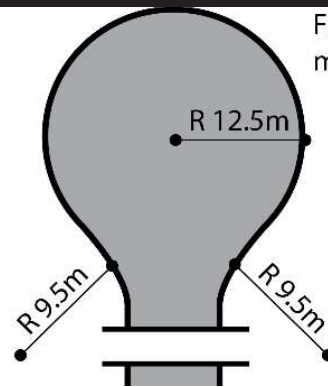


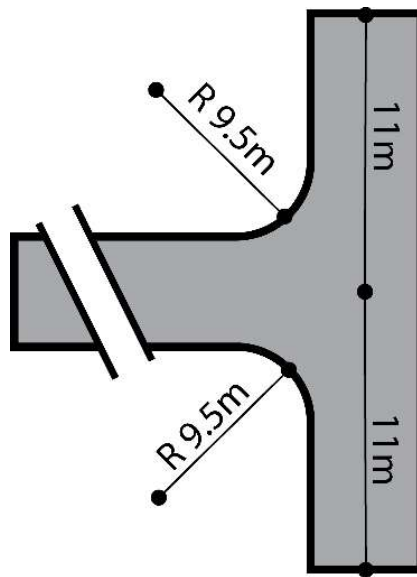
Figure 3 - Full Circle Turning Area





Fire truck turning area -  
minimum radius 12.5m

Figure 4 - 'T' or 'Y' Shaped Turning Head



"T" shaped turning area  
for fire trucks to reverse  
into so they can turn  
around  
- minimum length 11m.

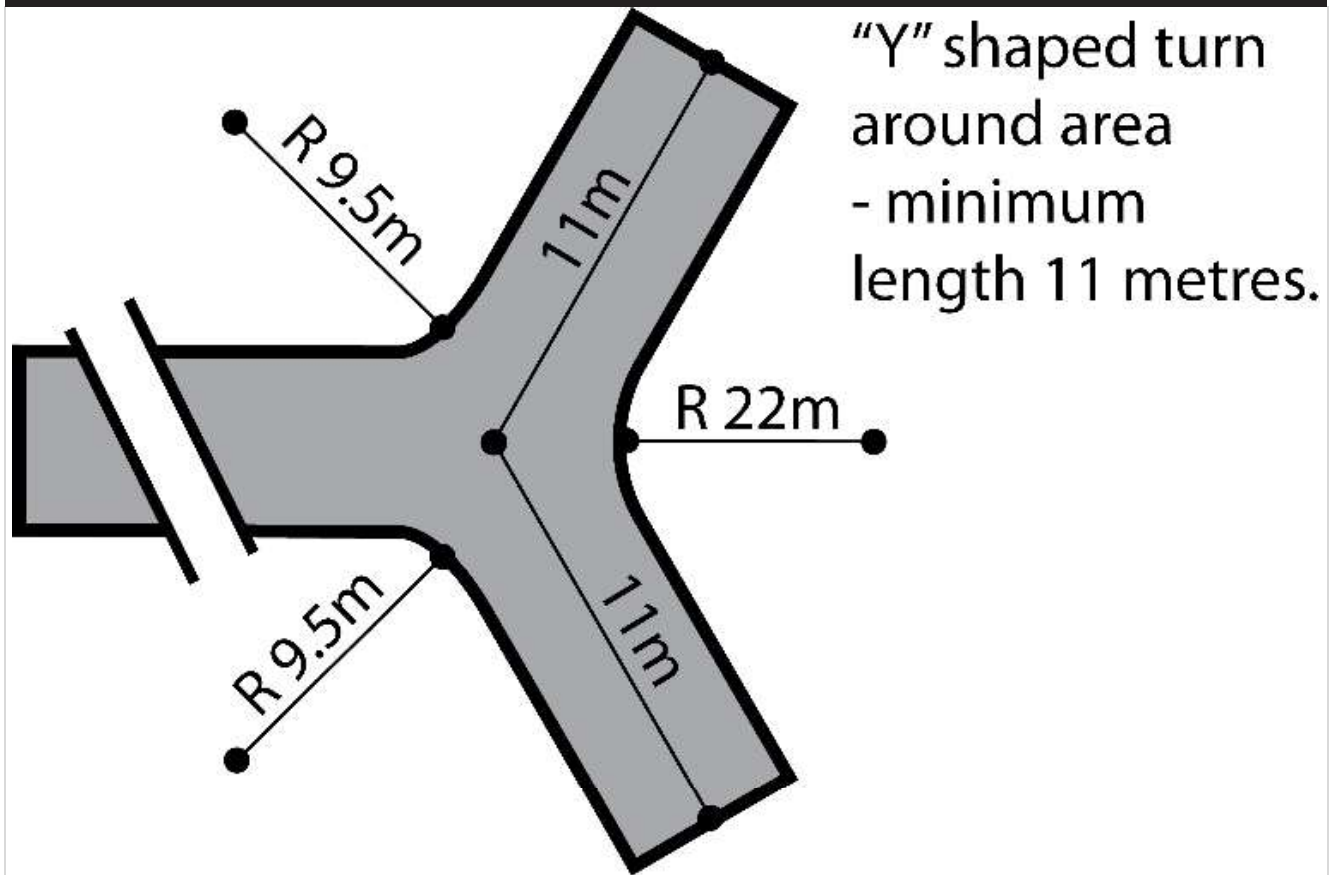
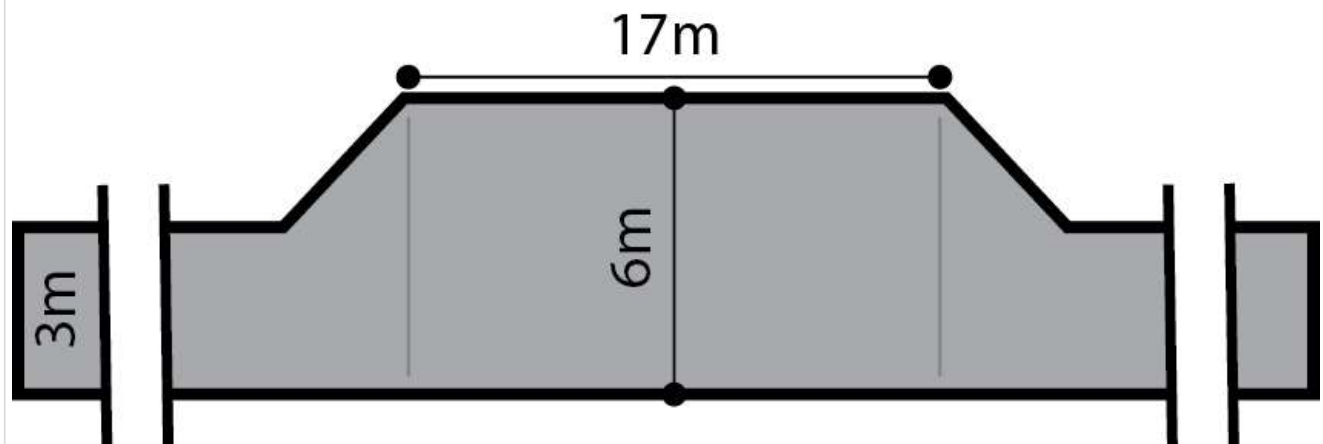


Figure 5 - Driveway Passing Bays

Passing bay for fire trucks - minimum width 6 metres, minimum length 17 metres.



Hazards (Flooding) Overlay

Assessment Provisions (AP)



Desired Outcome (DO)

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from high flood risk are minimised by retaining areas free from development, and minimising intensification where development has occurred.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Division	
<b>PO 1.1</b> Land division is limited to areas where the consequences to buildings and safety are low and can be readily managed or overcome.	<b>DTS/DPF 1.1</b> None are applicable.
Land Use	
<b>PO 2.1</b> Development sited and designed to minimise exposure of people and property to unacceptable flood risk.	<b>DTS/DPF 2.1</b> None are applicable.
<b>PO 2.2</b> Buildings housing vulnerable people, community services facilities, key infrastructure and emergency services are sited away from flood prone areas to enable uninterrupted operation of services and reduce likelihood of entrapment.	<b>DTS/DPF 2.2</b> Child care facilities, educational facilities, retirement and supported accommodation, emergency services facilities, hospitals and prisons are not located within the Overlay area.
Flood Resilience	
<b>PO 3.1</b> Development avoids the need for flood protection works.	<b>DTS/DPF 3.1</b> None are applicable.
<b>PO 3.2</b> Development does not cause unacceptable impacts on any adjoining property by the diversion of flood waters or an increase in flood velocity or flood level.	<b>DTS/DPF 3.2</b> None are applicable.
<b>PO 3.3</b> Development does not impede the flow of floodwaters through the allotment or the surrounding land, or cause an unacceptable loss of flood storage.	<b>DTS/DPF 3.3</b> None are applicable.
<b>PO 3.4</b> Development avoids frequently flooded or high velocity areas, other than where it is part of a flood mitigation scheme to reduce flood impact.	<b>DTS/DPF 3.4</b> Other than a recreation area, development is located outside of the 5% AEP principal flow path.
<b>PO 3.5</b> Buildings are sited, designed and constructed to prevent the entry of floodwaters in a 1% AEP flood event where the entry of floodwaters is likely to result in undue damage to, or compromise ongoing activities within, buildings.	<b>DTS/DPF 3.5</b> Buildings comprise one of the following: <ul style="list-style-type: none"> <li>(a) a porch or portico with at least 2 open sides</li> <li>(b) a verandah with at least 3 open sides</li> </ul>

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		(c) a carport or outbuilding with at least 2 open sides (whichever elevations face the direction of the flow) (d) any post construction with open sides (e) a building with a finished floor level that is at least 300mm above the height of a 1% AEP flood event.	
<b>PO 3.6</b>		<b>DTS/DPF 3.6</b>	
Fences do not unreasonably impede floodwaters.		A post and wire fence (other than a chain mesh fence).	
Environmental Protection			
<b>PO 4.1</b>		<b>DTS/DPF 4.1</b>	
Buildings and structures used either partly or wholly to contain or store hazardous materials are designed to prevent spills or leaks leaving the confines of the building during a 1% AEP flood event to avoid potential environmental harm.		Development involving the storage or disposal of hazardous materials is wholly located outside of the 1% AEP flood plain or flow path.	
<b>PO 4.2</b>		<b>DTS/DPF 4.2</b>	
Development does not create or aggravate the potential for erosion or siltation or lead to the destruction of vegetation during a flood.		None are applicable.	
Site Earthworks			
<b>PO 5.1</b>		<b>DTS/DPF 5.1</b>	
The depth and extent of filling required to raise the finished floor level of a building does not cause unacceptable impact on any adjoining property by diversion of flood waters, an increase in flood velocity or flood level, or an unacceptable loss of flood storage.		None are applicable.	
<b>PO 5.2</b>		<b>DTS/DPF 5.2</b>	
Driveways, access tracks and parking areas are designed and constructed to minimise excavation and filling.		Filling for ancillary purposes: (a) does not exceed 300mm above existing ground level (b) is no more than 5m wide.	
Access			
<b>PO 6.1</b>		<b>DTS/DPF 6.1</b>	
Development does not occur on land: (a) from which evacuation to areas not vulnerable to flood risk is not possible during a 1% AEP flood event (b) which cannot be accessed by emergency services vehicles or essential utility service vehicles during a 1% AEP flood event.		None are applicable.	
<b>PO 6.2</b>		<b>DTS/DPF 6.2</b>	
Access driveways and tracks to significant development (i.e. dwellings, places of work, etc.) consist of a safe, all-weather trafficable surface that is accessible during a 1% AEP flood event.		None are applicable.	

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Hazards (Flooding – General) Overlay



## Assessment Provisions (AP)

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
<b>DTS/DPF 2.1</b>  Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished ground and floor level not less than:  In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event.	

## Hazards (Flooding - Evidence Required) Overlay

## Assessment Provisions (AP)

## Desired Outcome (DO)

Desired Outcome	
DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
<b>PO 1.1</b>  Development is sited, designed and constructed to minimise the risk of entry of potential floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	<b>DTS/DPF 1.1</b>  Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished floor level at least 300mm above:  (a) the highest point of top of kerb of the primary street or (b) the highest point of natural ground level at the primary street boundary where there is no kerb
Environmental Protection	
<b>PO 2.1</b>  Buildings and structures used either partly or wholly to contain or store hazardous materials are designed to prevent spills or leaks leaving the confines of the building.	<b>DTS/DPF 2.1</b>  Development does not involve the storage of hazardous materials.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Limited Land Division Overlay

## Assessment Provisions (AP)

## Desired Outcome (DO)

Desired Outcome	
DO 1	The long term use of land for primary production is maintained by minimising fragmentation through division of land.

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
General	
<b>PO 1.1</b> Land division does not result in the creation of an additional allotment.	<b>DTS/DPF 1.1</b> No additional allotments are created.
<b>PO 1.2</b> Land division involving boundary realignments occurs only where the number of resulting allotments with a site area less than that specified in the relevant Zone is not greater than the number that existed prior to the realignment.	<b>DTS/DPF 1.2</b> None are applicable.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Mount Lofty Ranges Water Supply Catchment (Area 1) Overlay

## Assessment Provisions (AP)

## Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Wastewater	
<b>DTS/DPF 2.4</b> All components of an effluent disposal area are: <ul style="list-style-type: none"> <li>(a) set back 50 metres or more from a watercourse</li> <li>(b) set back 100 metres or more from a public water supply reservoir</li> <li>(c) located on land with a slope no greater than 1-in-5 (20%)</li> <li>(d) located on land with 1.2m or more depth to bedrock or a seasonal or permanent water table</li> <li>(e) above the 10% AEP flood level.</li> </ul>	<b>Stormwater</b>
<b>DTS/DPF 3.4</b> Development includes:	<b>DTS/DPF 3.5</b> Dwelling additions are connected to a rainwater tank with a minimum capacity of 1,000L.



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(a)	rainwater tanks with a minimum capacity of 1,000L connected to carports, verandahs and outbuildings or		
	(b) rainwater tanks with a minimum capacity of 4,500L connected to agricultural buildings exceeding 100m <sup>2</sup> .		
<b>DTS/DPF 3.6</b> Shops and tourist accommodation satisfy all the following:		<b>DTS/DPF 3.9</b> Excavation and/or filling satisfy all the following:	
(a)	are located 50m or more from watercourses, wetlands, land prone to waterlogging and bores	(a)	is located 50m or more from watercourses
(b)	are located 100m or more from public water supply reservoirs and diversion weirs	(b)	is located 100m or more from public water supply reservoirs and diversion weirs
(c)	are located on land with a slope not exceeding 20%	(c)	does not involve excavation exceeding a vertical height of 0.75m
(d)	includes buildings connected to rainwater tanks with a minimum capacity of 1,000L	(d)	does not involve filling exceeding a vertical height of 0.75m
(e)	includes swales that divert clean stormwater away from areas where it could be polluted.	(e)	does not involve a total combined excavation and filling vertical height of 1.5m.

## Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Safeguard Greater Adelaide's public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from secondary reservoirs or diversion weir catchments from the Mount Lofty Ranges.

### Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Quality	
<b>PO 1.1</b> Development results in a neutral or beneficial effect on the quality of water draining from the site to maintain and enhance the role of the catchment as a water supply.	<b>DTS/DPF 1.1</b> None are applicable.
<b>PO 1.2</b> Development does not include land uses that have the potential to cause adverse impacts on the quality of water draining into secondary public water supply reservoirs and weirs.	<b>DTS/DPF 1.2</b> Development does not involve any one or combination of the following: <ul style="list-style-type: none"> <li>(a) landfill</li> <li>(b) special industry.</li> </ul>
Wastewater	
<b>PO 2.1</b> Development that generates human wastewater, including alterations and additions, are established at an intensity and in a manner to minimise potential adverse impact on water quality within secondary reservoir and weir catchment areas.	<b>DTS/DPF 2.1</b> Development including alterations and additions, in combination with existing built form and activities within an allotment: <ul style="list-style-type: none"> <li>(a) do not generate a combined total of more than 1500 litres of wastewater per day and</li> <li>(b) will be connected to the same on-site wastewater system that is compliant with relevant South Australian standards</li> </ul> or is otherwise connected to a sewer or community wastewater management system.
<b>PO 2.2</b>	<b>DTS/DPF 2.2</b>

Dairy development is of a scale and design that will avoid adverse water quality impacts.	<p>Dairy development satisfies all of the following:</p> <ul style="list-style-type: none"> <li>(a) is located at least 100 metres from any watercourse, dam, bore or well</li> <li>(b) is connected to a wastewater management system that is located 200 metres from any watercourse, dam, bore or well and is designed and constructed to avoid leakage to groundwater or overflow under extreme rainfall conditions</li> <li>(c) treated wastewater irrigation areas: <ul style="list-style-type: none"> <li>(i) have a slope of less than 1-in-5 (20 percent)</li> <li>(ii) are greater than 100 metres from any watercourse, dam, bore or well</li> </ul> </li> </ul> <p>are suitable to provide for seasonal wastewater irrigation without causing pollution of surface or groundwater.</p>
<p><b>PO 2.3</b></p> <p>Development that generates trade or industrial wastewater is designed to ensure wastewater disposal avoids adverse impacts on the quality of water draining into secondary public water supply reservoirs and weirs.</p>	<p><b>DTS/DPF 2.3</b></p> <p>Development that generates trade or industrial wastewater is connected to:</p> <ul style="list-style-type: none"> <li>(a) a sewer or community wastewater management system with sufficient hydraulic and treatment capacity to accept the inflow</li> <li>or</li> <li>(b) an on-site wastewater holding tank which has storage capacity of more than four days total flow during peak operations and is contained within an impervious, bunded area with a total liquid holding capacity of more than 120 percent of the total holding tank capacity, prior to transporting for off-site disposal.</li> </ul>
<p><b>PO 2.4</b></p> <p>Wastewater management systems result in a neutral or beneficial effect on the quality of water draining from the site.</p>	<p><b>DTS/DPF 2.4</b></p> <p>Development results in:</p> <ul style="list-style-type: none"> <li>(a) a building or land use that is currently connected to an existing on-site wastewater system that is non-compliant with relevant South Australian standards being connected to a new or upgraded system that complies with such standards</li> <li>or</li> <li>(b) an existing on-site wastewater system being decommissioned and wastewater being disposed of to a sewer or community wastewater management system that complies with relevant South Australian standards.</li> </ul>
<p><b>PO 2.5</b></p> <p>Surface and groundwater protected from wastewater discharge pollution.</p>	<p><b>DTS/DPF 2.5</b></p> <p>All components of an effluent disposal area are:</p> <ul style="list-style-type: none"> <li>(a) setback 50 metres or more from a watercourse</li> <li>(b) setback 100 metres or more from a public water supply reservoir</li> <li>(c) located on land with a slope no greater than 1-in-5 (20%)</li> <li>(d) located on land with 1.2m or more depth to bedrock or a seasonal or permanent water table above the 10% AEP flood level.</li> <li>(e)</li> </ul>
Stormwater	
<p><b>PO 3.1</b></p> <p>Post-development peak stormwater discharge quantities and rates do not exceed pre-development quantities and rates to maintain water quality leaving the site.</p>	<p><b>DTS/DPF 3.1</b></p> <p>None are applicable.</p>
<p><b>PO 3.2</b></p> <p>Stormwater run-off from areas not likely to be subject to pollution diverted away from areas that could cause pollution.</p>	<p><b>DTS/DPF 3.2</b></p> <p>None are applicable.</p>
<p><b>PO 3.3</b></p> <p>Polluted stormwater is treated prior to discharge from the site.</p>	<p><b>DTS/DPF 3.3</b></p> <p>None are applicable.</p>
<p><b>PO 3.4</b></p> <p>Stormwater from carports, verandahs, outbuildings and agricultural buildings captured to protect water quality.</p>	<p><b>DTS/DPF 3.4</b></p> <p>Development includes:</p> <ul style="list-style-type: none"> <li>(a) rainwater tanks with a minimum capacity of 1,000L connected to carports, verandahs and outbuildings</li> <li>or</li> <li>(b) rainwater tanks with a minimum capacity of 4,500L connected to agricultural buildings exceeding 100m<sup>2</sup>.</li> </ul>
<p><b>PO 3.5</b></p> <p>Stormwater from dwelling additions captured to protect water quality.</p>	<p><b>DTS/DPF 3.5</b></p> <p>Dwelling additions are connected to a rainwater tank with a minimum capacity of</p>



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		1,000L.	
<b>PO 3.6</b> Stormwater from shops and tourist accommodation is managed to protect water quality.	<b>DTS/DPF 3.6</b> Shops and tourist accommodation satisfy all the following:  (a) are located 50m or more from watercourses, wetlands, land prone to waterlogging and bores (b) are located 100m or more from public water supply reservoirs and diversion weirs (c) are located on land with a slope not exceeding 20% (d) includes buildings connected to rainwater tanks with a minimum capacity of 1,000L (e) includes swales that divert clean stormwater away from areas where it could be polluted.		
<b>PO 3.7</b> Stormwater from horse keeping and low intensity animal husbandry is managed to protect water quality.	<b>DTS/DPF 3.7</b> Horse keeping and low intensity animal husbandry satisfy all the following:  (a) is located 50m or more from watercourses, wetlands, land prone to waterlogging and bores (b) is located on land with a slope not exceeding 10% (c) includes stables, shelters or other roofed structures connected to rainwater tanks with a minimum capacity of 1,000L (d) includes swales that divert clean stormwater away from areas (including yards, manure storage areas, and watering points) within which it could be polluted.		
<b>PO 3.8</b> Stormwater from horticulture is managed to protect water quality.	<b>DTS/DPF 3.8</b> Horticulture satisfies all the following:  (a) is located 50m or more from watercourses, wetlands, land prone to waterlogging and bores (b) is located 100m or more from public water supply reservoirs and diversion weirs (c) is located on land with a slope not exceeding 10% (d) includes swales or other structures that divert clean stormwater away from areas (including plant growing areas, chemical storage areas and plant waste storage areas) within which it could be polluted.		
<b>PO 3.9</b> Stormwater from excavated and filled areas is managed to protect water quality.	<b>DTS/DPF 3.9</b> Excavation and/or filling satisfy all the following:  (a) is located 50m or more from watercourses (b) is located 100m or more from public water supply reservoirs and diversion weirs (c) does not involve excavation exceeding a vertical height of 0.75m (d) does not involve filling exceeding a vertical height of 0.75m (e) does not involve a total combined excavation and filling vertical height of 1.5m.		
Landscapes and Natural Features			
<b>PO 4.1</b> Development minimises the need to modify landscapes and natural features.	<b>DTS/DPF 4.1</b> None are applicable.		
Land Division			
<b>PO 5.1</b> Land division does not result in an increased risk of pollution to surface or underground water.	<b>DTS/DPF 5.1</b> Land division does not create additional allotments and satisfies (a) and/or (b):  (a) is for realignment of allotment boundaries to correct an anomaly in the placement of those boundaries with respect to the location of existing buildings or structures or (b) is for realignment of allotment boundaries in order to improve management of the land for primary production and/or conservation of natural features.		
<b>PO 5.2</b> Realignment of allotment boundaries does not create development potential for a dwelling and associated onsite wastewater management system where no such potential currently exists.	<b>DTS/DPF 5.2</b> None are applicable.		

## Procedural Matters (PM)

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as

well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Any of the following classes of development that are not connected (or not proposed to be connected) to a community wastewater management system or sewerage infrastructure:</p> <p>(a) land division creating one or more additional allotments, either partly or wholly within the area of the overlay</p> <p>(b) function venue with more than 75 seats for customer dining purposes</p> <p>(c) restaurant with more than 40 seats for customer dining purposes</p> <p>(d) restaurant with more than 30 seats for customer dining purposes in association with a cellar door</p> <p>(e) dwelling where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned</p> <p>(f) tourist accommodation where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned</p> <p>(g) workers' accommodation where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned</p> <p>(h) any other development that generates human wastewater from a peak loading capacity of more than 40 persons (or more than 6,000 litres/day)</p>	Environment Protection Authority.	To provide expert technical assessment and direction to the relevant authority on whether a proposed development will have a neutral or beneficial impact on water quality.	Development of a class to which Schedule 9 clause 3 item 9 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.
Composting works (excluding a prescribed approved activity) - being a depot, facility or works with the capacity to treat, during a 12 month period more than 200 tonnes of organic waste or matter (EPA Licence)			
Wastewater treatment works - being sewage treatment works, a community wastewater management system, winery wastewater treatment works or any other wastewater treatment works with the capacity to treat, during a 12 month period more than 2.5 ML of wastewater (EPA Licence required at more than 5ML)			
Feedlots - being carrying on an operation for holding in confined yard or area and feeding principally by mechanical means or by hand not less than an average of 200 cattle (EPA Licence) or 1,600 sheep or goats per day over any period of 12 months, but excluding any such operation carried on at an abattoir, slaughterhouse or saleyard or for the purpose only of drought or other emergency feeding			
Piggeries - being the conduct of a piggery (being premises having confined or roofed structures for keeping pigs) with a capacity of 130 or more standard pig units (EPA Licence required at 650 or more standard pig units)			
Dairies - carrying on of a dairy with a total processing capacity exceeding 100 milking animals at any one time.			

## Native Vegetation Overlay

### Assessment Provisions (AP)



Desired Outcome (DO)

Desired Outcome	
DO 1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Environmental Protection	
<b>PO 1.1</b>  Development avoids, or where it cannot be practically avoided, minimises the clearance of native vegetation taking into account the siting of buildings, access points, bushfire protection measures and building maintenance.	<b>DTS/DPF 1.1</b>  An application is accompanied by: <ul style="list-style-type: none"> <li>(a) a declaration stating that the proposal will not, or would not, involve clearance of native vegetation under the Native Vegetation Act 1991, including any clearance that may occur:               <ul style="list-style-type: none"> <li>(i) in connection with a relevant access point and / or driveway</li> <li>(ii) within 10m of a building (other than a residential building or tourist accommodation)</li> <li>(iii) within 20m of a dwelling or addition to an existing dwelling for fire prevention and control</li> <li>(iv) within 50m of residential or tourist accommodation in connection with a requirement under a relevant overlay to establish an asset protection zone in a bushfire prone area</li> </ul> </li> <li>or</li> <li>(b) a report prepared in accordance with Regulation 18(2)(a) of the Native Vegetation Regulations 2017 that establishes that the clearance is categorised as 'Level 1 clearance'.</li> </ul>
<b>PO 1.2</b>  Native vegetation clearance in association with development avoids the following: <ul style="list-style-type: none"> <li>(a) significant wildlife habitat and movement corridors</li> <li>(b) rare, vulnerable or endangered plants species</li> <li>(c) native vegetation that is significant because it is located in an area which has been extensively cleared</li> <li>(d) native vegetation that is growing in, or in association with, a wetland environment.</li> </ul>	<b>DTS/DPF 1.2</b>  None are applicable.
<b>PO 1.3</b>  Intensive animal husbandry, commercial forestry and agricultural activities are sited, set back and designed to minimise impacts on native vegetation, including impacts on native vegetation in an adjacent State Significant Native Vegetation Area, from: <ul style="list-style-type: none"> <li>(a) in the case of commercial forestry, the spread of fires from a plantation</li> <li>(b) the spread of pest plants and phytophthora</li> <li>(c) the spread of non-indigenous plants species</li> <li>(d) excessive nutrient loading of the soil or loading arising from surface water runoff</li> <li>(e) soil compaction</li> <li>(f) chemical spray drift.</li> </ul>	<b>DTS/DPF 1.3</b>  Development within 500 metres of a boundary of a State Significant Native Vegetation Area does not involve any of the following: <ul style="list-style-type: none"> <li>(a) horticulture</li> <li>(b) intensive animal husbandry</li> <li>(c) dairy</li> <li>(d) commercial forestry</li> <li>(e) aquaculture.</li> </ul>
<b>PO 1.4</b>  Development restores and enhances biodiversity and habitat values through revegetation using locally indigenous plant species.	<b>DTS/DPF 1.4</b>  None are applicable.
Land division	
<b>PO 2.1</b>  Land division does not result in the fragmentation of land containing native vegetation, or necessitate the clearance of native vegetation, unless such clearance is considered minor, taking into account the location of allotment boundaries, access	<b>DTS/DPF 2.1</b>  Land division where: <ul style="list-style-type: none"> <li>(a) an application is accompanied by one of the following:</li> </ul>

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ways, fire breaks, boundary fencing and potential building siting or the like.	<p>(i) a declaration stating that none of the allotments in the proposed plan of division contain native vegetation under the <i>Native Vegetation Act 1991</i></p> <p>(ii) a declaration stating that no native vegetation clearance under the <i>Native Vegetation Act 1991</i> will be required as a result of the division of land</p> <p>(iii) a report prepared in accordance with Regulation 18(2)(a) of the Native Vegetation Regulations 2017 that establishes that the vegetation to be cleared is categorised as 'Level 1 clearance'</p> <p>or</p> <p>(b) an application for land division which is being considered concurrently with a proposal to develop each allotment which will satisfy, or would satisfy, the requirements of DTS/DPF 1.1, including any clearance that may occur</p> <p>or</p> <p>(c) the division is to support a Heritage Agreement under the Native Vegetation Act 1991 or the <i>Heritage Places Act 1993</i>.</p>

#### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development that is the subject of a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> that categorises the clearance, or potential clearance, as 'Level 3 clearance' or 'Level 4 clearance'.	Native Vegetation Council	To provide expert assessment and direction to the relevant authority on the potential impacts of development on native vegetation.	Development of a class to which Schedule 9 clause 3 item 11 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Prescribed Water Resources Area Overlay

#### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	Sustainable water use in prescribed water resources areas maintains the health and natural flow paths of surface water, watercourses and wells.

#### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p><b>PO 1.1</b></p> <p>All development, but in particular development involving any of the following:</p> <p>(a) horticulture</p> <p>(b) activities requiring irrigation</p> <p>(c) aquaculture</p> <p>(d) industry</p> <p>(e) intensive animal husbandry</p> <p>(f) commercial forestry</p>	<p><b>DTS/DPF 1.1</b></p> <p>Development satisfies either of the following:</p> <p>(a) the applicant has a current water licence in which sufficient spare capacity exists to accommodate the water needs of the proposed use</p> <p>or</p> <p>(b) the proposal does not involve the taking of water for which a licence would be required under the <i>Landscape South Australia Act 2019</i>.</p>



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has a lawful, sustainable and reliable water supply that does not place undue strain on water resources in prescribed water resource areas.			
<b>PO 1.2</b>  Development comprising the erection, construction, modification, enlargement or removal of a dam, wall or other structure that will collect or divert surface water flowing over land is undertaken in a manner that maintains the quality and quantity of flows required to meet the needs of the environment as well as downstream users.		<b>DTS/DPF 1.2</b>  None are applicable.	

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development that comprises the erection, construction, modification, enlargement or removal of a dam, wall or other structure that will collect or divert, or collects or diverts surface water flowing over land.	Relevant authority under the <i>Landscape South Australia Act 2019</i> that would, if it were not for the operation of section 106(1)(e) of that Act, have the authority under that Act to grant or refuse a permit to undertake the subject development.	To provide expert assessment and direction to the relevant authority on potential impacts from development on the health, sustainability and/or natural flow paths of water resources in accordance with the provisions of the relevant water allocation plan or regional landscape plan or equivalent.	Development of a class to which Schedule 9 clause 3 item 12 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.
Any of the following classes of development that require or may require water to be taken in addition to any allocation that has already been granted under the <i>Landscape South Australia Act 2019</i> :  (a) horticulture (b) activities requiring irrigation (c) aquaculture (d) industry (e) intensive animal husbandry (f) commercial forestry	The Chief Executive of the Department of the Minister responsible for the administration of the <i>Landscape South Australia Act 2019</i> .	To provide expert technical assessment and direction to the relevant authority on the taking of water to ensure development is undertaken sustainably and maintains the health and natural flow paths of water resources.	Development of a class to which Schedule 9 clause 3 item 13 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.
Commercial forestry that requires a forest water licence under Part 8 Division 6 of the <i>Landscape South Australia Act 2019</i> .			

## Traffic Generating Development Overlay

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.

## Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Traffic Generating Development	
<b>PO 1.1</b>  Development designed to minimise its potential impact on the safety, efficiency and functional performance of the State Maintained Road network.	<b>DTS/DPF 1.1</b>  Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> <li>(a) building, or buildings, containing in excess of 50 dwellings</li> <li>(b) land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>
<b>PO 1.2</b>  Access points sited and designed to accommodate the type and volume of traffic likely to be generated by development.	<b>DTS/DPF 1.2</b>  Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> <li>(a) building, or buildings, containing in excess of 50 dwellings</li> <li>(b) land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>
<b>PO 1.3</b>  Sufficient accessible on-site queuing provided to meet the needs of the development so that queues do not impact on the State Maintained Road network.	<b>DTS/DPF 1.3</b>  Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> <li>(a) building, or buildings, containing in excess of 50 dwellings</li> <li>(b) land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Except where all of the relevant deemed-to-satisfy criteria are met, any of the following classes of development that are proposed within 250m of a State Maintained Road: <ul style="list-style-type: none"> <li>(a) except where a proposed development has previously been referred under clause (b) - a building, or buildings, containing in excess of 50 dwellings</li> <li>(b) except where a proposed development has previously been referred under clause (a) - land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>	Commissioner of Highways.	To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.



## Urban Transport Routes Overlay

### Assessment Provisions (AP)

### Desired Outcome (DO)

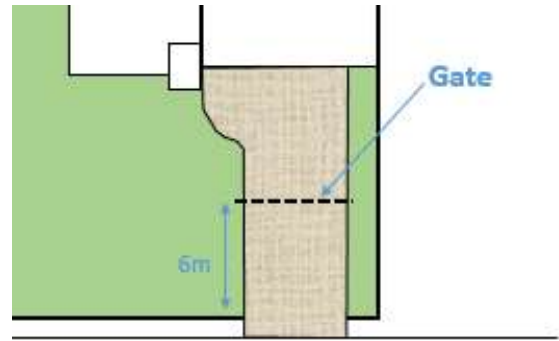
Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from Urban Transport Routes.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

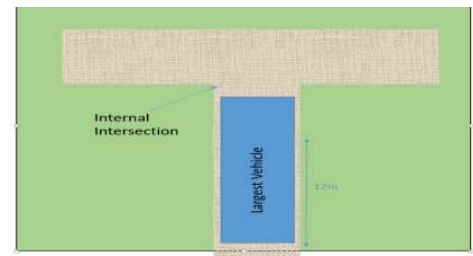
Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Access - Safe Entry and Exit (Traffic Flow)	
<p><b>PO 1.1</b></p> <p>Access is designed to allow safe entry and exit to and from a site to meet the needs of development and minimise traffic flow interference associated with access movements along adjacent State maintained roads.</p>	<p><b>DTS/DPF 1.1</b></p> <p>An access point satisfies (a), (b) or (c):</p> <p>(a) where servicing a single (1) dwelling / residential allotment:</p> <ul style="list-style-type: none"> <li>(i) it will not result in more than one access point</li> <li>(ii) vehicles can enter and exit the site in a forward direction</li> <li>(iii) vehicles can cross the property boundary at an angle between 70 degrees and 90 degrees</li> <li>(iv) passenger vehicles (with a length up to 5.2m) can enter and exit the site wholly within the kerbside lane of the road</li> <li>(v) it will have a width of between 3m and 4m (measured at the site boundary)</li> </ul> <p>(b) where the development will result in 2 and up to 6 dwellings:</p> <ul style="list-style-type: none"> <li>(i) it will not result in more than one access point servicing the development site</li> <li>(ii) vehicles can enter and exit the site in a forward direction</li> <li>(iii) vehicles can cross the property boundary at an angle between 70 degrees and 90 degrees</li> <li>(iv) passenger vehicles (with a length up to 5.2m) can enter and exit the site wholly within the kerbside lane of the road</li> <li>(v) it will have a width of between 5.8m to 6m (measured at the site boundary) and an access depth of 6m (measured from the site boundary into the site)</li> </ul> <p>(c) where the development will result in 7 or more dwellings, or is a non-residential land use:</p> <ul style="list-style-type: none"> <li>(i) it will not result in more than one access point servicing the development site</li> <li>(ii) vehicles can enter and exit the site using left turn only movements</li> <li>(iii) vehicles can enter and exit the site in a forward direction</li> <li>(iv) vehicles can cross the property boundary at an angle between 70 degrees and 90 degrees</li> <li>(v) it will have a width of between 6m and 7m (measured at the site boundary), where the development is expected to accommodate vehicles with a length of 6.4m or less</li> <li>(vi) it will have a width of between 6m and 9m (measured at the site boundary), where the development is expected to accommodate vehicles with a length from 6.4m to 8.8m</li> <li>(vii) it will have a width of between 9m and 12m (measured at the site boundary), where the development is expected to accommodate vehicles with a length from 8.8m to 12.5m</li> <li>(viii) provides for simultaneous two-way vehicle movements at the access: <ul style="list-style-type: none"> <li>A. with entry and exit movements for vehicles with a length up to 5.2m vehicles being fully within the kerbside lane of the road</li> <li>and</li> <li>B. with entry movements of 8.8m vehicles (where relevant) being fully within the kerbside lane of the road and the exit movements of 8.8m vehicles do not cross the centreline of the road.</li> </ul> </li> </ul>
Access - On-Site Queuing	
<p><b>PO 2.1</b></p> <p>Sufficient accessible on-site queuing adjacent to access points is provided to meet the needs of development so that all vehicle queues can be contained fully within the</p>	<p><b>DTS/DPF 2.1</b></p> <p>An access point in accordance with one of the following:</p>

boundaries of the development site, to minimise interruption on the functional performance of the road and maintain safe vehicle movements.

- (a) will not service, or is not intended to service, more than 6 dwellings and there are no internal driveways, intersections, car parking spaces or gates within 6.0m of the access point (measured from the site boundary into the site) as shown in the following diagram:



- (b) will service, or is intended to service, development that will generate less than 60 vehicle movements per day, and:
- (i) is expected to be serviced by vehicles with a length no greater than 6.4m
  - (ii) there are no internal driveways, intersections, parking spaces or gates within 6.0m of the access point (measured from the site boundary into the site)
- (c) will service, or is intended to service, development that will generate less than 60 vehicle movements per day, and:
- (i) is expected to be serviced by vehicles with a length greater than a 6.4m small rigid vehicle
  - (ii) there are no internal driveways, intersections, parking spaces or gates within 6.0m of the access point (measured from the site boundary into the site)
  - (iii) any termination of or change in priority of movement within the main car park aisle is located far enough into the site so that the largest vehicle expected on-site can store fully within the site before being required to stop
  - (iv) all parking or manoeuvring areas for commercial vehicles are located a minimum of 12m or the length of the longest vehicle expected on site from the access (measured from the site boundary into the site) as shown in the following diagram:



Access - (Location Spacing) - Existing Access Point

### PO 3.1

Existing access points are designed to accommodate the type and volume of traffic likely to be generated by the development.

### DTS/DPF 3.1

An existing access point satisfies (a), (b) or (c):

- (a) it will not service, or is not intended to service, more than 6 dwellings
- (b) it is not located on a Controlled Access Road and will not service development that will result in a larger class of vehicle expected to access the site using the existing access
- (c) is not located on a Controlled Access Road and development constitutes:
  - (i) a change of use between an office <500m<sup>2</sup> gross leasable floor area and a consulting room <500m<sup>2</sup> gross leasable floor area or vice versa
  - (ii) a change in use from a shop to an office, consulting room or personal or domestic services establishment
  - (iii) a change of use from a consulting room or office <250m<sup>2</sup> gross leasable floor area to shop <250m<sup>2</sup> gross leasable floor area
  - (iv) a change of use from a shop <500m<sup>2</sup> gross leasable floor area to a warehouse <500m<sup>2</sup> gross leasable floor area
  - (v) an office or consulting room with a <500m<sup>2</sup> gross leasable floor area
  - (vi) a change of use from a residential dwelling to a shop, office, consulting room or personal or domestic services establishment with <250m<sup>2</sup> gross leasable floor area.



Access – Location (Spacing) – New Access Points

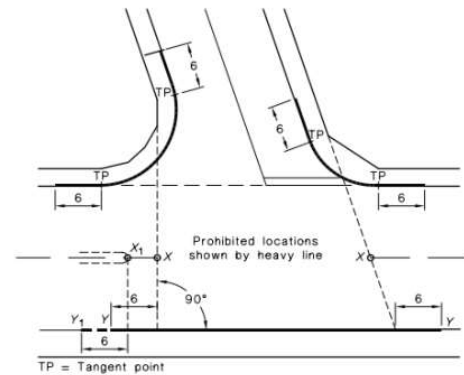
**PO 4.1**

New access points are spaced apart from any existing access point or public road junction to manage impediments to traffic flow and maintain safe and efficient operating conditions on the road.

**DTS/DPF 4.1**

A new access point satisfies (a), (b) or (c):

- (a) where a development site is intended to serve between 1 and 6 dwellings, access to the site is from the local road network (not being a Controlled Access Road) and is located outside of the bold lines shown in the following diagram:



NOTE:

The points marked  $X_1$  and  $X$  are respectively at the median end on a divided road and at the intersection of the main road centre-line and the extensions of the side road property lines shown as dotted lines, on an undivided road. On a divided road, dimension  $T-Y$  extends to Point  $T_1$ .

- (b) where the development site is intended to serve between 1 and 6 dwellings, the new access:
- (i) is not located on a Controlled Access Road
  - (ii) is not located on a section of road affected by double barrier lines
  - (iii) will be on a road with a speed environment of 70km/h or less
  - (iv) is located outside of the bold lines on the diagram shown in the diagram following part (a)
  - (v) is located a minimum of 6m from a median opening or pedestrian crossing
- (c) where DTS/DPF 4.1 part (a) and (b) do not apply and access from an alternative local road at least 25m from the State Maintained Road is not available, and the access is not located on a Controlled Access Road, the new access is separated in accordance with the following:

Speed Limit	Separation between access points	Separation from public road junctions and merging/terminating lanes
50 km/h or less	No spacing requirement	20m
60 km/h	5m (for development intended to serve between 1 and 6 dwellings) and 10m for all other cases	73m
70 km/h	40m	92m
80 km/h	50m	114m
90 km/h	65m	139m
100 km/h	80m	165m
110 km/h	100m	193m

Access – Location (Sight Lines)

**PO 5.1**

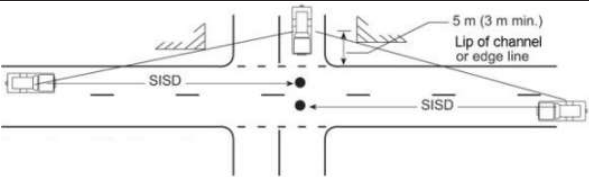
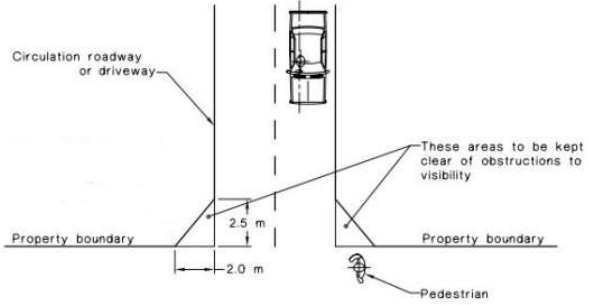
Access points are located and designed to accommodate sight lines that enable drivers and pedestrians to navigate potential conflict points with roads in a controlled and safe manner.

**DTS/DPF 5.1**

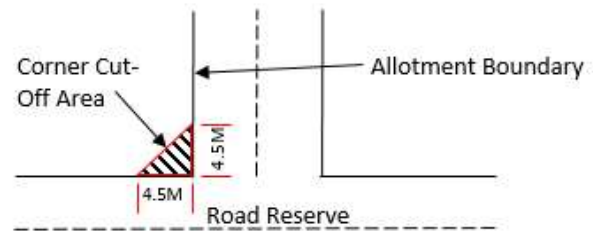
An access point satisfies (a) and (c) or (b) and (c):

- (a) the development site does or is intended to serve between 1 and 6 dwellings and utilises an existing access point or
- (b) drivers approaching or exiting an access point have an unobstructed line of sight in accordance with the following (measured at a height of 1.1m above the surface of the road):

Speed Limit	Access point serving 1-6 dwellings	Access point serving all other development
40 km/h or less	47m	73m
50 km/h	63m	97m
60 km/h	81m	123m
70 km/h	100m	151m
80 km/h	121m	181m
90 km/h	144m	226m
100 km/h	169m	262m
110km/h	195m	300m

	 <p>and (c) pedestrian sightlines in accordance with the following diagram:</p> 
Access – Mud and Debris	
<p><b>PO 6.1</b></p> <p>Access points constructed to minimise mud or other debris being carried or transferred onto the road to ensure safe road operating conditions.</p>	<p><b>DTS/DPF 6.1</b></p> <p>Where the road has an unsealed shoulder and the road is not kerbed, the access way is sealed from the edge of seal on the road for a minimum of 10m or to the property boundary (whichever is closer).</p>
Access – Stormwater	
<p><b>PO 7.1</b></p> <p>Access points are designed to minimise negative impact on roadside drainage of water.</p>	<p><b>DTS/DPF 7.1</b></p> <p>Development does not:</p> <ul style="list-style-type: none"> <li>(a) decrease the capacity of an existing drainage point</li> <li>(b) restrict or prevent the flow of stormwater through an existing drainage point and system</li> <li>(c) result in access points becoming stormwater flow paths directly onto the road.</li> </ul>
Building on Road Reserve	
<p><b>PO 8.1</b></p> <p>Buildings or structures that encroach onto, above or below road reserves are designed and sited to minimise impact on safe movements by all road users.</p>	<p><b>DTS/DPF 8.1</b></p> <p>Buildings or structures are not located on, above or below the road reserve.</p>
Public Road Junctions	
<p><b>PO 9.1</b></p> <p>New junctions with a public road (including the opening of unmade public road junctions) or modifications to existing road junctions are located and designed to ensure safe operating conditions are maintained on the State Maintained Road.</p>	<p><b>DTS/DPF 9.1</b></p> <p>Development does not comprise any of the following:</p> <ul style="list-style-type: none"> <li>(a) creating a new junction with a public road</li> <li>(b) opening an unmade public road junction</li> <li>(c) modifying an existing public road junction.</li> </ul>
Corner Cut-Offs	
<p><b>PO 10.1</b></p> <p>Development is located and designed to maintain sightlines for drivers turning into and out of public road junctions to contribute to driver safety.</p>	<p><b>DTS/DPF 10.1</b></p> <p>Development does not involve building work, or building work is located wholly outside the land shown as 'Corner Cut-Off Area' in the following diagram:</p>





### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where all of the relevant deemed-to-satisfy criteria are met, development (including the division of land) that involves any of the following to/on a State Maintained Road or within 25 metres of an intersection with any such road:</p> <ul style="list-style-type: none"> <li>(a) creation of a new access or junction</li> <li>(b) alterations to an existing access or public road junction (except where deemed to be minor in the opinion of the relevant authority)</li> <li>(c) development that changes the nature of vehicular movements or increase the number or frequency of movements through an existing access (except where deemed to be minor in the opinion of the relevant authority).</li> </ul>	Commissioner of Highways.	To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

### Water Resources Overlay

#### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

#### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Catchment	
<p>PO 1.1</p> <p>Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>

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extent) are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.			
<b>PO 1.2</b>		<b>DTS/DPF 1.2</b>	
Development avoids interfering with the existing hydrology or water regime of swamps and wetlands other than to improve the existing conditions to enhance environmental values.		None are applicable.	
<b>PO 1.3</b>		<b>DTS/DPF 1.3</b>	
Wetlands and low-lying areas providing habitat for native flora and fauna are not drained, except temporarily for essential management purposes to enhance environmental values.		None are applicable.	
<b>PO 1.4</b>		<b>DTS/DPF 1.4</b>	
Watercourses, areas of remnant native vegetation, or areas prone to erosion that are capable of natural regeneration are fenced off to limit stock access.		None are applicable.	
<b>PO 1.5</b>		<b>DTS/DPF 1.5</b>	
Development that increases surface water run-off includes a suitably sized strip of vegetated land on each side of a watercourse to filter runoff to:		A strip of land 20m or more wide measured from the top of existing banks on each side of the watercourse is free from development, livestock use and revegetated with locally indigenous vegetation.	
(a) reduce the impacts on native aquatic ecosystems (b) minimise soil loss eroding into the watercourse.			
<b>PO 1.6</b>		<b>DTS/DPF 1.6</b>	
Development resulting in the depositing or placing of an object or solid material in a watercourse or lake occurs only where it involves any of the following:		None are applicable.	
(a) the construction of an erosion control structure (b) devices or structures used to extract or regulate water flowing in a watercourse (c) devices used for scientific purposes (d) the rehabilitation of watercourses.			
<b>PO 1.7</b>		<b>DTS/DPF 1.7</b>	
Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.		None are applicable.	
<b>PO 1.8</b>		<b>DTS/DPF 1.8</b>	
Watercourses, floodplains (1% AEP flood extent) and wetlands are protected and enhanced by stabilising watercourse banks and reducing sediments and nutrients entering the watercourse.		None are applicable.	
<b>PO 1.9</b>		<b>DTS/DPF 1.9</b>	
Dams, water tanks and diversion drains are located and constructed to maintain the quality and quantity of flows required to meet environmental and downstream needs.		None are applicable.	

#### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Part 4 - General Development Policies



## Advertisements

### Assessment Provisions (AP)

### Desired Outcome (DO)

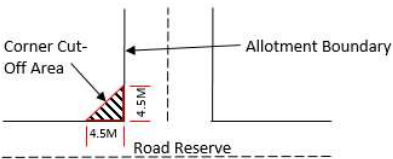
Desired Outcome	
DO 1	Advertisements and advertising hoardings are appropriate to context, efficient and effective in communicating with the public, limited in number to avoid clutter, and do not create hazard.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Appearance	
<b>PO 1.1</b>  Advertisements are compatible and integrated with the design of the building and/or land they are located on.	<b>DTS/DPF 1.1</b>  Advertisements attached to a building satisfy all of the following: <ul style="list-style-type: none"> <li>(a) are not located in a Neighbourhood-type zone</li> <li>(b) where they are flush with a wall:               <ul style="list-style-type: none"> <li>(i) if located at canopy level, are in the form of a fascia sign</li> <li>(ii) if located above canopy level:                   <ul style="list-style-type: none"> <li>A. do not have any part rising above parapet height</li> <li>B. are not attached to the roof of the building</li> </ul> </li> </ul> </li> <li>(c) where they are not flush with a wall:               <ul style="list-style-type: none"> <li>(i) if attached to a verandah, no part of the advertisement protrudes beyond the outer limits of the verandah structure</li> <li>(ii) if attached to a two-storey building:                   <ul style="list-style-type: none"> <li>A. has no part located above the finished floor level of the second storey of the building</li> <li>B. does not protrude beyond the outer limits of any verandah structure below</li> <li>C. does not have a sign face that exceeds 1m<sup>2</sup> per side.</li> </ul> </li> </ul> </li> <li>(d) if located below canopy level, are flush with a wall</li> <li>(e) if located at canopy level, are in the form of a fascia sign</li> <li>(f) if located above a canopy:               <ul style="list-style-type: none"> <li>(i) are flush with a wall</li> <li>(ii) do not have any part rising above parapet height</li> <li>(iii) are not attached to the roof of the building.</li> </ul> </li> <li>(g) if attached to a verandah, no part of the advertisement protrudes beyond the outer limits of the verandah structure</li> <li>(h) if attached to a two-storey building, have no part located above the finished floor level of the second storey of the building</li> <li>(i) where they are flush with a wall, do not, in combination with any other existing sign, cover more than 15% of the building facade to which they are attached.</li> </ul>
<b>PO 1.2</b>  Advertising hoardings do not disfigure the appearance of the land upon which they are situated or the character of the locality.	<b>DTS/DPF 1.2</b>  Where development comprises an advertising hoarding, the supporting structure is: <ul style="list-style-type: none"> <li>(a) concealed by the associated advertisement and decorative detailing or</li> <li>(b) not visible from an adjacent public street or thoroughfare, other than a support structure in the form of a single or dual post design.</li> </ul>
<b>PO 1.3</b>	<b>DTS/DPF 1.3</b>

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Advertising does not encroach on public land or the land of an adjacent allotment.		Advertisements and/or advertising hoardings are contained within the boundaries of the site.	
<p><b>PO 1.4</b></p> <p>Where possible, advertisements on public land are integrated with existing structures and infrastructure.</p>	<p><b>DTS/DPF 1.4</b></p> <p>Advertisements on public land that meet at least one of the following:</p> <p>(a) achieves Advertisements DTS/DPF 1.1</p> <p>(b) are integrated with a bus shelter.</p>		
<p><b>PO 1.5</b></p> <p>Advertisements and/or advertising hoardings are of a scale and size appropriate to the character of the locality.</p>	<p><b>DTS/DPF 1.5</b></p> <p>None are applicable.</p>		
Proliferation of Advertisements			
<p><b>PO 2.1</b></p> <p>Proliferation of advertisements is minimised to avoid visual clutter and untidiness.</p>	<p><b>DTS/DPF 2.1</b></p> <p>No more than one freestanding advertisement is displayed per occupancy.</p>		
<p><b>PO 2.2</b></p> <p>Multiple business or activity advertisements are co-located and coordinated to avoid visual clutter and untidiness.</p>	<p><b>DTS/DPF 2.2</b></p> <p>Advertising of a multiple business or activity complex is located on a single advertisement fixture or structure.</p>		
<p><b>PO 2.3</b></p> <p>Proliferation of advertisements attached to buildings is minimised to avoid visual clutter and untidiness.</p>	<p><b>DTS/DPF 2.3</b></p> <p>Advertisements satisfy all of the following:</p> <p>(a) are attached to a building</p> <p>(b) other than in a Neighbourhood-type zone, where they are flush with a wall, cover no more than 15% of the building facade to which they are attached</p> <p>(c) do not result in more than one sign per occupancy that is not flush with a wall.</p>		
Advertising Content			
<p><b>PO 3.1</b></p> <p>Advertisements are limited to information relating to the lawful use of land they are located on to assist in the ready identification of the activity or activities on the land and avoid unrelated content that contributes to visual clutter and untidiness.</p>	<p><b>DTS/DPF 3.1</b></p> <p>Advertisements contain information limited to a lawful existing or proposed activity or activities on the same site as the advertisement.</p>		
Amenity Impacts			
<p><b>PO 4.1</b></p> <p>Light spill from advertisement illumination does not unreasonably compromise the amenity of sensitive receivers.</p>	<p><b>DTS/DPF 4.1</b></p> <p>Advertisements do not incorporate any illumination.</p>		
Safety			
<p><b>PO 5.1</b></p> <p>Advertisements and/or advertising hoardings erected on a verandah or projecting from a building wall are designed and located to allow for safe and convenient pedestrian access.</p>	<p><b>DTS/DPF 5.1</b></p> <p>Advertisements have a minimum clearance of 2.5m between the top of the footpath and base of the underside of the sign.</p>		
<p><b>PO 5.2</b></p> <p>Advertisements and/or advertising hoardings do not distract or create a hazard to drivers through excessive illumination.</p>	<p><b>DTS/DPF 5.2</b></p> <p>No advertisement illumination is proposed.</p>		
<p><b>PO 5.3</b></p> <p>Advertisements and/or advertising hoardings do not create a hazard to drivers by:</p>	<p><b>DTS/DPF 5.3</b></p> <p>Advertisements satisfy all of the following:</p>		



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<p>(a) being liable to interpretation by drivers as an official traffic sign or signal</p> <p>(b) obscuring or impairing drivers' view of official traffic signs or signals</p> <p>(c) obscuring or impairing drivers' view of features of a road that are potentially hazardous (such as junctions, bends, changes in width and traffic control devices) or other road or rail vehicles at/or approaching level crossings.</p>		<p>(a) are not located in a public road or rail reserve</p> <p>(b) are located wholly outside the land shown as 'Corner Cut-Off Area' in the following diagram</p> 	
<p><b>PO 5.4</b></p> <p>Advertisements and/or advertising hoardings do not create a hazard by distracting drivers from the primary driving task at a location where the demands on driver concentration are high.</p>		<p><b>DTS/DPF 5.4</b></p> <p>Advertisements and/or advertising hoardings are not located along or adjacent to a road having a speed limit of 80km/h or more.</p>	
<p><b>PO 5.5</b></p> <p>Advertisements and/or advertising hoardings provide sufficient clearance from the road carriageway to allow for safe and convenient movement by all road users.</p>		<p><b>DTS/DPF 5.5</b></p> <p>Where the advertisement or advertising hoarding is:</p> <p>(a) on a kerbed road with a speed zone of 60km/h or less, the advertisement or advertising hoarding is located at least 0.6m from the roadside edge of the kerb</p> <p>(b) on an unkerbed road with a speed zone of 60km/h or less, the advertisement or advertising hoarding is located at least 5.5m from the edge of the seal</p> <p>(c) on any other kerbed or unkerbed road, the advertisement or advertising hoarding is located a minimum of the following distance from the roadside edge of the kerb or the seal:</p> <p>(a) 110 km/h road - 14m</p> <p>(b) 100 km/h road - 13m</p> <p>(c) 90 km/h road - 10m</p> <p>(d) 70 or 80 km/h road - 8.5m.</p>	
<p><b>PO 5.6</b></p> <p>Advertising near signalised intersections does not cause unreasonable distraction to road users through illumination, flashing lights, or moving or changing displays or messages.</p>		<p><b>DTS/DPF 5.6</b></p> <p>Advertising:</p> <p>(a) is not illuminated</p> <p>(b) does not incorporate a moving or changing display or message</p> <p>(c) does not incorporate a flashing light(s).</p>	

## Animal Keeping and Horse Keeping

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Animals are kept at a density that is not beyond the carrying capacity of the land and in a manner that minimises their adverse effects on the environment, local amenity and surrounding development.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting and Design	
<p><b>PO 1.1</b></p> <p>Animal keeping, horse keeping and associated activities do not create adverse</p>	<p><b>DTS/DPF 1.1</b></p> <p>None are applicable.</p>

impacts on the environment or the amenity of the locality.	
<b>PO 1.2</b> Animal keeping and horse keeping is located and managed to minimise the potential transmission of disease to other operations where animals are kept.	<b>DTS/DPF 1.2</b> None are applicable.
Horse Keeping	
<b>PO 2.1</b> Water from stable wash-down areas is directed to appropriate absorption areas and/or drainage pits to minimise pollution of land and water.	<b>DTS/DPF 2.1</b> None are applicable.
<b>PO 2.2</b> Stables, horse shelters or associated yards are sited appropriate distances away from sensitive receivers and/or allotments in other ownership to avoid adverse impacts from dust, erosion and odour.	<b>DTS/DPF 2.2</b> Stables, horse shelters and associated yards are sited in accordance with all of the following:  <b>(a)</b> 30m or more from any sensitive receivers (existing or approved) on land in other ownership <b>(b)</b> where an adjacent allotment is vacant and in other ownership, 30m or more from the boundary of that allotment.
<b>PO 2.3</b> All areas accessible to horses are separated from septic tank effluent disposal areas to protect the integrity of that system. Stable flooring is constructed with an impervious material to facilitate regular cleaning.	<b>DTS/DPF 2.3</b> Septic tank effluent disposal areas are enclosed with a horse-proof barrier such as a fence to exclude horses from this area.
<b>PO 2.4</b> To minimise environmental harm and adverse impacts on water resources, stables, horse shelters and associated yards are appropriately set back from a watercourse.	<b>DTS/DPF 2.4</b> Stables, horse shelters and associated yards are set back 50m or more from a watercourse.
<b>PO 2.5</b> Stables, horse shelters and associated yards are located on slopes that are stable to minimise the risk of soil erosion and water runoff.	<b>DTS/DPF 2.5</b> Stables, horse shelters and associated yards are not located on land with a slope greater than 10% (1-in-10).
Kennels	
<b>PO 3.1</b> Kennel flooring is constructed with an impervious material to facilitate regular cleaning.	<b>DTS/DPF 3.1</b> The floors of kennels satisfy all of the following:  <b>(a)</b> are constructed of impervious concrete <b>(b)</b> are designed to be self-draining when washed down.
<b>PO 3.2</b> Kennels and exercise yards are designed and sited to minimise noise nuisance to neighbours through measures such as:  <b>(a)</b> adopting appropriate separation distances <b>(b)</b> orientating openings away from sensitive receivers.	<b>DTS/DPF 3.2</b> Kennels are sited 500m or more from the nearest sensitive receiver on land in other ownership.
<b>PO 3.3</b> Dogs are regularly observed and managed to minimise nuisance impact on adjoining sensitive receivers from animal behaviour.	<b>DTS/DPF 3.3</b> Kennels are sited in association with a permanent dwelling on the land.
Wastes	
<b>PO 4.1</b> Storage of manure, used litter and other wastes (other than wastewater lagoons) is designed, constructed and managed to minimise attracting and harbouring vermin.	<b>DTS/DPF 4.1</b> None are applicable.



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<b>PO 4.2</b> Facilities for the storage of manure, used litter and other wastes (other than wastewater lagoons) are located to minimise the potential for polluting water resources.		<b>DTS/DPF 4.2</b> Waste storage facilities (other than wastewater lagoons) are located outside the 1% AEP flood event areas.	

## Aquaculture

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Aquaculture facilities are developed in an ecologically, economically and socially sustainable manner to support an equitable sharing of marine, coastal and inland resources and mitigate conflict with other water-based and land-based uses.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land-based Aquaculture	
<b>PO 1.1</b> Land-based aquaculture and associated components are sited and designed to mitigate adverse impacts on nearby sensitive receivers.	<b>DTS/DPF 1.1</b> Land-based aquaculture and associated components are located to satisfy all of the following: <ul style="list-style-type: none"> <li>(a) 200m or more from a sensitive receiver in other ownership</li> <li>(b) 500m or more from the boundary of a zone primarily intended to accommodate sensitive receivers</li> </ul> or The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
<b>PO 1.2</b> Land-based aquaculture and associated components are sited and designed to prevent surface flows from entering ponds in a 1% AEP sea flood level event.	<b>DTS/DPF 1.2</b> None are applicable.
<b>PO 1.3</b> Land-based aquaculture and associated components are sited and designed to prevent pond leakage that would pollute groundwater.	<b>DTS/DPF 1.3</b> The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
<b>PO 1.4</b> Land-based aquaculture and associated components are sited and designed to prevent farmed species escaping and entering into any waters.	<b>DTS/DPF 1.4</b> The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
<b>PO 1.5</b> Land-based aquaculture and associated components, including intake and discharge pipes, are designed to minimise the need to traverse sensitive areas to minimise impact on the natural environment.	<b>DTS/DPF 1.5</b> None are applicable.

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<b>PO 1.6</b>	Pipe inlets and outlets associated with land-based aquaculture are sited and designed to minimise the risk of disease transmission.	<b>DTS/DPF 1.6</b>	The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
<b>PO 1.7</b>	Storage areas associated with aquaculture activity are integrated with the use of the land and sited and designed to minimise their visual impact on the surrounding environment.	<b>DTS/DPF 1.7</b>	None are applicable.
Marine Based Aquaculture			
<b>PO 2.1</b>	Marine aquaculture is sited and designed to minimise its adverse impacts on sensitive ecological areas including:  (a) creeks and estuaries (b) wetlands (c) significant seagrass and mangrove communities (d) marine habitats and ecosystems.	<b>DTS/DPF 2.1</b>	None are applicable.
<b>PO 2.2</b>	Marine aquaculture is sited in areas with adequate water current to disperse sediments and dissolve particulate wastes to prevent the build-up of waste that may cause environmental harm.	<b>DTS/DPF 2.2</b>	The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
<b>PO 2.3</b>	Marine aquaculture is designed to not involve discharge of human waste on the site, on any adjacent land or into nearby waters.	<b>DTS/DPF 2.3</b>	The development does not include toilet facilities located over water.
<b>PO 2.4</b>	Marine aquaculture (other than inter-tidal aquaculture) is located an appropriate distance seaward of the high water mark.	<b>DTS/DPF 2.4</b>	Marine aquaculture development is located 100m or more seaward of the high water mark  or  The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
<b>PO 2.5</b>	Marine aquaculture is sited and designed to not obstruct or interfere with:  (a) areas of high public use (b) areas, including beaches, used for recreational activities such as swimming, fishing, skiing, sailing and other water sports (c) areas of outstanding visual or environmental value (d) areas of high tourism value (e) areas of important regional or state economic activity, including commercial ports, wharfs and jetties (f) the operation of infrastructure facilities including inlet and outlet pipes associated with the desalination of sea water.	<b>DTS/DPF 2.5</b>	None are applicable.
<b>PO 2.6</b>	Marine aquaculture is sited and designed to minimise interference and obstruction to the natural processes of the coastal and marine environment.	<b>DTS/DPF 2.6</b>	None are applicable.
<b>PO 2.7</b>	Marine aquaculture is designed to be as unobtrusive as practicable by incorporating measures such as:  (a) using feed hoppers painted in subdued colours and suspending them as close as possible to the surface of the water	<b>DTS/DPF 2.7</b>	None are applicable.



<p>(b) positioning structures to protrude the minimum distance practicable above the surface of the water</p> <p>(c) avoiding the use of shelters and structures above cages and platforms unless necessary to exclude predators and protected species from interacting with the farming structures and/or stock inside the cages, or for safety reasons</p> <p>(d) positioning racks, floats and other farm structures in unobtrusive locations landward from the shoreline.</p>	
<p><b>PO 2.8</b></p> <p>Access, launching and maintenance facilities utilise existing established roads, tracks, ramps and paths to or from the sea where possible to minimise environmental and amenity impacts.</p>	<p><b>DTS/DPF 2.8</b></p> <p>The development utilises existing established roads, tracks, ramps and/or paths (as applicable) to access the sea.</p>
<p><b>PO 2.9</b></p> <p>Access, launching and maintenance facilities are developed as common user facilities and are co-located where practicable to mitigate adverse impacts on coastal areas.</p>	<p><b>DTS/DPF 2.9</b></p> <p>The development utilises existing established roads, tracks, ramps and/or paths (as applicable) to access the sea.</p>
<p><b>PO 2.10</b></p> <p>Marine aquaculture is sited to minimise potential impacts on, and to protect the integrity of, reserves under the <i>National Parks and Wildlife Act 1972</i>.</p>	<p><b>DTS/DPF 2.10</b></p> <p>Marine aquaculture is located 1000m or more seaward of the boundary of any reserve under the <i>National Parks and Wildlife Act 1972</i>.</p>
<p><b>PO 2.11</b></p> <p>Onshore storage, cooling and processing facilities do not impair the coastline and its visual amenity by:</p> <p>(a) being sited, designed, landscaped and of a scale to reduce the overall bulk and appearance of buildings and complement the coastal landscape</p> <p>(b) making provision for appropriately sited and designed vehicular access arrangements, including using existing vehicular access arrangements as far as practicable</p> <p>(c) incorporating appropriate waste treatment and disposal.</p>	<p><b>DTS/DPF 2.11</b></p> <p>The development does not include any onshore facilities in conjunction with a proposal for marine aquaculture.</p>
Navigation and Safety	
<p><b>PO 3.1</b></p> <p>Marine aquaculture sites are suitably marked to maintain navigational safety.</p>	<p><b>DTS/DPF 3.1</b></p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p><b>PO 3.2</b></p> <p>Marine aquaculture is sited to provide adequate separation between farms for safe navigation.</p>	<p><b>DTS/DPF 3.2</b></p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
Environmental Management	
<p><b>PO 4.1</b></p> <p>Marine aquaculture is maintained to prevent hazards to people and wildlife, including breeding grounds and habitats of native marine mammals and terrestrial fauna, especially migratory species.</p>	<p><b>DTS/DPF 4.1</b></p> <p>None are applicable.</p>
<p><b>PO 4.2</b></p> <p>Marine aquaculture is designed to facilitate the relocation or removal of structures in the case of emergency such as oil spills, algal blooms and altered water flows.</p>	<p><b>DTS/DPF 4.2</b></p> <p>None are applicable.</p>
<p><b>PO 4.3</b></p> <p>Marine aquaculture provides for progressive or future reclamation of disturbed areas ahead of, or upon, decommissioning.</p>	<p><b>DTS/DPF 4.3</b></p> <p>None are applicable.</p>
<p><b>PO 4.4</b></p>	<p><b>DTS/DPF 4.4</b></p>

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Aquaculture operations incorporate measures for the removal and disposal of litter, disused material, shells, debris, detritus, dead animals and animal waste to prevent pollution of waters, wetlands, or the nearby coastline.	The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .

## Beverage Production in Rural Areas

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Mitigation of potential amenity and environmental impacts of value-adding beverage production facilities such as wineries, distilleries, cideries and breweries.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Odour and Noise	
<b>PO 1.1</b> Beverage production activities are designed and sited to minimise odour impacts on rural amenity.	<b>DTS/DPF 1.1</b> None are applicable.
<b>PO 1.2</b> Beverage production activities are designed and sited to minimise noise impacts on sensitive receivers.	<b>DTS/DPF 1.2</b> None are applicable.
<b>PO 1.3</b> Fermentation, distillation, manufacturing, storage, packaging and bottling activities occur within enclosed buildings to improve the visual appearance within a locality and manage noise associated with these activities.	<b>DTS/DPF 1.3</b> None are applicable.
<b>PO 1.4</b> Breweries are designed to minimise odours emitted during boiling and fermentation stages of production.	<b>DTS/DPF 1.4</b> Brew kettles are fitted with a vapour condenser.
<b>PO 1.5</b> Beverage production solid wastes are stored in a manner that minimises odour impacts on sensitive receivers in other ownership.	<b>DTS/DPF 1.5</b> Solid waste from beverage production is collected and stored in sealed containers and removed from the site within 48 hours.
Water Quality	
<b>PO 2.1</b> Beverage production wastewater management systems (including wastewater irrigation) are set back from watercourses to minimise adverse impacts on water resources.	<b>DTS/DPF 2.1</b> Wastewater management systems are set back 50m or more from the banks of watercourses and bores.



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<b>PO 2.2</b>	The storage or disposal of chemicals or hazardous substances is undertaken in a manner to prevent pollution of water resources.	<b>DTS/DPF 2.2</b>	None are applicable.
<b>PO 2.3</b>	Stormwater runoff from areas that may cause contamination due to beverage production activities (including vehicle movements and machinery operations) is drained to an onsite stormwater treatment system to manage potential environmental impacts.	<b>DTS/DPF 2.3</b>	None are applicable.
<b>PO 2.4</b>	Stormwater runoff from areas unlikely to cause contamination by beverage production and associated activities (such as roof catchments and clean hard-paved surfaces) is diverted away from beverage production areas and wastewater management systems.	<b>DTS/DPF 2.4</b>	None are applicable.
Wastewater Irrigation			
<b>PO 3.1</b>	Beverage production wastewater irrigation systems are designed and located to not contaminate soil and surface and ground water resources or damage crops.	<b>DTS/DPF 3.1</b>	None are applicable.
<b>PO 3.2</b>	Beverage production wastewater irrigation systems are designed and located to minimise impact on amenity and avoid spray drift onto adjoining land.	<b>DTS/DPF 3.2</b>	Beverage production wastewater is not irrigated within 50m of any dwelling in other ownership.
<b>PO 3.3</b>	<p>Beverage production wastewater is not irrigated onto areas that pose an undue risk to the environment or amenity such as:</p> <ul style="list-style-type: none"> <li>(a) waterlogged areas</li> <li>(b) land within 50m of a creek, swamp or domestic or stock water bore</li> <li>(c) land subject to flooding</li> <li>(d) steeply sloping land</li> <li>(e) rocky or highly permeable soil overlaying an unconfined aquifer.</li> </ul>	<b>DTS/DPF 3.3</b>	None are applicable.

## Bulk Handling and Storage Facilities

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Facilities for the bulk handling and storage of agricultural, mineral, petroleum, rock, ore or other similar commodities are designed to minimise adverse impacts on transport networks, the landscape and surrounding land uses.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting and Design	

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<p><b>PO 1.1</b></p> <p>Bulk handling and storage facilities are sited and designed to minimise risks of adverse air quality and noise impacts on sensitive receivers.</p>		<p><b>DTS/DPF 1.1</b></p> <p>Facilities for the handling, storage and dispatch of commodities in bulk (excluding processing) meet the following minimum separation distances from sensitive receivers:</p> <p>(a) bulk handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals), where the handling of these materials into or from vessels does not exceed 100 tonnes per day: 300m or more from residential premises not associated with the facility</p> <p>(b) bulk handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility: 300m or more from residential premises not associated with the facility</p> <p>(c) bulk petroleum storage involving individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1,000 cubic metres: 500m or more</p> <p>(d) coal handling with: a. capacity up to 1 tonne per day or a storage capacity up to 50 tonnes: 500m or more b. capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes: 1000m or more.</p>	
Buffers and Landscaping			
<p><b>PO 2.1</b></p> <p>Bulk handling and storage facilities incorporate a buffer area for the establishment of dense landscaping adjacent road frontages to enhance the appearance of land and buildings from public thoroughfares.</p>		<p><b>DTS/DPF 2.1</b></p> <p>None are applicable.</p>	
<p><b>PO 2.2</b></p> <p>Bulk handling and storage facilities incorporate landscaping to assist with screening and dust filtration.</p>		<p><b>DTS/DPF 2.2</b></p> <p>None are applicable.</p>	
Access and Parking			
<p><b>PO 3.1</b></p> <p>Roadways and vehicle parking areas associated with bulk handling and storage facilities are designed and surfaced to control dust emissions and prevent drag out of material from the site.</p>		<p><b>DTS/DPF 3.1</b></p> <p>Roadways and vehicle parking areas are sealed with an all-weather surface.</p>	
Slipways, Wharves and Pontoons			
<p><b>PO 4.1</b></p> <p>Slipways, wharves and pontoons used for the handling of bulk materials (such as fuel, oil, catch, bait and the like) incorporate catchment devices to avoid the release of materials into adjacent waters.</p>		<p><b>DTS/DPF 4.1</b></p> <p>None are applicable.</p>	

## Clearance from Overhead Powerlines

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
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PO 1.1	Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1	<p>One of the following is satisfied:</p> <p>(a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i></p> <p>(b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.</p>

## Design

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <p>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area</p> <p>(b) durable - fit for purpose, adaptable and long lasting</p> <p>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</p> <p>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</p>

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome		Deemed-to-Satisfy Criteria / Designated Performance Feature	
All development			
External Appearance			
PO 1.1	Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope).	DTS/DPF 1.1	None are applicable.
PO 1.2	Where zero or minor setbacks are desirable, development provides shelter over footpaths ( <u>in the form of verandahs, awnings, canopies and the like, with adequate lighting</u> ) to positively contribute to the walkability, comfort and safety of the public realm.	DTS/DPF 1.2	None are applicable.
PO 1.3	Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape.	DTS/DPF 1.3	None are applicable.
PO 1.4	<p>Plant, exhaust and intake vents and other technical equipment is integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by:</p> <p>(a) positioning plant and equipment in unobtrusive locations viewed from public roads and spaces</p> <p>(b) screening rooftop plant and equipment from view</p> <p>(c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses.</p>	DTS/DPF 1.4	Development does not incorporate any structures that protrude beyond the roofline.

<b>PO 1.5</b>  The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form) taking into account the form of development contemplated in the relevant zone.	<b>DTS/DPF 1.5</b>  None are applicable.
Safety	
<b>PO 2.1</b>  Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable.	<b>DTS/DPF 2.1</b>  None are applicable.
<b>PO 2.2</b>  Development is designed to differentiate public, communal and private areas.	<b>DTS/DPF 2.2</b>  None are applicable.
<b>PO 2.3</b>  Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas.	<b>DTS/DPF 2.3</b>  None are applicable.
<b>PO 2.4</b>  Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm.	<b>DTS/DPF 2.4</b>  None are applicable.
<b>PO 2.5</b>  Common areas and entry points of buildings (such as the foyer areas of residential buildings), and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night.	<b>DTS/DPF 2.5</b>  None are applicable.
Landscaping	
<b>PO 3.1</b>  Soft landscaping and tree planting is incorporated to: <ul style="list-style-type: none"> <li>(a) minimise heat absorption and reflection</li> <li>(b) maximise shade and shelter</li> <li>(c) maximise stormwater infiltration</li> <li>(d) enhance the appearance of land and streetscapes</li> <li>(e) contribute to biodiversity.</li> </ul>	<b>DTS/DPF 3.1</b>  None are applicable.
<b>PO 3.2</b>  Soft landscaping and tree planting maximises the use of locally indigenous plant species, incorporates plant species best suited to current and future climate conditions and avoids pest plant and weed species.	<b>DTS/DPF 3.2</b>  None are applicable.
Environmental Performance	
<b>PO 4.1</b>  Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces.	<b>DTS/DPF 4.1</b>  None are applicable.
<b>PO 4.2</b>  Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling.	<b>DTS/DPF 4.2</b>  None are applicable.



<p><b>PO 4.3</b></p> <p>Buildings incorporate climate-responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells.</p>	<p><b>DTS/DPF 4.3</b></p> <p>None are applicable.</p>
Water Sensitive Design	
<p><b>PO 5.1</b></p> <p>Development is sited and designed to maintain natural hydrological systems without negatively impacting:</p> <p>(a) the quantity and quality of surface water and groundwater (b) the depth and directional flow of surface water and groundwater (c) the quality and function of natural springs.</p>	<p><b>DTS/DPF 5.1</b></p> <p>None are applicable.</p>
On-site Waste Treatment Systems	
<p><b>PO 6.1</b></p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p><b>DTS/DPF 6.1</b></p> <p>Effluent disposal drainage areas do not:</p> <p>(a) encroach within an area used as private open space or result in less private open space than that specified in Design Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>
Carparking Appearance	
<p><b>PO 7.1</b></p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on the streetscapes through techniques such as:</p> <p>(a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure.</p>	<p><b>DTS/DPF 7.1</b></p> <p>None are applicable.</p>
<p><b>PO 7.2</b></p> <p>Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.</p>	<p><b>DTS/DPF 7.2</b></p> <p>None are applicable.</p>
<p><b>PO 7.3</b></p> <p>Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development.</p>	<p><b>DTS/DPF 7.3</b></p> <p>None are applicable.</p>
<p><b>PO 7.4</b></p> <p>Street level vehicle parking areas incorporate tree planting to provide shade and reduce solar heat absorption and reflection.</p>	<p><b>DTS/DPF 7.4</b></p> <p>None are applicable.</p>
<p><b>PO 7.5</b></p> <p>Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.</p>	<p><b>DTS/DPF 7.5</b></p> <p>None are applicable.</p>
<p><b>PO 7.6</b></p> <p>Vehicle parking areas and associated driveways are landscaped to provide shade</p>	<p><b>DTS/DPF 7.6</b></p> <p>None are applicable.</p>

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and positively contribute to amenity.			
<b>PO 7.7</b>		<b>DTS/DPF 7.7</b>	
Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.		None are applicable.	
Earthworks and sloping land			
<b>PO 8.1</b>		<b>DTS/DPF 8.1</b>	
Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.		Development does not involve any of the following:	
		(a) excavation exceeding a vertical height of 1m	
		(b) filling exceeding a vertical height of 1m	
		(c) a total combined excavation and filling vertical height of 2m or more.	
<b>PO 8.2</b>		<b>DTS/DPF 8.2</b>	
Driveways and access tracks are designed and constructed to allow safe and convenient access on sloping land (with a gradient exceeding 1 in 8).		Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):	
		(a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway	
		(b) are constructed with an all-weather trafficable surface.	
<b>PO 8.3</b>		<b>DTS/DPF 8.3</b>	
Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):		None are applicable.	
(a) do not contribute to the instability of embankments and cuttings			
(b) provide level transition areas for the safe movement of people and goods to and from the development			
(c) are designed to integrate with the natural topography of the land.			
<b>PO 8.4</b>		<b>DTS/DPF 8.4</b>	
Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on-site drainage systems to minimise erosion.		None are applicable.	
<b>PO 8.5</b>		<b>DTS/DPF 8.5</b>	
Development does not occur on land at risk of landslide nor increases the potential for landslide or land surface instability.		None are applicable.	
Fences and Walls			
<b>PO 9.1</b>		<b>DTS/DPF 9.1</b>	
Fences, walls and retaining walls are of sufficient height to maintain privacy and security without unreasonably impacting the visual amenity and adjoining land's access to sunlight or the amenity of public places.		None are applicable.	
<b>PO 9.2</b>		<b>DTS/DPF 9.2</b>	
Landscaping incorporated on the low side of retaining walls is visible from public roads and public open space to minimise visual impacts.		A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.	
Overlooking / Visual Privacy (in building 3 storeys or less)			
<b>PO 10.1</b>		<b>DTS/DPF 10.1</b>	
Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses.		Upper level windows facing side or rear boundaries shared with a residential allotment/site satisfy one of the following:	

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		<p>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm</p> <p>(b) have sill heights greater than or equal to 1.5m above finished floor level</p> <p>(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.</p>	
<p><b>PO 10.2</b></p> <p>Development mitigates direct overlooking from balconies, terraces and decks to habitable rooms and private open space of adjoining residential uses.</p>	<p><b>DTS/DPF 10.2</b></p> <p>One of the following is satisfied:</p> <p>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or</p> <p>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:</p> <p>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or</p> <p>(ii) 1.7m above finished floor level in all other cases</p>		
All Residential development			
Front elevations and passive surveillance			
<p><b>PO 11.1</b></p> <p>Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p><b>DTS/DPF 11.1</b></p> <p>Each dwelling with a frontage to a public street:</p> <p>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</p> <p>(b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street.</p>		
<p><b>PO 11.2</b></p> <p>Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p><b>DTS/DPF 11.2</b></p> <p>Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>		
Outlook and amenity			
<p><b>PO 12.1</b></p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p><b>DTS/DPF 12.1</b></p> <p>A living room of a dwelling incorporates a window with an outlook towards the street frontage or private open space, public open space, or waterfront areas.</p>		
<p><b>PO 12.2</b></p> <p>Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.</p>	<p><b>DTS/DPF 12.2</b></p> <p>None are applicable.</p>		
Ancillary Development			
<p><b>PO 13.1</b></p> <p>Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.</p>	<p><b>DTS/DPF 13.1</b></p> <p>Ancillary buildings:</p> <p>(a) are ancillary to a dwelling erected on the same site</p> <p>(b) have a floor area not exceeding 60m<sup>2</sup></p> <p>(c) are not constructed, added to or altered so that any part is situated:</p> <p>(i) in front of any part of the building line of the dwelling to which it is ancillary or</p> <p>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</p> <p>(d) in the case of a garage or carport, the garage or carport:</p> <p>(i) is set back at least 5.5m from the boundary of the primary street</p> <p>(ii) when facing a primary street or secondary street, has a total door / opening not exceeding:</p> <p>A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser</p> <p>B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width</p>		



	<p>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:</p> <p>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and</p> <p>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</p> <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</p> <p>(h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end)</p> <p>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</p> <p>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour</p> <p>(k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less:</p> <p>(i) a total area as determined by the following table:</p> <table> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>201-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </table> <p>(ii) the amount of existing soft landscaping prior to the development occurring.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	201-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
201-450	20%										
>450	25%										
<p><b>PO 13.2</b></p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision or car parking requirements and do not result in over-development of the site.</p>	<p><b>DTS/DPF 13.2</b></p> <p>Ancillary buildings and structures do not result in:</p> <p>(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										
<p><b>PO 13.3</b></p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa is positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers.</p>	<p><b>DTS/DPF 13.3</b></p> <p>The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:</p> <p>(a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment</p> <p>or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p>										
<p><b>PO 13.4</b></p> <p>Buildings and structures that are ancillary to an existing non-residential use do not detract from the streetscape character, appearance of buildings on the site of the development, or the amenity of neighbouring properties.</p>	<p><b>DTS/DPF 13.4</b></p> <p>Non-residential ancillary buildings and structures:</p> <p>(a) are ancillary and subordinate to an existing non-residential use on the same site</p> <p>(b) have a floor area not exceeding the following:</p> <table> <tr> <th>Allotment size</th><th>Floor area</th></tr> <tr> <td>≤500m<sup>2</sup></td><td>60m<sup>2</sup></td></tr> <tr> <td>&gt;500m<sup>2</sup></td><td>80m<sup>2</sup></td></tr> </table>	Allotment size	Floor area	≤500m <sup>2</sup>	60m <sup>2</sup>	>500m <sup>2</sup>	80m <sup>2</sup>				
Allotment size	Floor area										
≤500m <sup>2</sup>	60m <sup>2</sup>										
>500m <sup>2</sup>	80m <sup>2</sup>										

	<p>(c) are not constructed, added to or altered so that any part is situated:</p> <p>(i) in front of any part of the building line of the main building to which it is ancillary or</p> <p>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</p> <p>(d) in the case of a garage or carport, the garage or carport:</p> <p>(i) is set back at least 5.5m from the boundary of the primary street</p> <p>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:</p> <p>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary</p> <p>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</p> <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</p> <p>(h) have a wall height (or post height) not exceeding 3m (and not including a gable end)</p> <p>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</p> <p>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour.</p>
Garage appearance	
<p><b>PO 14.1</b></p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p><b>DTS/DPF 14.1</b></p> <p>Garages and carports facing a street:</p> <p>(a) are situated so that no part of the garage or carport is in front of any part of the building line of the dwelling</p> <p>(b) are set back at least 5.5m from the boundary of the primary street</p> <p>(c) have a garage door / opening not exceeding 7m in width</p> <p>(d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.</p>
Massing	
<p><b>PO 15.1</b></p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p><b>DTS/DPF 15.1</b></p> <p>None are applicable</p>
Dwelling additions	
<p><b>PO 16.1</b></p> <p>Dwelling additions are sited and designed to not detract from the streetscape or amenity of adjoining properties and do not impede on-site functional requirements.</p>	<p><b>DTS / DPF 16.1</b></p> <p>Dwelling additions:</p> <p>(a) are not constructed, added to or altered so that any part is situated closer to a public street</p> <p>(b) do not result in:</p> <p>(i) excavation exceeding a vertical height of 1m</p> <p>(ii) filling exceeding a vertical height of 1m</p> <p>(iii) a total combined excavation and filling vertical height of 2m or more</p> <p>(iv) less Private Open Space than specified in Design Table 1 - Private Open Space</p> <p>(v) less on-site parking than specified in Transport Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas</p> <p>(vi) upper level windows facing side or rear boundaries unless:</p> <p>A. they are permanently obscured to a height of 1.5m above finished floor level that is fixed or not capable of being opened more than 200mm</p> <p>or</p> <p>B. have sill heights greater than or equal to 1.5m above finished floor level</p> <p>or</p> <p>C. incorporate screening to a height of 1.5m above finished floor level</p> <p>(vii) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:</p> <p>A. 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land</p> <p>B. 1.7m above finished floor level in all other cases.</p>
Private Open Space	
<p><b>PO 17.1</b></p>	<p><b>DTS/DPF 17.1</b></p>

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Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.		Private open space is provided in accordance with Design Table 1 - Private Open Space.	
Water Sensitive Design			
<p><b>PO 18.1</b></p> <p>Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.</p>	<p><b>DTS/DPF 18.1</b></p> <p>Residential development creating a common driveway / access that services 5 or more dwellings achieves the following stormwater runoff outcomes:</p> <ul style="list-style-type: none"><li>(a) 80 per cent reduction in average annual total suspended solids</li><li>(b) 60 per cent reduction in average annual total phosphorus</li><li>(c) 45 per cent reduction in average annual total nitrogen.</li></ul>		
<p><b>PO 18.2</b></p> <p>Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p>	<p><b>DTS/DPF 18.2</b></p> <p>Development creating a common driveway / access that services 5 or more dwellings:</p> <ul style="list-style-type: none"><li>(a) maintains the pre-development peak flow rate from the site based upon a 0,35 runoff coefficient for the 18.1% AEP 30-minute storm and the stormwater runoff time to peak is not increased or captures and retains the difference in pre-development runoff volume (based upon a 0,35 runoff coefficient) vs post development runoff volume from the site for an 18.1% AEP 30-minute storm; and</li><li>(b) manages site generated stormwater runoff up to and including the 1% AEP flood event to avoid flooding of buildings.</li></ul>		
Car parking, access and manoeuvrability			
<p><b>PO 19.1</b></p> <p>Enclosed parking spaces are of a size and dimensions to be functional, accessible and convenient.</p>	<p><b>DTS/DPF 19.1</b></p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"><li>(a) single width car parking spaces:<ul style="list-style-type: none"><li>(i) a minimum length of 5.4m per space</li><li>(ii) a minimum width of 3,0m</li><li>(iii) a minimum garage door width of 2.4m</li></ul></li><li>(b) double width car parking spaces (side by side):<ul style="list-style-type: none"><li>(i) a minimum length of 5.4m</li><li>(ii) a minimum width of 5,4m</li><li>(iii) minimum garage door width of 2.4m per space.</li></ul></li></ul>		
<p><b>PO 19.2</b></p> <p>Uncovered parking spaces are of a size and dimensions to be functional, accessible and convenient.</p>	<p><b>DTS/DPF 19.2</b></p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"><li>(a) a minimum length of 5.4m</li><li>(b) a minimum width of 2.4m</li><li>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m</li></ul>		
<p><b>PO 19.3</b></p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p><b>DTS/DPF 19.3</b></p> <p>Driveways and access points on sites with a frontage to a public road of 10m or less have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site.</p>		
<p><b>PO 19.4</b></p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p><b>DTS/DPF 19.4</b></p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"><li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li><li>(b) where newly proposed:<ul style="list-style-type: none"><li>(i) is set back 6m or more from the tangent point of an intersection of 2 or more roads</li><li>(ii) is set back outside of the marked lines or infrastructure dedicating a pedestrian crossing</li><li>(iii) does not involve the removal, relocation or damage to of mature street trees, street furniture or utility infrastructure services.</li></ul></li></ul>		



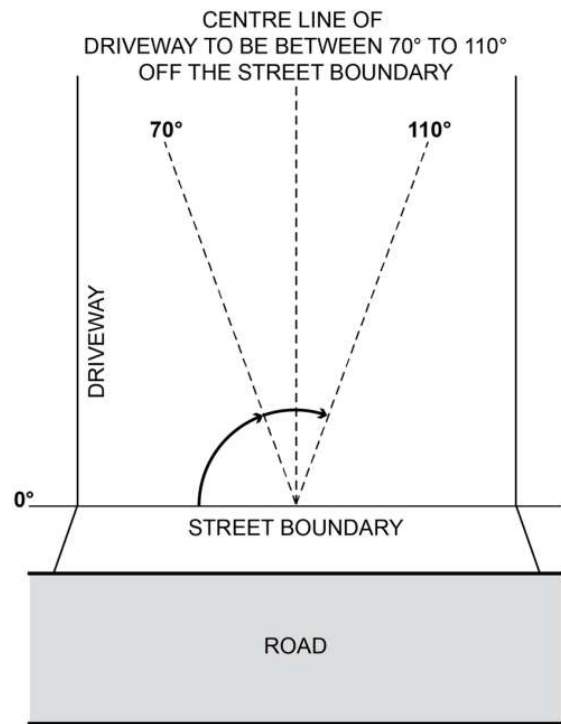
**PO 19.5**

Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.

**DTS/DPF 19.5**

Driveways are designed and sited so that:

- (a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping
- (b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:



- (c) if located to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site

**PO 19.6**

Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.

**DTS/DPF 19.6**

Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:

- (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)
- (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly
- (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

Waste storage

**PO 20.1**

Provision is made for the adequate and convenient storage of waste bins in a location screened from public view.

**DTS/DPF 20.1**

None are applicable.

Design of Transportable Dwellings

**PO 21.1**

The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.

**DTS/DPF 21.1**

Buildings satisfy (a) or (b):

- (a) are not transportable  
or
- (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.

Group dwelling, residential flat buildings and battle-axe development

Amenity

<p><b>PO 22.1</b></p> <p>Dwellings are of a suitable size to accommodate a layout that is well organised and provides a high standard of amenity for occupants.</p>	<p><b>DTS/DPF 22.1</b></p> <p>Dwellings have a minimum internal floor area in accordance with the following table:</p> <table border="1"> <thead> <tr> <th>Number of bedrooms</th><th>Minimum internal floor area</th></tr> </thead> <tbody> <tr> <td>Studio</td><td>35m<sup>2</sup></td></tr> <tr> <td>1 bedroom</td><td>50m<sup>2</sup></td></tr> <tr> <td>2 bedroom</td><td>65m<sup>2</sup></td></tr> <tr> <td>3+ bedrooms</td><td>80m<sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom</td></tr> </tbody> </table>	Number of bedrooms	Minimum internal floor area	Studio	35m <sup>2</sup>	1 bedroom	50m <sup>2</sup>	2 bedroom	65m <sup>2</sup>	3+ bedrooms	80m <sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m <sup>2</sup> for every additional bedroom
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<p><b>PO 22.2</b></p> <p>The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.</p>	<p><b>DTS/DPF 22.2</b></p> <p>None are applicable.</p>										
<p><b>PO 22.3</b></p> <p>Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.</p>	<p><b>DTS/DPF 22.3</b></p> <p>None are applicable.</p>										
<p><b>PO 22.4</b></p> <p>Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.</p>	<p><b>DTS/DPF 22.4</b></p> <p>Dwelling sites/allotments are not in the form of a battle-axe arrangement.</p>										
Communal Open Space											
<p><b>PO 23.1</b></p> <p>Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.</p>	<p><b>DTS/DPF 23.1</b></p> <p>None are applicable.</p>										
<p><b>PO 23.2</b></p> <p>Communal open space is of sufficient size and dimensions to cater for group recreation.</p>	<p><b>DTS/DPF 23.2</b></p> <p>Communal open space incorporates a minimum dimension of 5 metres.</p>										
<p><b>PO 23.3</b></p> <p>Communal open space is designed and sited to:</p> <p>(a) be conveniently accessed by the dwellings which it services</p> <p>(b) have regard to acoustic, safety, security and wind effects.</p>	<p><b>DTS/DPF 23.3</b></p> <p>None are applicable.</p>										
<p><b>PO 23.4</b></p> <p>Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.</p>	<p><b>DTS/DPF 23.4</b></p> <p>None are applicable.</p>										

<b>PO 23.5</b>  Communal open space is designed and sited to: <div> <div>(a)</div> <div>in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</div> </div> <div> <div>(b)</div> <div>in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</div> </div>	<b>DTS/DPF 23.5</b>  None are applicable.
Carparking, access and manoeuvrability	
<b>PO 24.1</b>  Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	<b>DTS/DPF 24.1</b>  Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements: <div> <div>(a)</div> <div>minimum 0,33 on-street car parks per proposed dwellings (rounded up to the nearest whole number)</div> </div> <div> <div>(b)</div> <div>minimum car park length of 5,4m where a vehicle can enter or exit a space directly</div> </div> <div> <div>(c)</div> <div>minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</div> </div>
<b>PO 24.2</b>  The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.	<b>DTS/DPF 24.2</b>  Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.
<b>PO 24.3</b>  Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.	<b>DTS/DPF 24.3</b>  Driveways that service more than 1 dwelling or a dwelling on a battle-axe site: <div> <div>(a)</div> <div>have a minimum width of 3m</div> </div> <div> <div>(b)</div> <div>for driveways servicing more than 3 dwellings: <div> <div>(i)</div> <div>have a width of 5,5m or more and a length of 6m or more at the kerb of the primary street</div> </div> <div> <div>(ii)</div> <div>where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</div> </div> </div> </div>
<b>PO 24.4</b>  Residential driveways in a battle-axe configuration are designed to allow safe and convenient movement.	<b>DTS/DPF 24.4</b>  Where in a battle-axe configuration, a driveway servicing one dwelling has a minimum width of 3m.
<b>PO 24.5</b>  Residential driveways that service more than one dwelling are designed to allow passenger vehicles to enter and exit the site and manoeuvre within the site in a safe and convenient manner.	<b>DTS/DPF 24.5</b>  Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
<b>PO 24.6</b>  Dwellings are adequately separated from common driveways and manoeuvring areas.	<b>DTS/DPF 24.6</b>  Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Soft Landscaping	
<b>PO 25.1</b>  Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.	<b>DTS/DPF 25.1</b>  Other than where located directly in front of a garage or a building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.
<b>PO 25.2</b>  Soft landscaping is provided that improves the appearance of common driveways.	<b>DTS/DPF 25.2</b>  Where a common driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Site Facilities / Waste Storage	



<b>PO 26.1</b> Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	<b>DTS/DPF 26.1</b> None are applicable.
<b>PO 26.2</b> Provision is made for suitable external clothes drying facilities.	<b>DTS/DPF 26.2</b> None are applicable.
<b>PO 26.3</b> Provision is made for suitable household waste and recyclable material storage facilities which are: <b>(a)</b> located away, or screened, from public view, and <b>(b)</b> conveniently located in proximity to dwellings and the waste collection point.	<b>DTS/DPF 26.3</b> None are applicable.
<b>PO 26.4</b> Waste and recyclable material storage areas are located away from dwellings.	<b>DTS/DPF 26.4</b> Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
<b>PO 26.5</b> Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.	<b>DTS/DPF 26.5</b> None are applicable.
<b>PO 26.6</b> Services including gas and water meters are conveniently located and screened from public view.	<b>DTS/DPF 26.6</b> None are applicable.
Supported accommodation and retirement facilities	
Siting and Configuration	
<b>PO 27.1</b> Supported accommodation and housing for aged persons and people with disabilities is located where on-site movement of residents is not unduly restricted by the slope of the land.	<b>DTS/DPF 27.1</b> None are applicable.
Movement and Access	
<b>PO 28.1</b> Development is designed to support safe and convenient access and movement for residents by providing: <b>(a)</b> ground-level access or lifted access to all units <b>(b)</b> level entry porches, ramps, paths, driveways, passenger loading areas and areas adjacent to footpaths that allow for the passing of wheelchairs and resting places <b>(c)</b> car parks with gradients no steeper than 1-in-40 and of sufficient area to provide for wheelchair manoeuvrability <b>(d)</b> kerb ramps at pedestrian crossing points.	<b>DTS/DPF 28.1</b> None are applicable.
Communal Open Space	
<b>PO 29.1</b> Development is designed to provide attractive, convenient and comfortable indoor and outdoor communal areas to be used by residents and visitors.	<b>DTS/DPF 29.1</b> None are applicable.
<b>PO 29.2</b>	<b>DTS/DPF 29.2</b>

Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	None are applicable.
<b>PO 29.3</b>  Communal open space is of sufficient size and dimensions to cater for group recreation.	<b>DTS/DPF 29.3</b>  Communal open space incorporates a minimum dimension of 5 metres.
<b>PO 29.4</b>  Communal open space is designed and sited to: <div> <div>(a)</div> <div>be conveniently accessed by the dwellings which it services</div> </div> <div> <div>(b)</div> <div>have regard to acoustic, safety, security and wind effects.</div> </div>	<b>DTS/DPF 29.4</b>  None are applicable.
<b>PO 29.5</b>  Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	<b>DTS/DPF 29.5</b>  None are applicable.
<b>PO 29.6</b>  Communal open space is designed and sited to: <div> <div>(a)</div> <div>in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</div> </div> <div> <div>(b)</div> <div>in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</div> </div>	<b>DTS/DPF 29.6</b>  None are applicable.
Site Facilities / Waste Storage	
<b>PO 30.1</b>  Development is designed to provide storage areas for personal items and specialised equipment such as small electric powered vehicles, including facilities for the recharging of small electric powered vehicles.	<b>DTS/DPF 30.1</b>  None are applicable.
<b>PO 30.2</b>  Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	<b>DTS/DPF 30.2</b>  None are applicable.
<b>PO 30.3</b>  Provision is made for suitable external clothes drying facilities.	<b>DTS/DPF 30.3</b>  None are applicable.
<b>PO 30.4</b>  Provision is made for suitable household waste and recyclable material storage facilities conveniently located and screened from public view.	<b>DTS/DPF 30.4</b>  None are applicable.
<b>PO 30.5</b>  Waste and recyclable material storage areas are located away from dwellings.	<b>DTS/DPF 30.5</b>  Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
<b>PO 30.6</b>  Provision is made for on-site waste collection where 10 or more bins are to be collected at any one time.	<b>DTS/DPF 30.6</b>  None are applicable.
<b>PO 30.7</b>  Services including gas and water meters are conveniently located and screened	<b>DTS/DPF 30.7</b>  None are applicable.

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from public view.					
All non-residential development					
Water Sensitive Design					
<p><b>PO 31.1</b></p> <p>Development likely to result in significant risk of export of litter, oil or grease includes stormwater management systems designed to minimise pollutants entering stormwater.</p>	<p><b>DTS/DPF 31.1</b></p> <p>None are applicable.</p>				
<p><b>PO 31.2</b></p> <p>Water discharged from a development site is of a physical, chemical and biological condition equivalent to or better than its pre-developed state.</p>	<p><b>DTS/DPF 31.2</b></p> <p>None are applicable.</p>				
Wash-down and Waste Loading and Unloading					
<p><b>PO 32.1</b></p> <p>Areas for activities including loading and unloading, storage of waste refuse bins in commercial and industrial development or wash-down areas used for the cleaning of vehicles, vessels, plant or equipment are:</p> <p>(a) designed to contain all wastewater likely to pollute stormwater within a bunded and roofed area to exclude the entry of external surface stormwater run-off</p> <p>(b) paved with an impervious material to facilitate wastewater collection</p> <p>(c) of sufficient size to prevent 'splash-out' or 'over-spray' of wastewater from the wash-down area designed to drain wastewater to either:</p> <p>(d) (i) a treatment device such as a sediment trap and coalescing plate oil separator with subsequent disposal to a sewer, private or Community Wastewater Management Scheme or</p> <p>(ii) a holding tank and its subsequent removal off-site on a regular basis.</p>	<p><b>DTS/DPF 32.1</b></p> <p>None are applicable.</p>				
Decks					
Design and Siting					
<p><b>PO 33.1</b></p> <p>Decks are designed and sited to:</p> <p>(a) complement the associated building form</p> <p>(b) minimise impacts on the streetscape through siting behind the building line of the principal building (unless on a significant allotment or open space)</p> <p>(c) minimise cut and fill and overall massing when viewed from adjacent land.</p>	<p><b>DTS/DPF 33.1</b></p> <p>Decks:</p> <p>(a) where ancillary to a dwelling:</p> <p>(i) are not constructed, added to or altered so that any part is situated:</p> <p>A. in front of any part of the building line of the dwelling to which it is ancillary or</p> <p>B. within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</p> <p>(ii) are set back at least 900mm from side or rear allotment boundaries</p> <p>(iii) when attached to the dwelling, has a finished floor level consistent with the finished ground floor level of the dwelling</p> <p>(iv) where associated with a residential use, retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (A) or (B), whichever is less:</p> <p>A. a total area is determined by the following table:</p> <table><tr><th>Site area (or in the case of residential flat building or group dwelling(s),</th><th>Minimum percentage of site</th></tr></table>			Site area (or in the case of residential flat building or group dwelling(s),	Minimum percentage of site
Site area (or in the case of residential flat building or group dwelling(s),	Minimum percentage of site				



	<table border="1"> <thead> <tr> <th data-bbox="1003 92 1252 275">average site area) (m<sup>2</sup>)</th><th data-bbox="1252 92 1484 275"></th></tr> </thead> <tbody> <tr> <td data-bbox="1003 275 1252 302">&lt;150</td><td data-bbox="1252 275 1484 302">10%</td></tr> <tr> <td data-bbox="1003 302 1252 359">150-200</td><td data-bbox="1252 302 1484 359">15%</td></tr> <tr> <td data-bbox="1003 359 1252 426">&gt;200-450</td><td data-bbox="1252 359 1484 426">20%</td></tr> <tr> <td data-bbox="1003 426 1252 493">&gt;450</td><td data-bbox="1252 426 1484 493">25%</td></tr> </tbody> </table> <p>B. the amount of existing soft landscaping prior to the development occurring.</p> <p>(b) where in association with a non-residential use:</p> <ul style="list-style-type: none"> <li>(i) are set back at least 2 metres from the boundary of an allotment used for residential purposes.</li> <li>(ii) are set back at least 2 metres from a public road.</li> <li>(iii) have a floor area not exceeding 25m<sup>2</sup></li> </ul> <p>(c) in all cases, has a finished floor level not exceeding 1 metre above natural ground level at any point.</p>	average site area) (m <sup>2</sup> )		<150	10%	150-200	15%	>200-450	20%	>450	25%
average site area) (m <sup>2</sup> )											
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
<p><b>PO 33.2</b></p> <p>Decks are designed and sited to minimise direct overlooking of habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones through suitable floor levels, screening and siting taking into account the slope of the subject land, existing vegetation on the subject land, and fencing.</p>	<p><b>DTS/DPF 33.2</b></p> <p>Decks with a finished floor level/s 500mm or more above natural ground level facing side or rear boundaries shared with a residential use in a neighbourhood-type zone incorporate screening with a maximum of 25% transparency/openings, permanently fixed to the outer edge of the deck not less than 1.5 m above the finished floor level/s.</p>										
<p><b>PO 33.3</b></p> <p>Decks used for outdoor dining, entertainment or other commercial uses provide carparking in accordance with the primary use of the deck.</p>	<p><b>DTS/DPF 33.3</b></p> <p>Decks used for commercial purposes do not result in less on-site car parking for the primary use of the subject land than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										

Table 1 - Private Open Space

Dwelling Type	Minimum Rate
Dwelling (at ground level)	<p>Total private open space area:</p> <p>(a) Site area &lt;301m<sup>2</sup>: 24m<sup>2</sup> located behind the building line.</p> <p>(b) Site area ≥ 301m<sup>2</sup>: 60m<sup>2</sup> located behind the building line.</p> <p>Minimum directly accessible from a living room: 16m<sup>2</sup> / with a minimum dimension 3m.</p>
Dwelling (above ground level)	<p>Studio (no separate bedroom): 4m<sup>2</sup> with a minimum dimension 1.8m</p> <p>One bedroom: 8m<sup>2</sup> with a minimum dimension 2.1m</p> <p>Two bedroom dwelling: 11m<sup>2</sup> with a minimum dimension 2.4m</p> <p>Three + bedroom dwelling: 15m<sup>2</sup> with a minimum dimension 2.6m</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or a caravan and tourist park	<p>Total area: 16m<sup>2</sup>, which may be used as second car parking space, provided on each site intended for residential occupation.</p>

## Design in Urban Areas

## Assessment Provisions (AP)

## Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
External Appearance	
<b>PO 1.1</b> Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope).	<b>DTS/DPF 1.1</b> None are applicable.
<b>PO 1.2</b> Where zero or minor setbacks are desirable, development provides shelter over footpaths (in the form of verandahs, awnings, canopies and the like, with adequate lighting) to positively contribute to the walkability, comfort and safety of the public realm.	<b>DTS/DPF 1.2</b> None are applicable.
<b>PO 1.3</b> Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape.	<b>DTS/DPF 1.3</b> None are applicable.
<b>PO 1.4</b> Plant, exhaust and intake vents and other technical equipment are integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by: <ul style="list-style-type: none"> <li>(a) positioning plant and equipment discretely, in unobtrusive locations as viewed from public roads and spaces</li> <li>(b) screening rooftop plant and equipment from view</li> <li>(c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses.</li> </ul>	<b>DTS/DPF 1.4</b> Development does not incorporate any structures that protrude beyond the roofline.
<b>PO 1.5</b> The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form), taking into account the form of development contemplated in the relevant zone.	<b>DTS/DPF 1.5</b> None are applicable.
Safety	
<b>PO 2.1</b>	<b>DTS/DPF 2.1</b>

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Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable.		None are applicable.	
<b>PO 2.2</b>  Development is designed to differentiate public, communal and private areas.	<b>DTS/DPF 2.2</b>  None are applicable.		
<b>PO 2.3</b>  Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas.	<b>DTS/DPF 2.3</b>  None are applicable.		
<b>PO 2.4</b>  Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm.	<b>DTS/DPF 2.4</b>  None are applicable.		
<b>PO 2.5</b>  Common areas and entry points of buildings (such as the foyer areas of residential buildings) and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night.	<b>DTS/DPF 2.5</b>  None are applicable.		
Landscaping			
<b>PO 3.1</b>  Soft landscaping and tree planting are incorporated to:  (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration (d) enhance the appearance of land and streetscapes.	<b>DTS/DPF 3.1</b>  None are applicable.		
Environmental Performance			
<b>PO 4.1</b>  Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces.	<b>DTS/DPF 4.1</b>  None are applicable.		
<b>PO 4.2</b>  Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling.	<b>DTS/DPF 4.2</b>  None are applicable.		
<b>PO 4.3</b>  Buildings incorporate climate responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells.	<b>DTS/DPF 4.3</b>  None are applicable.		
Water Sensitive Design			
<b>PO 5.1</b>  Development is sited and designed to maintain natural hydrological systems without negatively impacting:  (a) the quantity and quality of surface water and groundwater (b) the depth and directional flow of surface water and groundwater (c) the quality and function of natural springs.	<b>DTS/DPF 5.1</b>  None are applicable.		
On-site Waste Treatment Systems			



<p><b>PO 6.1</b></p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p><b>DTS/DPF 6.1</b></p> <p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> <li>(a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space</li> <li>(b) use an area also used as a driveway</li> <li>(c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</li> </ul>
Car parking appearance	
<p><b>PO 7.1</b></p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as:</p> <ul style="list-style-type: none"> <li>(a) limiting protrusion above finished ground level</li> <li>(b) screening through appropriate planting, fencing and mounding</li> <li>(c) limiting the width of openings and integrating them into the building structure.</li> </ul>	<p><b>DTS/DPF 7.1</b></p> <p>None are applicable.</p>
<p><b>PO 7.2</b></p> <p>Vehicle parking areas appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.</p>	<p><b>DTS/DPF 7.2</b></p> <p>None are applicable.</p>
<p><b>PO 7.3</b></p> <p>Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development.</p>	<p><b>DTS/DPF 7.3</b></p> <p>None are applicable.</p>
<p><b>PO 7.4</b></p> <p>Street-level vehicle parking areas incorporate tree planting to provide shade, reduce solar heat absorption and reflection.</p>	<p><b>DTS/DPF 7.4</b></p> <p>Vehicle parking areas that are open to the sky and comprise 10 or more car parking spaces include a shade tree with a mature canopy of 4m diameter spaced for each 10 car parking spaces provided and a landscaped strip on any road frontage of a minimum dimension of 1m.</p>
<p><b>PO 7.5</b></p> <p>Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.</p>	<p><b>DTS/DPF 7.5</b></p> <p>Vehicle parking areas comprising 10 or more car parking spaces include soft landscaping with a minimum dimension of:</p> <ul style="list-style-type: none"> <li>(a) 1m along all public road frontages and allotment boundaries</li> <li>(b) 1m between double rows of car parking spaces.</li> </ul>
<p><b>PO 7.6</b></p> <p>Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.</p>	<p><b>DTS/DPF 7.6</b></p> <p>None are applicable.</p>
<p><b>PO 7.7</b></p> <p>Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.</p>	<p><b>DTS/DPF 7.7</b></p> <p>None are applicable.</p>
Earthworks and sloping land	
<p><b>PO 8.1</b></p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p><b>DTS/DPF 8.1</b></p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> <li>(a) excavation exceeding a vertical height of 1m</li> <li>(b) filling exceeding a vertical height of 1m</li> <li>(c) a total combined excavation and filling vertical height of 2m or more.</li> </ul>

<b>PO 8.2</b>  Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	<b>DTS/DPF 8.2</b>  Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):  (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
<b>PO 8.3</b>  Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):  (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land.	<b>DTS/DPF 8.3</b>  None are applicable.
<b>PO 8.4</b>  Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	<b>DTS/DPF 8.4</b>  None are applicable.
<b>PO 8.5</b>  Development does not occur on land at risk of landslide or increase the potential for landslide or land surface instability.	<b>DTS/DPF 8.5</b>  None are applicable.
Fences and walls	
<b>PO 9.1</b>  Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	<b>DTS/DPF 9.1</b>  None are applicable.
<b>PO 9.2</b>  Landscaping is incorporated on the low side of retaining walls that are visible from public roads and public open space to minimise visual impacts.	<b>DTS/DPF 9.2</b>  A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.
Overlooking / Visual Privacy (low rise buildings)	
<b>PO 10.1</b>  Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	<b>DTS/DPF 10.1</b>  Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
<b>PO 10.2</b>  Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	<b>DTS/DPF 10.2</b>  One of the following is satisfied:  (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
Site Facilities / Waste Storage (excluding low rise residential development)	
<b>PO 11.1</b>	<b>DTS/DPF 11.1</b>

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Development provides a dedicated area for on-site collection and sorting of recyclable materials and refuse, green organic waste and wash bay facilities for the ongoing maintenance of bins that is adequate in size considering the number and nature of the activities they will serve and the frequency of collection.		None are applicable.	
<b>PO 11.2</b>  Communal waste storage and collection areas are located, enclosed and designed to be screened from view from the public domain, open space and dwellings.	<b>DTS/DPF 11.2</b>  None are applicable.		
<b>PO 11.3</b>  Communal waste storage and collection areas are designed to be well ventilated and located away from habitable rooms.	<b>DTS/DPF 11.3</b>  None are applicable.		
<b>PO 11.4</b>  Communal waste storage and collection areas are designed to allow waste and recycling collection vehicles to enter and leave the site without reversing.	<b>DTS/DPF 11.4</b>  None are applicable.		
<b>PO 11.5</b>  For mixed use developments, non-residential waste and recycling storage areas and access provide opportunities for on-site management of food waste through composting or other waste recovery as appropriate.	<b>DTS/DPF 11.5</b>  None are applicable.		
All Development - Medium and High Rise			
External Appearance			
<b>PO 12.1</b>  Buildings positively contribute to the character of the local area by responding to local context.	<b>DTS/DPF 12.1</b>  None are applicable.		
<b>PO 12.2</b>  Architectural detail at street level and a mixture of materials at lower building levels near the public interface are provided to reinforce a human scale.	<b>DTS/DPF 12.2</b>  None are applicable.		
<b>PO 12.3</b>  Buildings are designed to reduce visual mass by breaking up building elevations into distinct elements.	<b>DTS/DPF 12.3</b>  None are applicable.		
<b>PO 12.4</b>  Boundary walls visible from public land include visually interesting treatments to break up large blank elevations.	<b>DTS/DPF 12.4</b>  None are applicable.		
<b>PO 12.5</b>  External materials and finishes are durable and age well to minimise ongoing maintenance requirements.	<b>DTS/DPF 12.5</b>  Buildings utilise a combination of the following external materials and finishes:  (a) masonry (b) natural stone (c) pre-finished materials that minimise staining, discolouring or deterioration.		
<b>PO 12.6</b>  Street-facing building elevations are designed to provide attractive, high quality and pedestrian-friendly street frontages.	<b>DTS/DPF 12.6</b>  Building street frontages incorporate:  (a) active uses such as shops or offices (b) prominent entry areas for multi-storey buildings (where it is a common entry) (c) habitable rooms of dwellings (d) areas of communal public realm with public art or the like, where consistent with the zone and/or subzone provisions.		
<b>PO 12.7</b>  Entrances to multi-storey buildings are safe, attractive, welcoming, functional and contribute to streetscape character.	<b>DTS/DPF 12.7</b>  Entrances to multi-storey buildings are:  (a) oriented towards the street (b) clearly visible and easily identifiable from the street and vehicle parking areas (c) designed to be prominent, accentuated and a welcoming feature if there are no active or occupied ground floor uses		



	<div>(d) designed to provide shelter, a sense of personal address and transitional space around the entry</div> <div>(e) located as close as practicable to the lift and / or lobby access to minimise the need for long access corridors</div> <div>(f) designed to avoid the creation of potential areas of entrapment.</div>																								
<div>PO 12.8</div> <div>Building services, plant and mechanical equipment are screened from the public realm.</div>	<div>DTS/DPF 12.8</div> <div>None are applicable.</div>																								
Landscaping																									
<div>PO 13.1</div> <div>Development facing a street provides a well landscaped area that contains a deep soil space to accommodate a tree of a species and size adequate to provide shade, contribute to tree canopy targets and soften the appearance of buildings.</div>	<div>DTS/DPF 13.1</div> <div>Buildings provide a 4m by 4m deep soil space in front of the building that accommodates a medium to large tree, except where no building setback from front property boundaries is desired.</div>																								
<div>PO 13.2</div> <div>Deep soil zones are provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies to provide shade and soften the appearance of multi-storey buildings.</div>	<div>DTS/DPF 13.2</div> <div>Multi-storey development provides deep soil zones and incorporates trees at not less than the following rates, except in a location or zone where full site coverage is desired.</div> <table><tr><th>Site area</th><th>Minimum deep soil area</th><th>Minimum dimension</th><th>Tree / deep soil zones</th></tr><tr><td>&lt;300 m<sup>2</sup></td><td>10 m<sup>2</sup></td><td>1.5m</td><td>1 small tree / 10 m<sup>2</sup></td></tr><tr><td>300-1500 m<sup>2</sup></td><td>7% site area</td><td>3m</td><td>1 medium tree / 30 m<sup>2</sup></td></tr><tr><td>&gt;1500 m<sup>2</sup></td><td>7% site area</td><td>6m</td><td>1 large or medium tree / 60 m<sup>2</sup></td></tr></table> <div>Tree size and site area definitions</div> <table><tr><td>Small tree</td><td>4-6m mature height and 2-4m canopy spread</td></tr><tr><td>Medium tree</td><td>6-12m mature height and 4-8m canopy spread</td></tr><tr><td>Large tree</td><td>12m mature height and &gt;8m canopy spread</td></tr><tr><td>Site area</td><td>The total area for development site, not average area per dwelling</td></tr></table>	Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones	<300 m <sup>2</sup>	10 m <sup>2</sup>	1.5m	1 small tree / 10 m <sup>2</sup>	300-1500 m <sup>2</sup>	7% site area	3m	1 medium tree / 30 m <sup>2</sup>	>1500 m <sup>2</sup>	7% site area	6m	1 large or medium tree / 60 m <sup>2</sup>	Small tree	4-6m mature height and 2-4m canopy spread	Medium tree	6-12m mature height and 4-8m canopy spread	Large tree	12m mature height and >8m canopy spread	Site area	The total area for development site, not average area per dwelling
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<div>PO 13.3</div> <div>Deep soil zones with access to natural light are provided to assist in maintaining vegetation health.</div>	<div>DTS/DPF 13.3</div> <div>None are applicable.</div>																								
<div>PO 13.4</div> <div>Unless separated by a public road or reserve, development sites adjacent to any zone that has a primary purpose of accommodating low-rise residential development incorporate a deep soil zone along the common boundary to enable</div>	<div>DTS/DPF 13.4</div> <div>Building elements of 3 or more building levels in height are set back at least 6m from a zone boundary in which a deep soil zone area is incorporated.</div>																								

medium to large trees to be retained or established to assist in screening new buildings of 3 or more building levels in height.	
Environmental	
<b>PO 14.1</b> Development minimises detrimental micro-climatic impacts on adjacent land and buildings.	<b>DTS/DPF 14.1</b> None are applicable.
<b>PO 14.2</b> Development incorporates sustainable design techniques and features such as window orientation, eaves and shading structures, water harvesting and use, green walls and roof designs that enable the provision of rain water tanks (where they are not provided elsewhere on site), green roofs and photovoltaic cells.	<b>DTS/DPF 14.2</b> None are applicable.
<b>PO 14.3</b> Development of 5 or more building levels, or 21m or more in height (as measured from natural ground level and excluding roof-mounted mechanical plant and equipment) is designed to minimise the impacts of wind through measures such as: <ul style="list-style-type: none"> <li>(a) a podium at the base of a tall tower and aligned with the street to deflect wind away from the street</li> <li>(b) substantial verandahs around a building to deflect downward travelling wind flows over pedestrian areas</li> <li>(c) the placement of buildings and use of setbacks to deflect the wind at ground level</li> <li>(d) avoiding tall shear elevations that create windy conditions at street level.</li> </ul>	<b>DTS/DPF 14.3</b> None are applicable.
Car Parking	
<b>PO 15.1</b> Multi-level vehicle parking structures are designed to contribute to active street frontages and complement neighbouring buildings.	<b>DTS/DPF 15.1</b> Multi-level vehicle parking structures within buildings: <ul style="list-style-type: none"> <li>(a) provide land uses such as commercial, retail or other non-car parking uses along ground floor street frontages</li> <li>(b) incorporate facade treatments in building elevations facing along major street frontages that are sufficiently enclosed and detailed to complement adjacent buildings.</li> </ul>
<b>PO 15.2</b> Multi-level vehicle parking structures within buildings complement the surrounding built form in terms of height, massing and scale.	<b>DTS/DPF 15.2</b> None are applicable.
Overlooking/Visual Privacy	
<b>PO 16.1</b> Development mitigates direct overlooking of habitable rooms and private open spaces of adjacent residential uses in neighbourhood-type zones through measures such as: <ul style="list-style-type: none"> <li>(a) appropriate site layout and building orientation</li> <li>(b) off-setting the location of balconies and windows of habitable rooms or areas with those of other buildings so that views are oblique rather than direct to avoid direct line of sight</li> <li>(c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms</li> <li>(d) screening devices that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.</li> </ul>	<b>DTS/DPF 16.1</b> None are applicable.
All residential development	
Front elevations and passive surveillance	
<b>PO 17.1</b> Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.	<b>DTS/DPF 17.1</b> Each dwelling with a frontage to a public street:

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		(a)	includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m		
		(b)	has an aggregate window area of at least 2m <sup>2</sup> facing the primary street.		
PO 17.2	DTS/DPF 17.2				
Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.	Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.				
Outlook and Amenity					
PO 18.1	DTS/DPF 18.1				
Living rooms have an external outlook to provide a high standard of amenity for occupants.	A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.				
PO 18.2	DTS/DPF 18.2				
Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.	None are applicable.				
Ancillary Development					
PO 19.1	DTS/DPF 19.1				
Residential ancillary buildings are sited and designed to not detract from the streetscape or appearance of primary residential buildings on the site or neighbouring properties.	Ancillary buildings: (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m2 (c) are not constructed, added to or altered so that any part is situated: (i) in front of any part of the building line of the dwelling to which it is ancillary or (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)  (d) in the case of a garage or carport, the garage or carport: (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street, has a total door / opening not exceeding: A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width  (e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless: (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent  (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure (h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end) (i) have a roof height where no part of the roof is more than 5m above the natural ground level (j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour (k) retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (i) or (ii), whichever is less: (i) a total area as determined by the following table:				
			<table><tr><th>Site area (or in the case of residential flat building or group dwelling(s),</th><th>Minimum percentage of site</th></tr></table>	Site area (or in the case of residential flat building or group dwelling(s),	Minimum percentage of site
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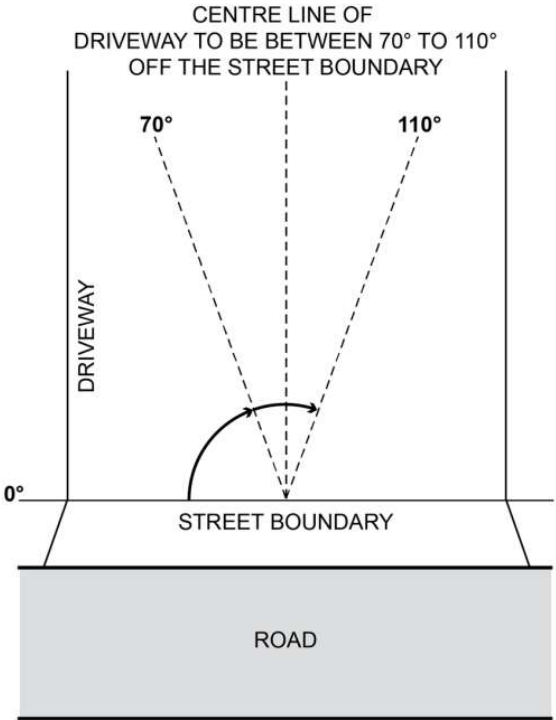


	<table border="1"> <tr> <th data-bbox="946 100 1255 226">average site area) (m<sup>2</sup>)</th><th data-bbox="1255 100 1484 226"></th></tr> <tr> <td data-bbox="946 226 1255 258">&lt;150</td><td data-bbox="1255 226 1484 258">10%</td></tr> <tr> <td data-bbox="946 258 1255 310">150-200</td><td data-bbox="1255 258 1484 310">15%</td></tr> <tr> <td data-bbox="946 310 1255 373">&gt;200-450</td><td data-bbox="1255 310 1484 373">20%</td></tr> <tr> <td data-bbox="946 373 1255 447">&gt;450</td><td data-bbox="1255 373 1484 447">25%</td></tr> </table> <p>(ii) the amount of existing soft landscaping prior to the development occurring.</p>	average site area) (m <sup>2</sup> )		<150	10%	150-200	15%	>200-450	20%	>450	25%
average site area) (m <sup>2</sup> )											
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<p><b>PO 19.2</b></p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p>	<p><b>DTS/DPF 19.2</b></p> <p>Ancillary buildings and structures do not result in:</p> <p>(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										
<p><b>PO 19.3</b></p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers.</p>	<p><b>DTS/DPF 19.3</b></p> <p>The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:</p> <p>(a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment</p> <p>or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p>										
<p><b>PO 19.4</b></p> <p>Buildings and structures that are ancillary to an existing non-residential use do not detract from the streetscape character, appearance of buildings on the site of the development, or the amenity of neighbouring properties.</p>	<p><b>DTS/DPF 19.4</b></p> <p>Non-residential ancillary buildings and structures:</p> <p>(a) are ancillary and subordinate to an existing non-residential use on the same site</p> <p>(b) have a floor area not exceeding the following:</p> <table border="1"> <tr> <th>Allotment size</th><th>Floor area</th></tr> <tr> <td>≤500m<sup>2</sup></td><td>60m<sup>2</sup></td></tr> <tr> <td>&gt;500m<sup>2</sup></td><td>80m<sup>2</sup></td></tr> </table> <p>(c) are not constructed, added to or altered so that any part is situated:</p> <p>(i) in front of any part of the building line of the main building to which it is ancillary</p> <p>or</p> <p>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</p> <p>(d) in the case of a garage or carport, the garage or carport:</p> <p>(i) is set back at least 5.5m from the boundary of the primary street</p> <p>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:</p> <p>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary</p> <p>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</p> <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</p> <p>(h) have a wall height (or post height) not exceeding 3m (and not including a gable end)</p> <p>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</p> <p>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour.</p>	Allotment size	Floor area	≤500m <sup>2</sup>	60m <sup>2</sup>	>500m <sup>2</sup>	80m <sup>2</sup>				
Allotment size	Floor area										
≤500m <sup>2</sup>	60m <sup>2</sup>										
>500m <sup>2</sup>	80m <sup>2</sup>										
Residential Development - Low Rise											
External appearance											
<p><b>PO 20.1</b></p>	<p><b>DTS/DPF 20.1</b></p>										

Policy24		P&D Code (in effect) - Version 2023.12 - 17/08/2023			
Garaging is designed to not detract from the streetscape or appearance of a dwelling.		Garages and carports facing a street:  (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a garage door / opening width not exceeding 7m (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.			
PO 20.2  Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.		DTS/DPF 20.2  Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:  (a) a minimum of 30% of the building wall is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building wall (c) a balcony projects from the building wall (d) a verandah projects at least 1m from the building wall (e) eaves of a minimum 400mm width extend along the width of the front elevation (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm (g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.			
PO 20.3  The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.		DTS/DPF 20.3  None are applicable			
Private Open Space					
PO 21.1  Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.		DTS/DPF 21.1  Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.			
PO 21.2  Private open space is positioned to provide convenient access from internal living areas.		DTS/DPF 21.2  Private open space is directly accessible from a habitable room.			
Landscaping					
PO 22.1  Soft landscaping is incorporated into development to:  (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes.		DTS/DPF 22.1  Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):  (a) a total area for the entire development site, including any common property, as determined by the following table: <table><tr><td>Site area (or in the case of residential flat building or group dwelling(s), average site</td><td>Minimum percentage of site</td></tr></table>		Site area (or in the case of residential flat building or group dwelling(s), average site	Minimum percentage of site
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	<table border="1"> <thead> <tr> <th data-bbox="889 100 1247 180">area) (m<sup>2</sup>)</th><th data-bbox="1247 100 1492 180"></th></tr> </thead> <tbody> <tr> <td data-bbox="889 180 1247 205">&lt;150</td><td data-bbox="1247 180 1492 205">10%</td></tr> <tr> <td data-bbox="889 205 1247 264">150-200</td><td data-bbox="1247 205 1492 264">15%</td></tr> <tr> <td data-bbox="889 264 1247 331">&gt;200-450</td><td data-bbox="1247 264 1492 331">20%</td></tr> <tr> <td data-bbox="889 331 1247 399">&gt;450</td><td data-bbox="1247 331 1492 399">25%</td></tr> </tbody> </table> <p>(b) at least 30% of any land between the primary street boundary and the primary building line.</p>	area) (m <sup>2</sup> )		<150	10%	150-200	15%	>200-450	20%	>450	25%
area) (m <sup>2</sup> )											
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
Car parking, access and manoeuvrability											
<p><b>PO 23.1</b></p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p><b>DTS/DPF 23.1</b></p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <p>(a) single width car parking spaces:</p> <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m per space</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> <p>(b) double width car parking spaces (side by side):</p> <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.4m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul>										
<p><b>PO 23.2</b></p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p><b>DTS/DPF 23.2</b></p> <p>Uncovered car parking spaces have:</p> <p>(a) a minimum length of 5.4m</p> <p>(b) a minimum width of 2.4m</p> <p>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</p>										
<p><b>PO 23.3</b></p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p><b>DTS/DPF 23.3</b></p> <p>Driveways and access points satisfy (a) or (b):</p> <p>(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site</p> <p>(b) sites with a frontage to a public road greater than 10m:</p> <ul style="list-style-type: none"> <li>(i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;</li> <li>(ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.</li> </ul>										
<p><b>PO 23.4</b></p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p><b>DTS/DPF 23.4</b></p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <p>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</p> <p>(b) where newly proposed, is set back:</p> <ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul>										
<p><b>PO 23.5</b></p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p><b>DTS/DPF 23.5</b></p> <p>Driveways are designed and sited so that:</p> <p>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</p>										



	<p>(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:</p>  <p>(c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site,</p>
<p><b>PO 23.6</b></p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p><b>DTS/DPF 23.6</b></p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
Waste storage	
<p><b>PO 24.1</b></p> <p>Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p><b>DTS/DPF 24.1</b></p> <p>Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <ul style="list-style-type: none"> <li>(a) has a minimum area of 2m<sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and</li> <li>(b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.</li> </ul>
Design of Transportable Buildings	
<p><b>PO 25.1</b></p> <p>The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.</p>	<p><b>DTS/DPF 25.1</b></p> <p>Buildings satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) are not transportable</li> <li>(b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.</li> </ul>
Residential Development - Medium and High Rise (including serviced apartments)	
Outlook and Visual Privacy	
<p><b>PO 26.1</b></p>	<p><b>DTS/DPF 26.1</b></p>

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Ground level dwellings have a satisfactory short range visual outlook to public, communal or private open space.		Buildings:  (a) provide a habitable room at ground or first level with a window facing toward the street (b) limit the height / extent of solid walls or fences facing the street to 1.2m high above the footpath level or, where higher, to 50% of the site frontage.	
PO 26.2  The visual privacy of ground level dwellings within multi-level buildings is protected.		DTS/DPF 26.2  The finished floor level of ground level dwellings in multi-storey developments is raised by up to 1.2m.	
Private Open Space			
PO 27.1  Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.		DTS/DPF 27.1  Private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space.	
Residential amenity in multi-level buildings			
PO 28.1  Residential accommodation within multi-level buildings have habitable rooms, windows and balconies designed and positioned to be separated from those of other dwellings and accommodation to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces.		DTS/DPF 28.1  Habitable rooms and balconies of independent dwellings and accommodation are separated by at least 6m from one another where there is a direct line of sight between them and 3m or more from a side or rear property boundary.	
PO 28.2  Balconies are designed, positioned and integrated into the overall architectural form and detail of the development to:  (a) respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy (b) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas.		DTS/DPF 28.2  Balconies utilise one or a combination of the following design elements:  (a) sun screens (b) pergolas (c) louvres (d) green facades (e) openable walls.	
PO 28.3  Balconies are of sufficient size and depth to accommodate outdoor seating and promote indoor / outdoor living.		DTS/DPF 28.3  Balconies open directly from a habitable room and incorporate a minimum dimension of 2m.	
PO 28.4  Dwellings are provided with sufficient space for storage to meet likely occupant needs.		DTS/DPF 28.4  Dwellings (not including student accommodation or serviced apartments) are provided with storage at the following rates with at least 50% or more of the storage volume to be provided within the dwelling:  (a) studio: not less than 6m <sup>3</sup> (b) 1 bedroom dwelling / apartment: not less than 8m <sup>3</sup> (c) 2 bedroom dwelling / apartment: not less than 10m <sup>3</sup> (d) 3+ bedroom dwelling / apartment: not less than 12m <sup>3</sup> .	
PO 28.5  Dwellings that use light wells for access to daylight, outlook and ventilation for habitable rooms, are designed to ensure a reasonable living amenity is provided.		DTS/DPF 28.5  Light wells:  (a) are not used as the primary source of outlook for living rooms (b) up to 18m in height have a minimum horizontal dimension of 3m, or 6m if overlooked by bedrooms (c) above 18m in height have a minimum horizontal dimension of 6m, or 9m if overlooked by bedrooms.	
PO 28.6  Attached or abutting dwellings are designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions.		DTS/DPF 28.6  None are applicable.	

<p><b>PO 28.7</b></p> <p>Dwellings are designed so that internal structural columns correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable.</p>	<p><b>DTS/DPF 28.7</b></p> <p>None are applicable.</p>										
Dwelling Configuration											
<p><b>PO 29.1</b></p> <p>Buildings containing in excess of 10 dwellings provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling to contribute to housing diversity.</p>	<p><b>DTS/DPF 29.1</b></p> <p>Buildings containing in excess of 10 dwellings provide at least one of each of the following:</p> <ul style="list-style-type: none"> <li>(a) studio (where there is no separate bedroom)</li> <li>(b) 1 bedroom dwelling / apartment with a floor area of at least 50m<sup>2</sup></li> <li>(c) 2 bedroom dwelling / apartment with a floor area of at least 65m<sup>2</sup></li> <li>(d) 3+ bedroom dwelling / apartment with a floor area of at least 80m<sup>2</sup>, and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom.</li> </ul>										
<p><b>PO 29.2</b></p> <p>Dwellings located on the ground floor of multi-level buildings with 3 or more bedrooms have the windows of their habitable rooms overlooking internal courtyard space or other public space, where possible.</p>	<p><b>DTS/DPF 29.2</b></p> <p>None are applicable.</p>										
Common Areas											
<p><b>PO 30.1</b></p> <p>The size of lifts, lobbies and corridors is sufficient to accommodate movement of bicycles, strollers, mobility aids and visitor waiting areas.</p>	<p><b>DTS/DPF 30.1</b></p> <p>Common corridor or circulation areas:</p> <ul style="list-style-type: none"> <li>(a) have a minimum ceiling height of 2.7m</li> <li>(b) provide access to no more than 8 dwellings</li> <li>(c) incorporate a wider section at apartment entries where the corridors exceed 12m in length from a core.</li> </ul>										
Group Dwellings, Residential Flat Buildings and Battle axe Development											
Amenity											
<p><b>PO 31.1</b></p> <p>Dwellings are of a suitable size to provide a high standard of amenity for occupants.</p>	<p><b>DTS/DPF 31.1</b></p> <p>Dwellings have a minimum internal floor area in accordance with the following table:</p> <table border="1" data-bbox="833 1257 1484 1661"> <thead> <tr> <th>Number of bedrooms</th><th>Minimum internal floor area</th></tr> </thead> <tbody> <tr> <td>Studio</td><td>35m<sup>2</sup></td></tr> <tr> <td>1 bedroom</td><td>50m<sup>2</sup></td></tr> <tr> <td>2 bedroom</td><td>65m<sup>2</sup></td></tr> <tr> <td>3+ bedrooms</td><td>80m<sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom</td></tr> </tbody> </table>	Number of bedrooms	Minimum internal floor area	Studio	35m <sup>2</sup>	1 bedroom	50m <sup>2</sup>	2 bedroom	65m <sup>2</sup>	3+ bedrooms	80m <sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m <sup>2</sup> for every additional bedroom
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<p><b>PO 31.2</b></p> <p>The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.</p>	<p><b>DTS/DPF 31.2</b></p> <p>None are applicable.</p>										
<p><b>PO 31.3</b></p> <p>Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.</p>	<p><b>DTS/DPF 31.3</b></p> <p>None are applicable.</p>										



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<b>PO 31.4</b>	Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.	<b>DTS/DPF 31.4</b>	Dwelling sites/allotments are not in the form of a battle-axe arrangement.
Communal Open Space			
<b>PO 32.1</b>	Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	<b>DTS/DPF 32.1</b>	None are applicable.
<b>PO 32.2</b>	Communal open space is of sufficient size and dimensions to cater for group recreation.	<b>DTS/DPF 32.2</b>	Communal open space incorporates a minimum dimension of 5 metres.
<b>PO 32.3</b>	Communal open space is designed and sited to: <ul style="list-style-type: none"> <li>(a) be conveniently accessed by the dwellings which it services</li> <li>(b) have regard to acoustic, safety, security and wind effects.</li> </ul>	<b>DTS/DPF 32.3</b>	None are applicable.
<b>PO 32.4</b>	Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	<b>DTS/DPF 32.4</b>	None are applicable.
<b>PO 32.5</b>	Communal open space is designed and sited to: <ul style="list-style-type: none"> <li>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</li> <li>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</li> </ul>	<b>DTS/DPF 32.5</b>	None are applicable.
Car parking, access and manoeuvrability			
<b>PO 33.1</b>	Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	<b>DTS/DPF 33.1</b>	Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements: <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
<b>PO 33.2</b>	The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.	<b>DTS/DPF 33.2</b>	Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.
<b>PO 33.3</b>	Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.	<b>DTS/DPF 33.3</b>	Driveways that service more than 1 dwelling or a dwelling on a battle-axe site: <ul style="list-style-type: none"> <li>(a) have a minimum width of 3m</li> <li>(b) for driveways servicing more than 3 dwellings: <ul style="list-style-type: none"> <li>(i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street</li> <li>(ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</li> </ul> </li> </ul>
<b>PO 33.4</b>	Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	<b>DTS/DPF 33.4</b>	Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
<b>PO 33.5</b>		<b>DTS/DPF 33.5</b>	

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Dwellings are adequately separated from common driveways and manoeuvring areas.		Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.	
Soft landscaping			
<b>PO 34.1</b>  Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.	<b>DTS/DPF 34.1</b>  Other than where located directly in front of a garage or building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.		
<b>PO 34.2</b>  Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	<b>DTS/DPF 34.2</b>  Battle-axe or common driveways satisfy (a) and (b):  (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).		
Site Facilities / Waste Storage			
<b>PO 35.1</b>  Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	<b>DTS/DPF 35.1</b>  None are applicable.		
<b>PO 35.2</b>  Provision is made for suitable external clothes drying facilities.	<b>DTS/DPF 35.2</b>  None are applicable.		
<b>PO 35.3</b>  Provision is made for suitable household waste and recyclable material storage facilities which are:  (a) located away, or screened, from public view, and (b) conveniently located in proximity to dwellings and the waste collection point.	<b>DTS/DPF 35.3</b>  None are applicable.		
<b>PO 35.4</b>  Waste and recyclable material storage areas are located away from dwellings.	<b>DTS/DPF 35.4</b>  Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.		
<b>PO 35.5</b>  Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.	<b>DTS/DPF 35.5</b>  None are applicable.		
<b>PO 35.6</b>  Services including gas and water meters are conveniently located and screened from public view.	<b>DTS/DPF 35.6</b>  None are applicable.		
Water sensitive urban design			
<b>PO 36.1</b>  Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	<b>DTS/DPF 36.1</b>  None are applicable.		

<p><b>PO 36.2</b></p> <p>Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p>	<p><b>DTS/DPF 36.2</b></p> <p>None are applicable.</p>
Supported Accommodation and retirement facilities	
Siting, Configuration and Design	
<p><b>PO 37.1</b></p> <p>Supported accommodation and housing for aged persons and people with disabilities is located where on-site movement of residents is not unduly restricted by the slope of the land.</p>	<p><b>DTS/DPF 37.1</b></p> <p>None are applicable.</p>
<p><b>PO 37.2</b></p> <p>Universal design features are incorporated to provide options for people living with disabilities or limited mobility and / or to facilitate ageing in place.</p>	<p><b>DTS/DPF 37.2</b></p> <p>None are applicable.</p>
Movement and Access	
<p><b>PO 38.1</b></p> <p>Development is designed to support safe and convenient access and movement for residents by providing:</p> <ul style="list-style-type: none"> <li>(a) ground-level access or lifted access to all units</li> <li>(b) level entry porches, ramps, paths, driveways, passenger loading areas and areas adjacent to footpaths that allow for the passing of wheelchairs and resting places</li> <li>(c) car parks with gradients no steeper than 1-in-40, and of sufficient area to provide for wheelchair manoeuvrability</li> <li>(d) kerb ramps at pedestrian crossing points.</li> </ul>	<p><b>DTS/DPF 38.1</b></p> <p>None are applicable.</p>
Communal Open Space	
<p><b>PO 39.1</b></p> <p>Development is designed to provide attractive, convenient and comfortable indoor and outdoor communal areas to be used by residents and visitors.</p>	<p><b>DTS/DPF 39.1</b></p> <p>None are applicable.</p>
<p><b>PO 39.2</b></p> <p>Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.</p>	<p><b>DTS/DPF 39.2</b></p> <p>None are applicable.</p>
<p><b>PO 39.3</b></p> <p>Communal open space is of sufficient size and dimensions to cater for group recreation.</p>	<p><b>DTS/DPF 39.3</b></p> <p>Communal open space incorporates a minimum dimension of 5 metres.</p>
<p><b>PO 39.4</b></p> <p>Communal open space is designed and sited to:</p> <ul style="list-style-type: none"> <li>(a) be conveniently accessed by the dwellings which it services</li> <li>(b) have regard to acoustic, safety, security and wind effects.</li> </ul>	<p><b>DTS/DPF 39.4</b></p> <p>None are applicable.</p>
<p><b>PO 39.5</b></p> <p>Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.</p>	<p><b>DTS/DPF 39.5</b></p> <p>None are applicable.</p>
<p><b>PO 39.6</b></p> <p>Communal open space is designed and sited to:</p>	<p><b>DTS/DPF 39.6</b></p> <p>None are applicable.</p>



<p>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</p> <p>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</p>	
Site Facilities / Waste Storage	
<p><b>PO 40.1</b></p> <p>Development is designed to provide storage areas for personal items and specialised equipment such as small electric powered vehicles, including facilities for the recharging of small electric-powered vehicles.</p>	<p><b>DTS/DPF 40.1</b></p> <p>None are applicable.</p>
<p><b>PO 40.2</b></p> <p>Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.</p>	<p><b>DTS/DPF 40.2</b></p> <p>None are applicable.</p>
<p><b>PO 40.3</b></p> <p>Provision is made for suitable external clothes drying facilities.</p>	<p><b>DTS/DPF 40.3</b></p> <p>None are applicable.</p>
<p><b>PO 40.4</b></p> <p>Provision is made for suitable household waste and recyclable material storage facilities conveniently located away, or screened, from view.</p>	<p><b>DTS/DPF 40.4</b></p> <p>None are applicable.</p>
<p><b>PO 40.5</b></p> <p>Waste and recyclable material storage areas are located away from dwellings.</p>	<p><b>DTS/DPF 40.5</b></p> <p>Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.</p>
<p><b>PO 40.6</b></p> <p>Provision is made for on-site waste collection where 10 or more bins are to be collected at any one time.</p>	<p><b>DTS/DPF 40.6</b></p> <p>None are applicable.</p>
<p><b>PO 40.7</b></p> <p>Services, including gas and water meters, are conveniently located and screened from public view.</p>	<p><b>DTS/DPF 40.7</b></p> <p>None are applicable.</p>
Student Accommodation	
<p><b>PO 41.1</b></p> <p>Student accommodation is designed to provide safe, secure, attractive, convenient and comfortable living conditions for residents, including an internal layout and facilities that are designed to provide sufficient space and amenity for the requirements of student life and promote social interaction.</p>	<p><b>DTS/DPF 41.1</b></p> <p>Student accommodation provides:</p> <ul style="list-style-type: none"> <li>(a) a range of living options to meet a variety of accommodation needs, such as one-bedroom, two-bedroom and disability access units</li> <li>(b) common or shared facilities to enable a more efficient use of space, including: <ul style="list-style-type: none"> <li>(i) shared cooking, laundry and external drying facilities</li> <li>(ii) internal and external communal and private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space</li> <li>(iii) common storage facilities at the rate of 8m<sup>3</sup> for every 2 dwellings or students</li> <li>(iv) common on-site parking in accordance with Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas</li> <li>(v) bicycle parking at the rate of one space for every 2 students.</li> </ul> </li> </ul>
<p><b>PO 41.2</b></p> <p>Student accommodation is designed to provide easy adaptation of the building to accommodate an alternative use of the building in the event it is no longer required for student housing.</p>	<p><b>DTS/DPF 41.2</b></p> <p>None are applicable.</p>
All non-residential development	

Water Sensitive Design	
<b>PO 42.1</b> Development likely to result in risk of export of sediment, suspended solids, organic matter, nutrients, oil and grease include stormwater management systems designed to minimise pollutants entering stormwater.	<b>DTS/DPF 42.1</b> None are applicable.
<b>PO 42.2</b> Water discharged from a development site is of a physical, chemical and biological condition equivalent to or better than its pre-developed state.	<b>DTS/DPF 42.2</b> None are applicable.
<b>PO 42.3</b> Development includes stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that development does not increase peak flows in downstream systems.	<b>DTS/DPF 42.3</b> None are applicable.
Wash-down and Waste Loading and Unloading	
<b>PO 43.1</b> Areas for activities including loading and unloading, storage of waste refuse bins in commercial and industrial development or wash-down areas used for the cleaning of vehicles, plant or equipment are: <ul style="list-style-type: none"> <li>(a) designed to contain all wastewater likely to pollute stormwater within a bunded and roofed area to exclude the entry of external surface stormwater run-off</li> <li>(b) paved with an impervious material to facilitate wastewater collection</li> <li>(c) of sufficient size to prevent 'splash-out' or 'over-spray' of wastewater from the wash-down area</li> <li>(d) are designed to drain wastewater to either: <ul style="list-style-type: none"> <li>(i) a treatment device such as a sediment trap and coalescing plate oil separator with subsequent disposal to a sewer, private or Community Wastewater Management Scheme or</li> <li>(ii) a holding tank and its subsequent removal off-site on a regular basis.</li> </ul> </li> </ul>	<b>DTS/DPF 43.1</b> None are applicable.
Laneway Development	
Infrastructure and Access	
<b>PO 44.1</b> Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where: <ul style="list-style-type: none"> <li>(a) existing utility infrastructure and services are capable of accommodating the development</li> <li>(b) the primary street can support access by emergency and regular service vehicles (such as waste collection)</li> <li>(c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems)</li> <li>(d) safety of pedestrians or vehicle movement is maintained</li> <li>(e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.</li> </ul>	<b>DTS/DPF 44.1</b> Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.
Decks	
Design and Siting	
<b>PO 45.1</b> Decks are designed and sited to: <ul style="list-style-type: none"> <li>(a) complement the associated building form</li> <li>(b) minimise impacts on the streetscape through siting behind the building line of the principal building (unless on a significant allotment or open space)</li> <li>(c) minimise cut and fill and overall massing when viewed from adjacent land.</li> </ul>	<b>DTS/DPF 45.1</b> Decks: <ul style="list-style-type: none"> <li>(a) where ancillary to a dwelling: <ul style="list-style-type: none"> <li>(i) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> <li>A. in front of any part of the building line of the dwelling to which it is ancillary or</li> <li>B. within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> </ul> </li> </ul>

	<p>(ii) are set back at least 900mm from side or rear allotment boundaries</p> <p>(iii) when attached to the dwelling, has a finished floor level consistent with the finished ground floor level of the dwelling</p> <p>(iv) where associated with a residential use, retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (A) or (B), whichever is less:</p> <p>A. a total area is determined by the following table:</p> <table> <tr> <th>Site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>&gt;200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </table> <p>B. the amount of existing soft landscaping prior to the development occurring.</p> <p>(b) where in association with a non-residential use:</p> <p>(i) are set back at least 2 metres from the boundary of an allotment used for residential purposes.</p> <p>(ii) are set back at least 2 metres from a public road.</p> <p>(iii) have a floor area not exceeding 25m<sup>2</sup></p> <p>(c) in all cases, has a finished floor level not exceeding 1 metre above natural ground level at any point.</p>	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
<p><b>PO 45.2</b></p> <p>Decks are designed and sited to minimise direct overlooking of habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones through suitable floor levels, screening and siting taking into account the slope of the subject land, existing vegetation on the subject land, and fencing.</p>	<p><b>DTS/DPF 45.2</b></p> <p>Decks with a finished floor level/s 500mm or more above natural ground level facing side or rear boundaries shared with a residential use in a neighbourhood-type zone incorporate screening with a maximum of 25% transparency/openings, permanently fixed to the outer edge of the deck not less than 1.5 m above the finished floor level/s.</p>										
<p><b>PO 45.3</b></p> <p>Decks used for outdoor dining, entertainment or other commercial uses provide carparking in accordance with the primary use of the deck.</p>	<p><b>DTS/DPF 45.3</b></p> <p>Decks used for commercial purposes do not result in less on-site car parking for the primary use of the subject land than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <p>(a) Site area &lt;301m<sup>2</sup>: 24m<sup>2</sup> located behind the building line.</p> <p>(b) Site area ≥ 301m<sup>2</sup>: 60m<sup>2</sup> located behind the building line.</p>



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		Minimum directly accessible from a living room: 16m <sup>2</sup> / with a minimum dimension 3m.
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m <sup>2</sup> , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m <sup>2</sup> / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m <sup>2</sup> / minimum dimension 1.8m
	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m
	Two bedroom dwelling	11m <sup>2</sup> / minimum dimension 2.4m
	Three + bedroom dwelling	15 m <sup>2</sup> / minimum dimension 2.6m

## Forestry

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Commercial forestry is designed and sited to maximise economic benefits whilst managing potential negative impacts on the environment, transport networks, surrounding land uses and landscapes.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting	
<b>PO 1.1</b> Commercial forestry plantations are established where there is no detrimental effect on the physical environment or scenic quality of the rural landscape.	<b>DTS/DPF 1.1</b> None are applicable.
<b>PO 1.2</b> Commercial forestry plantations are established on slopes that are stable to minimise the risk of soil erosion.	<b>DTS/DPF 1.2</b> Commercial forestry plantations are not located on land with a slope exceeding 20% (1-in-5).
<b>PO 1.3</b> Commercial forestry plantations and operations associated with their establishment, management and harvesting are appropriately set back from any sensitive receiver to minimise fire risk and noise disturbance.	<b>DTS/DPF 1.3</b> Commercial forestry plantations and operations associated with their establishment, management and harvesting are set back 50m or more from any sensitive receiver.
Water Protection	

<p><b>PO 2.1</b></p> <p>Commercial forestry plantations incorporate artificial drainage lines (i.e. culverts, runoffs and constructed drains) integrated with natural drainage lines to minimise concentrated water flows onto or from plantation areas.</p>	<p><b>DTS/DPF 2.1</b></p> <p>None are applicable.</p>																					
<p><b>PO 2.2</b></p> <p>Appropriate siting, layout and design measures are adopted to minimise the impact of commercial forestry plantations on surface water resources.</p>	<p><b>DTS/DPF 2.2</b></p> <p>Commercial forestry plantations:</p> <p>(a) do not involve cultivation (excluding spot cultivation) in drainage lines</p> <p>(b) are set back 20m or more from the banks of any major watercourse (a third order or higher watercourse), lake, reservoir, wetland or sinkhole (with direct connection to an aquifer)</p> <p>(c) are set back 10m or more from the banks of any first or second order watercourse or sinkhole (with no direct connection to an aquifer).</p>																					
<p>Fire Management</p>																						
<p><b>PO 3.1</b></p> <p>Commercial forestry plantations incorporate appropriate firebreaks and fire management design elements.</p>	<p><b>DTS/DPF 3.1</b></p> <p>Commercial forestry plantations provide:</p> <p>(a) 7m or more wide external boundary firebreaks for plantations of 40ha or less</p> <p>(b) 10m or more wide external boundary firebreaks for plantations of between 40ha and 100ha</p> <p>(c) 20m or more wide external boundary firebreaks, or 10m with an additional 10m or more of fuel-reduced plantation, for plantations of 100ha or greater.</p> <p>Note: Firebreaks prescribed above (as well as access tracks) may be included within the setback buffer distances prescribed by other policies of the Code.</p>																					
<p><b>PO 3.2</b></p> <p>Commercial forestry plantations incorporate appropriate fire management access tracks.</p>	<p><b>DTS/DPF 3.2</b></p> <p>Commercial forestry plantation fire management access tracks:</p> <p>(a) are incorporated within all firebreaks</p> <p>(b) are 7m or more wide with a vertical clearance of 4m or more</p> <p>(c) are aligned to provide straight through access at junctions, or if they are a no through access track are appropriately signposted and provide suitable turnaround areas for fire-fighting vehicles</p> <p>(d) partition the plantation into units of 40ha or less in area.</p>																					
<p>Power-line Clearances</p>																						
<p><b>PO 4.1</b></p> <p>Commercial forestry plantations achieve and maintain appropriate clearances from aboveground powerlines.</p>	<p><b>DTS/DPF 4.1</b></p> <p>Commercial forestry plantations incorporating trees with an expected mature height of greater than 6m meet the clearance requirements listed in the following table:</p> <table><tr><td>Voltage of transmission line</td><td>Tower or Pole</td><td>Minimum horizontal clearance distance between plantings and transmission lines</td></tr><tr><td>500 kV</td><td>Tower</td><td>38m</td></tr><tr><td>275 kV</td><td>Tower</td><td>25m</td></tr><tr><td>132 kV</td><td>Tower</td><td>30m</td></tr><tr><td>132 kV</td><td>Pole</td><td>20m</td></tr><tr><td>66 kV</td><td>Pole</td><td>20m</td></tr><tr><td>Less than 66 kV</td><td>Pole</td><td>20m</td></tr></table>	Voltage of transmission line	Tower or Pole	Minimum horizontal clearance distance between plantings and transmission lines	500 kV	Tower	38m	275 kV	Tower	25m	132 kV	Tower	30m	132 kV	Pole	20m	66 kV	Pole	20m	Less than 66 kV	Pole	20m
Voltage of transmission line	Tower or Pole	Minimum horizontal clearance distance between plantings and transmission lines																				
500 kV	Tower	38m																				
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132 kV	Tower	30m																				
132 kV	Pole	20m																				
66 kV	Pole	20m																				
Less than 66 kV	Pole	20m																				

## Housing Renewal

## Assessment Provisions (AP)

The Housing Renewal General Development Policies are only applicable to dwellings or residential flat building undertaken by:

- (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or
- (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.

## Desired Outcome (DO)

Desired Outcome	
DO 1	Renewed residential environments replace older social housing and provide new social housing infrastructure and other housing options and tenures to enhance the residential amenity of the local area.

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<b>PO 1.1</b> Residential development provides a range of housing choices.	<b>DTS/DPF 1.1</b> Development comprises one or more of the following: <ul style="list-style-type: none"> <li>(a) detached dwellings</li> <li>(b) semi-detached dwellings</li> <li>(c) row dwellings</li> <li>(d) group dwellings</li> <li>(e) residential flat buildings.</li> </ul>
<b>PO 1.2</b> Medium-density housing options or higher are located in close proximity to public transit, open space and/or activity centres.	<b>DTS/DPF 1.2</b> None are applicable.
Building Height	
<b>PO 2.1</b> Buildings generally do not exceed 3 building levels unless in locations close to public transport, centres and/or open space.	<b>DTS/DPF 2.1</b> Building height (excluding garages, carports and outbuildings) does not exceed 3 building levels and 12m and wall height does not exceed 9m (not including a gable end).
<b>PO 2.2</b> Medium or high rise residential flat buildings located within or at the interface with zones which restrict heights to a maximum of 2 building levels transition down in scale and height towards the boundary of that zone, other than where it is a street boundary.	<b>DTS/DPF 2.2</b> None are applicable.
Primary Street Setback	
<b>PO 3.1</b> Buildings are set back from the primary street boundary to contribute to an attractive streetscape character.	<b>DTS/DPF 3.1</b> Buildings are no closer to the primary street (excluding any balcony, verandah, porch, awning or similar structure) than 3m.
Secondary Street Setback	
<b>PO 4.1</b> Buildings are set back from secondary street boundaries to maintain separation between building walls and public streets and contribute to a suburban streetscape	<b>DTS/DPF 4.1</b> Buildings are set back at least 900mm from the boundary of the allotment with a secondary street frontage.



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character.			
Boundary Walls			
<p><b>PO 5.1</b></p> <p>Boundary walls are limited in height and length to manage visual impacts and access to natural light and ventilation.</p>	<p><b>DTS/DPF 5.1</b></p> <p>Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, dwellings with side boundary walls are sited on only one side boundary and satisfy (a) or (b):</p> <p>(a) adjoin or abut a boundary wall of a building on adjoining land for the same length and height</p> <p>(b) do not:</p> <p>(i) exceed 3.2m in height from the lower of the natural or finished ground level</p> <p>(ii) exceed 11.5m in length</p> <p>(iii) when combined with other walls on the boundary of the subject development site, a maximum 45% of the length of the boundary</p> <p>(iv) encroach within 3 metres of any other existing or proposed boundary walls on the subject land.</p>		
<p><b>PO 5.2</b></p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a suburban streetscape character.</p>	<p><b>DTS/DPF 5.2</b></p> <p>Dwellings in a semi-detached or row arrangement are set back 900mm or more from side boundaries shared with allotments outside the development site, except for a carport or garage.</p>		
Side Boundary Setback			
<p><b>PO 6.1</b></p> <p>Buildings are set back from side boundaries to provide:</p> <p>(a) separation between dwellings in a way that contributes to a suburban character</p> <p>(b) access to natural light and ventilation for neighbours.</p>	<p><b>DTS/DPF 6.1</b></p> <p>Other than walls located on a side boundary, buildings are set back from side boundaries in accordance with the following:</p> <p>(a) where the wall height does not exceed 3m - at least 900mm</p> <p>(b) for a wall that is not south facing and the wall height exceeds 3m - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the top of the footings</p> <p>(c) for a wall that is south facing and the wall height exceeds 3m - at least 1.9m from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the top of the footings.</p>		
Rear Boundary Setback			
<p><b>PO 7.1</b></p> <p>Buildings are set back from rear boundaries to provide:</p> <p>(a) separation between dwellings in a way that contributes to a suburban character</p> <p>(b) access to natural light and ventilation for neighbours</p> <p>(c) private open space</p> <p>(d) space for landscaping and vegetation.</p>	<p><b>DTS/DPF 7.1</b></p> <p>Dwellings are set back from the rear boundary:</p> <p>(a) 3m or more for the first building level</p> <p>(b) 5m or more for any subsequent building level.</p>		
Buildings elevation design			
<p><b>PO 8.1</b></p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and common driveway areas.</p>	<p><b>DTS/DPF 8.1</b></p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <p>(a) a minimum of 30% of the building elevation is set back an additional 300mm from the building line</p> <p>(b) a porch or portico projects at least 1m from the building elevation</p> <p>(c) a balcony projects from the building elevation</p> <p>(d) a verandah projects at least 1m from the building elevation</p> <p>(e) eaves of a minimum 400mm width extend along the width of the front elevation</p> <p>(f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm.</p> <p>(g) a minimum of two different materials or finishes are incorporated on the walls of the building elevation, with a maximum of 80% of the building elevation in a single material or finish.</p>		
<p><b>PO 8.2</b></p>	<p><b>DTS/DPF 8.2</b></p>		

Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.	Each dwelling with a frontage to a public street:  (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m <sup>2</sup> facing the primary street	
<b>PO 8.3</b>  The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	<b>DTS/DPF 8.3</b>  None are applicable.	
<b>PO 8.4</b>  Built form considers local context and provides a quality design response through scale, massing, materials, colours and architectural expression.	<b>DTS/DPF 8.4</b>  None are applicable.	
<b>PO 8.5</b>  Entrances to multi-storey buildings are:  (a) oriented towards the street (b) visible and easily identifiable from the street (c) designed to include a common mail box structure.	<b>DTS/DPF 8.5</b>  None are applicable.	
Outlook and amenity		
<b>PO 9.1</b>  Living rooms have an external outlook to provide a high standard of amenity for occupants.	<b>DTS/DPF 9.1</b>  A living room of a dwelling incorporates a window with an external outlook towards the street frontage or private open space.	
<b>PO 9.2</b>  Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.	<b>DTS/DPF 9.2</b>  None are applicable.	
Private Open Space		
<b>PO 10.1</b>  Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	<b>DTS/DPF 10.1</b>  Private open space is provided in accordance with the following table:	
	<b>Dwelling Type</b>	<b>Dwelling / Site Configuration</b>
	Dwelling (at ground level)	Total area: 24m <sup>2</sup> located behind the building line  Minimum adjacent to a living room: 16m <sup>2</sup> with a minimum dimension 3m
	Dwelling (above ground level)	Studio
		One bedroom dwelling
		Two bedroom dwelling
Three + bedroom dwelling		

<b>PO 10.2</b>  Private open space positioned to provide convenient access from internal living areas.	<b>DTS/DPF 10.2</b>  At least 50% of the required area of private open space is accessible from a habitable room.										
<b>PO 10.3</b>  Private open space is positioned and designed to: <ul style="list-style-type: none"> <li>(a) provide useable outdoor space that suits the needs of occupants;</li> <li>(b) take advantage of desirable orientation and vistas; and</li> <li>(c) adequately define public and private space.</li> </ul>	<b>DTS/DPF 10.3</b>  None are applicable.										
Visual privacy											
<b>PO 11.1</b>  Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses.	<b>DTS/DPF 11.1</b>  Upper level windows facing side or rear boundaries shared with another residential allotment/site satisfy one of the following: <ul style="list-style-type: none"> <li>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm</li> <li>(b) have sill heights greater than or equal to 1.5m above finished floor level</li> <li>(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5m above the finished floor.</li> </ul>										
<b>PO 11.2</b>  Development mitigates direct overlooking from upper level balconies and terraces to habitable rooms and private open space of adjoining residential uses.	<b>DTS/DPF 11.2</b>  One of the following is satisfied: <ul style="list-style-type: none"> <li>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or</li> <li>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> <li>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land</li> <li>or</li> <li>(ii) 1.7m above finished floor level in all other cases</li> </ul> </li> </ul>										
Landscaping											
<b>PO 12.1</b>  Soft landscaping is incorporated into development to: <ul style="list-style-type: none"> <li>(a) minimise heat absorption and reflection</li> <li>(b) maximise shade and shelter</li> <li>(c) maximise stormwater infiltration and biodiversity</li> <li>(d) enhance the appearance of land and streetscapes.</li> </ul>	<b>DTS/DPF 12.1</b>  Residential development incorporates pervious areas for soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b): <ul style="list-style-type: none"> <li>(a) a total area as determined by the following table: <table border="1"> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>&lt;200</td><td>15%</td></tr> <tr> <td>200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </table> </li> <li>(b) at least 30% of land between the road boundary and the building line.</li> </ul>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	<200	15%	200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
<200	15%										
200-450	20%										
>450	25%										
Water Sensitive Design											
<b>PO 13.1</b>  Residential development is designed to capture and use stormwater to: <ul style="list-style-type: none"> <li>(a) maximise efficient use of water resources</li> <li>(b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded</li> <li>(c) manage runoff quality to maintain, as close as practical, pre-development conditions.</li> </ul>	<b>DTS/DPF 13.1</b>  None are applicable.										
Car Parking											
<b>PO 14.1</b>	<b>DTS/DPF 14.1</b>										



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On-site car parking is provided to meet the anticipated demand of residents, with less on-site parking in areas in close proximity to public transport.		On-site car parking is provided at the following rates per dwelling:  (a) 2 or fewer bedrooms - 1 car parking space (b) 3 or more bedrooms - 2 car parking spaces.	
PO 14.2  Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.		DTS/DPF 14.2  Residential parking spaces enclosed by fencing, walls or other obstructions with the following internal dimensions (separate from any waste storage area):  (a) single parking spaces: (i) a minimum length of 5.4m (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m  (b) double parking spaces (side by side): (i) a minimum length of 5.4m (ii) a minimum width of 5.5m (iii) minimum garage door width of 2.4m per space.	
PO 14.3  Uncovered car parking spaces are of dimensions to be functional, accessible and convenient.		DTS/DPF 14.3  Uncovered car parking spaces have:  (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.	
PO 14.4  Residential flat buildings and group dwelling developments provide sufficient on-site visitor car parking to cater for anticipated demand.		DTS/DPF 14.4  Visitor car parking for group and residential flat buildings incorporating 4 or more dwellings is provided on-site at a minimum ratio of 0.25 car parking spaces per dwelling.	
PO 14.5  Residential flat buildings provide dedicated areas for bicycle parking.		DTS/DPF 14.5  Residential flat buildings provide one bicycle parking space per dwelling.	
Overshadowing			
PO 15.1  Development minimises overshadowing of the private open spaces of adjoining land by ensuring that ground level open space associated with residential buildings receive direct sunlight for a minimum of 2 hours between 9am and 3pm on 21 June.		DTS/DPF 15.1  None are applicable.	
Waste			
PO 16.1  Provision is made for the convenient storage of waste bins in a location screened from public view.		DTS/DPF 16.1  A waste bin storage area is provided behind the primary building line that:  (a) has a minimum area of 2m <sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space).; and (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.	
PO 16.2  Residential flat buildings provide a dedicated area for the on-site storage of waste which is:  (a) easily and safely accessible for residents and for collection vehicles (b) screened from adjoining land and public roads (c) of sufficient dimensions to be able to accommodate the waste storage needs of the development considering the intensity and nature of the development and the frequency of collection.		DTS/DPF 16.2  None are applicable.	
Vehicle Access			

<p><b>PO 17.1</b></p> <p>Driveways are located and designed to facilitate safe access and egress while maximising land available for street tree planting, landscaped street frontages and on-street parking.</p>	<p><b>DTS/DPF 17.1</b></p> <p>None are applicable.</p>
<p><b>PO 17.2</b></p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p><b>DTS/DPF 17.2</b></p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed, is set back: <ul style="list-style-type: none"> <li>(i) 0,5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul> </li> </ul>
<p><b>PO 17.3</b></p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p><b>DTS/DPF 17.3</b></p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12,5% (1 in 8) for summit changes, and 15% (1 in 6,7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</li> <li>(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram: <div data-bbox="909 861 1453 1564" data-label="Diagram"> </div> </li> <li>(c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6,2m wide along the boundary of the allotment / site.</li> </ul>
<p><b>PO 17.4</b></p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street parking.</p>	<p><b>DTS/DPF 17.4</b></p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> <li>(a) minimum 0,33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5,4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
<p><b>PO 17.5</b></p>	<p><b>DTS/DPF 17.5</b></p>

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Residential driveways that service more than one dwelling of a dimension to allow safe and convenient movement.		Driveways that service more than 1 dwelling or a dwelling on a battle-axe site: (a) have a minimum width of 3m (b) for driveways servicing more than 3 dwellings: (i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street (ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.	
PO 17.6	Residential driveways that service more than one dwelling are designed to allow passenger vehicles to enter and exit the site and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 17.6	Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre
PO 17.7	Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 17.7	Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Storage			
PO 18.1	Dwellings are provided with sufficient and accessible space for storage to meet likely occupant needs.	DTS/DPF 18.1	Dwellings are provided with storage at the following rates and 50% or more of the storage volume is provided within the dwelling:  (a) studio: not less than 6m <sup>3</sup> (b) 1 bedroom dwelling / apartment: not less than 8m <sup>3</sup> (c) 2 bedroom dwelling / apartment: not less than 10m <sup>3</sup> (d) 3+ bedroom dwelling / apartment: not less than 12m <sup>3</sup> .
Earthworks			
PO 19.1	Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 19.1	The development does not involve:  (a) excavation exceeding a vertical height of 1m or (b) filling exceeding a vertical height of 1m or (c) a total combined excavation and filling vertical height exceeding 2m.
Service connections and infrastructure			
PO 20.1	Dwellings are provided with appropriate service connections and infrastructure.	DTS/DPF 20.1	The site and building:  (a) have the ability to be connected to a permanent potable water supply (b) have the ability to be connected to a sewerage system, or a wastewater system approved under the <i>South Australian Public Health Act 2011</i> (c) have the ability to be connected to electricity supply (d) have the ability to be connected to an adequate water supply (and pressure) for fire-fighting purposes (e) would not be contrary to the Regulations prescribed for the purposes of Section 86 of the <i>Electricity Act 1996</i> .
Site contamination			
PO 21.1	Land that is suitable for sensitive land uses to provide a safe environment.	DTS/DPF 21.1	Development satisfies (a), (b), (c) or (d):  (a) does not involve a change in the use of land (b) involves a change in the use of land that does not constitute a change to a <u>more sensitive use</u> (c) involves a change in the use of land to a <u>more sensitive use</u> on land at which <u>site contamination</u> does not exist (as demonstrated in a <u>site contamination declaration form</u> ) (d) involves a change in the use of land to a <u>more sensitive use</u> on land at which <u>site contamination</u> exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: (i) a <u>site contamination audit report</u> has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that



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	<p>A. <u>site contamination</u> does not exist (or no longer exists) at the land or</p> <p>B. the land is suitable for the proposed use or range of uses (without the need for any further <u>remediation</u>) or</p> <p>C. where <u>remediation</u> is, or remains, necessary for the proposed use (or range of uses), <u>remediation work</u> has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the <u>site contamination audit report</u> (as demonstrated in a <u>site contamination declaration form</u>).</p>

## Infrastructure and Renewable Energy Facilities

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
General	
<b>PO 1.1</b> Development is located and designed to minimise hazard or nuisance to adjacent development and land uses.	<b>DTS/DPF 1.1</b> None are applicable.
Visual Amenity	
<b>PO 2.1</b> The visual impact of above-ground infrastructure networks and services (excluding high voltage transmission lines), renewable energy facilities (excluding wind farms), energy storage facilities and ancillary development is minimised from townships, scenic routes and public roads by: <ul style="list-style-type: none"> <li>(a) utilising features of the natural landscape to obscure views where practicable</li> <li>(b) siting development below ridgelines where practicable</li> <li>(c) avoiding visually sensitive and significant landscapes</li> <li>(d) using materials and finishes with low-reflectivity and colours that complement the surroundings</li> <li>(e) using existing vegetation to screen buildings</li> <li>(f) incorporating landscaping or landscaped mounding around the perimeter of a site and between adjacent allotments accommodating or zoned to primarily accommodate sensitive receivers.</li> </ul>	<b>DTS/DPF 2.1</b> None are applicable.
<b>PO 2.2</b> Pumping stations, battery storage facilities, maintenance sheds and other ancillary structures incorporate vegetation buffers to reduce adverse visual impacts on adjacent land.	<b>DTS/DPF 2.2</b> None are applicable.
<b>PO 2.3</b>	<b>DTS/DPF 2.3</b>

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Surfaces exposed by earthworks associated with the installation of storage facilities, pipework, penstock, substations and other ancillary plant are reinstated and revegetated to reduce adverse visual impacts on adjacent land.		None are applicable.	
Rehabilitation			
PO 3.1  Progressive rehabilitation (incorporating revegetation) of disturbed areas, ahead of or upon decommissioning of areas used for renewable energy facilities and transmission corridors.		DTS/DPF 3.1  None are applicable.	
Hazard Management			
PO 4.1  Infrastructure and renewable energy facilities and ancillary development located and operated to not adversely impact maritime or air transport safety, including the operation of ports, airfields and landing strips.		DTS/DPF 4.1  None are applicable.	
PO 4.2  Facilities for energy generation, power storage and transmission are separated as far as practicable from dwellings, tourist accommodation and frequently visited public places (such as viewing platforms / lookouts) to reduce risks to public safety from fire or equipment malfunction.		DTS/DPF 4.2  None are applicable.	
PO 4.3  Bushfire hazard risk is minimised for renewable energy facilities by providing appropriate access tracks, safety equipment and water tanks and establishing cleared areas around substations, battery storage and operations compounds.		DTS/DPF 4.3  None are applicable.	
Electricity Infrastructure and Battery Storage Facilities			
PO 5.1  Electricity infrastructure is located to minimise visual impacts through techniques including:  (a) siting utilities and services: (i) on areas already cleared of native vegetation (ii) where there is minimal interference or disturbance to existing native vegetation or biodiversity  (b) grouping utility buildings and structures with non-residential development, where practicable.		DTS/DPF 5.1  None are applicable.	
PO 5.2  Electricity supply (excluding transmission lines) serving new development in urban areas and townships installed underground, excluding lines having a capacity exceeding or equal to 33kV.		DTS/DPF 5.2  None are applicable.	
PO 5.3  Battery storage facilities are co-located with substation infrastructure where practicable to minimise the development footprint and reduce environmental impacts.		DTS/DPF 5.3  None are applicable.	
Telecommunication Facilities			
PO 6.1  The proliferation of telecommunications facilities in the form of towers/monopoles in any one locality is managed, where technically feasible, by co-locating a facility with other communications facilities to mitigate impacts from clutter on visual amenity.		DTS/DPF 6.1  None are applicable.	

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<b>PO 6.2</b>  Telecommunications antennae are located as close as practicable to support structures to manage overall bulk and mitigate impacts on visual amenity.		<b>DTS/DPF 6.2</b>  None are applicable.	
<b>PO 6.3</b>  Telecommunications facilities, particularly towers/monopoles, are located and sized to mitigate visual impacts by the following methods:  <b>(a)</b> where technically feasible, incorporating the facility within an existing structure that may serve another purpose  or all of the following:  <b>(b)</b> using existing buildings and landscape features to obscure or interrupt views of a facility from nearby public roads, residential areas and places of high public amenity to the extent practical without unduly hindering the effective provision of telecommunications services  <b>(c)</b> using materials and finishes that complement the environment  <b>(d)</b> screening using landscaping and vegetation, particularly for equipment shelters and huts.		<b>DTS/DPF 6.3</b>  None are applicable.	
Renewable Energy Facilities			
<b>PO 7.1</b>  Renewable energy facilities are located as close as practicable to existing transmission infrastructure to facilitate connections and minimise environmental impacts as a result of extending transmission infrastructure.		<b>DTS/DPF 7.1</b>  None are applicable.	
Renewable Energy Facilities (Wind Farm)			
<b>PO 8.1</b>  Visual impact of wind turbine generators on the amenity of residential and tourist development is reduced through appropriate separation.		<b>DTS/DPF 8.1</b>  Wind turbine generators are:  <b>(a)</b> set back at least 2000m from the base of a turbine to any of the following zones: <b>(i)</b> Rural Settlement Zone <b>(ii)</b> Township Zone <b>(iii)</b> Rural Living Zone <b>(iv)</b> Rural Neighbourhood Zone  with an additional 10m setback per additional metre over 150m overall turbine height (measured from the base of the turbine).  <b>(b)</b> set back at least 1500m from the base of the turbine to non-associated (non-stakeholder) dwellings and tourist accommodation	
<b>PO 8.2</b>  The visual impact of wind turbine generators on natural landscapes is managed by:  <b>(a)</b> designing wind turbine generators to be uniform in colour, size and shape <b>(b)</b> coordinating blade rotation and direction <b>(c)</b> mounting wind turbine generators on tubular towers as opposed to lattice towers.		<b>DTS/DPF 8.2</b>  None are applicable.	
<b>PO 8.3</b>  Wind turbine generators and ancillary development minimise potential for bird and bat strike.		<b>DTS/DPF 8.3</b>  None are applicable.	
<b>PO 8.4</b>  Wind turbine generators incorporate recognition systems or physical markers to minimise the risk to aircraft operations.		<b>DTS/DPF 8.4</b>  No Commonwealth air safety (CASA / ASA) or Defence requirement is applicable.	
<b>PO 8.5</b>  Meteorological masts and guidewires are identifiable to aircraft through the use of colour bands, marker balls, high visibility sleeves or flashing strobes.		<b>DTS/DPF 8.5</b>  None are applicable.	
Renewable Energy Facilities (Solar Power)			



<p><b>PO 9.1</b></p> <p>Ground mounted solar power facilities generating 5MW or more are not located on land requiring the clearance of areas of intact native vegetation or on land of high environmental, scenic or cultural value.</p>	<p><b>DTS/DPF 9.1</b></p> <p>None are applicable.</p>																																			
<p><b>PO 9.2</b></p> <p>Ground mounted solar power facilities allow for movement of wildlife by:</p> <p>(a) incorporating wildlife corridors and habitat refuges</p> <p>(b) avoiding the use of extensive security or perimeter fencing or incorporating fencing that enables the passage of small animals without unreasonably compromising the security of the facility.</p>	<p><b>DTS/DPF 9.2</b></p> <p>None are applicable.</p>																																			
<p><b>PO 9.3</b></p> <p>Amenity impacts of solar power facilities are minimised through separation from conservation areas and sensitive receivers in other ownership.</p>	<p><b>DTS/DPF 9.3</b></p> <p>Ground mounted solar power facilities are set back from land boundaries, conservation areas and relevant zones in accordance with the following criteria:</p> <table><tr><th>Generation Capacity</th><th>Approximate size of array</th><th>Setback from adjoining land boundary</th><th>Setback from conservation areas</th><th>Setback from Township, Rural Settlement, Rural Neighbourhood and Rural Living Zones<sup>1</sup></th></tr><tr><td>50MW&gt;</td><td>80ha+</td><td>30m</td><td>500m</td><td>2km</td></tr><tr><td>10MW&lt;50MW</td><td>16ha-&lt;80ha</td><td>25m</td><td>500m</td><td>1.5km</td></tr><tr><td>5MW&lt;10MW</td><td>8ha to &lt;16ha</td><td>20m</td><td>500m</td><td>1km</td></tr><tr><td>1MW&lt;5MW</td><td>1.6ha to &lt;8ha</td><td>15m</td><td>500m</td><td>500m</td></tr><tr><td>100kW&lt;1MW</td><td>0.5ha&lt;1.6ha</td><td>10m</td><td>500m</td><td>100m</td></tr><tr><td>&lt;100kW</td><td>&lt;0.5ha</td><td>5m</td><td>500m</td><td>25m</td></tr></table> <p>Notes:</p> <p>1. Does not apply when the site of the proposed ground mounted solar power facility is located within one of these zones.</p>	Generation Capacity	Approximate size of array	Setback from adjoining land boundary	Setback from conservation areas	Setback from Township, Rural Settlement, Rural Neighbourhood and Rural Living Zones <sup>1</sup>	50MW>	80ha+	30m	500m	2km	10MW<50MW	16ha-<80ha	25m	500m	1.5km	5MW<10MW	8ha to <16ha	20m	500m	1km	1MW<5MW	1.6ha to <8ha	15m	500m	500m	100kW<1MW	0.5ha<1.6ha	10m	500m	100m	<100kW	<0.5ha	5m	500m	25m
Generation Capacity	Approximate size of array	Setback from adjoining land boundary	Setback from conservation areas	Setback from Township, Rural Settlement, Rural Neighbourhood and Rural Living Zones <sup>1</sup>																																
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<p><b>PO 9.4</b></p> <p>Ground mounted solar power facilities incorporate landscaping within setbacks from adjacent road frontages and boundaries of adjacent allotments accommodating non-host dwellings, where balanced with infrastructure access and bushfire safety considerations.</p>	<p><b>DTS/DPF 9.4</b></p> <p>None are applicable.</p>																																			
Hydropower / Pumped Hydropower Facilities																																				
<p><b>PO 10.1</b></p> <p>Hydropower / pumped hydropower facility storage is designed and operated to minimise the risk of storage dam failure.</p>	<p><b>DTS/DPF 10.1</b></p> <p>None are applicable.</p>																																			
<p><b>PO 10.2</b></p> <p>Hydropower / pumped hydropower facility storage is designed and operated to minimise water loss through increased evaporation or system leakage, with the incorporation of appropriate liners, dam covers, operational measures or detection systems.</p>	<p><b>DTS/DPF 10.2</b></p> <p>None are applicable.</p>																																			
<p><b>PO 10.3</b></p>	<p><b>DTS/DPF 10.3</b></p>																																			

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Hydropower / pumped hydropower facilities on existing or former mine sites minimise environmental impacts from site contamination, including from mine operations or water sources subject to such processes, now or in the future.		None are applicable.	
Water Supply			
<b>PO 11.1</b>  Development is connected to an appropriate water supply to meet the ongoing requirements of the intended use.	<b>DTS/DPF 11.1</b>  Development is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the on-going requirements of the development.		
<b>PO 11.2</b>  Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.	<b>DTS/DPF 11.2</b>  A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:  (a) exclusively for domestic use (b) connected to the roof drainage system of the dwelling.		
Wastewater Services			
<b>PO 12.1</b>  Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:  (a) it is wholly located and contained within the allotment of the development it will service (b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources (c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.	<b>DTS/DPF 12.1</b>  Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:  (a) the system is wholly located and contained within the allotment of development it will service; and (b) the system will comply with the requirements of the South Australian Public Health Act 2011.		
<b>PO 12.2</b>  Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	<b>DTS/DPF 12.2</b>  Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.		
Temporary Facilities			
<b>PO 13.1</b>  In rural and remote locations, development that is likely to generate significant waste material during construction, including packaging waste, makes provision for a temporary on-site waste storage enclosure to minimise the incidence of wind-blown litter.	<b>DTS/DPF 13.1</b>  A waste collection and disposal service is used to dispose of the volume of waste at the rate it is generated.		
<b>PO 13.2</b>  Temporary facilities to support the establishment of renewable energy facilities (including borrow pits, concrete batching plants, laydown, storage, access roads and worker amenity areas) are sited and operated to minimise environmental impact.	<b>DTS/DPF 13.2</b>  None are applicable.		

## Intensive Animal Husbandry and Dairies

### Assessment Provisions (AP)

## Desired Outcome (DO)

Desired Outcome	
DO 1	Development of intensive animal husbandry and dairies in locations that are protected from encroachment by sensitive receivers and in a manner that minimises their adverse effects on amenity and the environment.

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting and Design	
<b>PO 1.1</b> Intensive animal husbandry, dairies and associated activities are sited, designed, constructed and managed to not unreasonably impact on the environment or amenity of the locality.	<b>DTS/DPF 1.1</b> None are applicable.
<b>PO 1.2</b> Intensive animal husbandry, dairies and associated activities are sited, designed, constructed and managed to prevent the potential transmission of disease to other operations where animals are kept.	<b>DTS/DPF 1.2</b> None are applicable.
<b>PO 1.3</b> Intensive animal husbandry and associated activities such as wastewater lagoons and liquid/solid waste disposal areas are sited, designed, constructed and managed to not unreasonably impact on sensitive receivers in other ownership in terms of noise and air emissions.	<b>DTS/DPF 1.3</b> None are applicable.
<b>PO 1.4</b> Dairies and associated activities such as wastewater lagoons and liquid/solid waste disposal areas are sited, designed, constructed and managed to not unreasonably impact on sensitive receivers in other ownership in terms of noise and air emissions.	<b>DTS/DPF 1.4</b> Dairies, associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities are located 500m or more from the nearest sensitive receiver in other ownership.
<b>PO 1.5</b> Lagoons for the storage or treatment of milking shed effluent is adequately separated from roads to minimise impacts from odour on the general public.	<b>DTS/DPF 1.5</b> Lagoons for the storage or treatment of milking shed effluent are set back 20m or more from public roads.
Waste	
<b>PO 2.1</b> Storage of manure, used litter and other wastes (other than waste water lagoons) is sited, designed, constructed and managed to: <ul style="list-style-type: none"> <li>(a) avoid attracting and harbouring vermin</li> <li>(b) avoid polluting water resources</li> <li>(c) be located outside 1% AEP flood event areas.</li> </ul>	<b>DTS/DPF 2.1</b> None are applicable.
Soil and Water Protection	
<b>PO 3.1</b> To avoid environmental harm and adverse effects on water resources, intensive animal husbandry operations are appropriately set back from:	<b>DTS/DPF 3.1</b> Intensive animal husbandry operations are set back: <ul style="list-style-type: none"> <li>(a) 800m or more from a public water supply reservoir</li> </ul>



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(a)	public water supply reservoirs	(b)	200m or more from a major watercourse (third order or higher stream)
(b)	major watercourses (third order or higher stream)	(c)	100m or more from any other watercourse, bore or well used for domestic or stock water supplies.
(c)	any other watercourse, bore or well used for domestic or stock water supplies.		
<b>PO 3.2</b>  Intensive animal husbandry operations and dairies incorporate appropriately designed effluent and run-off facilities that:		<b>DTS/DPF 3.2</b>  None are applicable.	
(a)	have sufficient capacity to hold effluent and runoff from the operations on site		
(b)	ensure effluent does not infiltrate and pollute groundwater, soil or other water resources.		

## Interface between Land Uses

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome		Deemed-to-Satisfy Criteria / Designated Performance Feature									
General Land Use Compatibility											
<p><b>PO 1.1</b></p> <p>Sensitive receivers are designed and sited to protect residents and occupants from adverse impacts generated by lawfully existing land uses (or lawfully approved land uses) and land uses desired in the zone.</p>		<p><b>DTS/DPF 1.1</b></p> <p>None are applicable.</p>									
<p><b>PO 1.2</b></p> <p>Development adjacent to a site containing a sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers is designed to minimise adverse impacts.</p>		<p><b>DTS/DPF 1.2</b></p> <p>None are applicable.</p>									
Hours of Operation											
<p><b>PO 2.1</b></p> <p>Non-residential development does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to:</p> <p>(a) the nature of the development</p> <p>(b) measures to mitigate off-site impacts</p> <p>(c) the extent to which the development is desired in the zone</p> <p>(d) measures that might be taken in an adjacent zone primarily for sensitive receivers that mitigate adverse impacts without unreasonably compromising the intended use of that land.</p>		<p><b>DTS/DPF 2.1</b></p> <p>Development operating within the following hours:</p> <table><tr><th>Class of Development</th><th>Hours of operation</th></tr><tr><td>Consulting room</td><td>7am to 9pm, Monday to Friday 8am to 5pm, Saturday</td></tr><tr><td>Office</td><td>7am to 9pm, Monday to Friday 8am to 5pm, Saturday</td></tr><tr><td>Shop, other than any one or</td><td>7am to 9pm, Monday to Friday</td></tr></table>		Class of Development	Hours of operation	Consulting room	7am to 9pm, Monday to Friday 8am to 5pm, Saturday	Office	7am to 9pm, Monday to Friday 8am to 5pm, Saturday	Shop, other than any one or	7am to 9pm, Monday to Friday
Class of Development	Hours of operation										
Consulting room	7am to 9pm, Monday to Friday 8am to 5pm, Saturday										
Office	7am to 9pm, Monday to Friday 8am to 5pm, Saturday										
Shop, other than any one or	7am to 9pm, Monday to Friday										

	combination of the following:  (a) restaurant (b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone	8am to 5pm, Saturday and Sunday
Overshadowing		
<b>PO 3.1</b>  Overshadowing of habitable room windows of adjacent residential land uses in:  a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	<b>DTS/DPF 3.1</b>  North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.	
<b>PO 3.2</b>  Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:  a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	<b>DTS/DPF 3.2</b>  Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:  a. for ground level private open space, the smaller of the following: i. half the existing ground level open space or ii. 35m2 of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m) b. for ground level communal open space, at least half of the existing ground level open space.	
<b>PO 3.3</b>  Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:  (a) the form of development contemplated in the zone (b) the orientation of the solar energy facilities (c) the extent to which the solar energy facilities are already overshadowed.	<b>DTS/DPF 3.3</b>  None are applicable.	
<b>PO 3.4</b>  Development that incorporates moving parts, including windmills and wind farms, are located and operated to not cause unreasonable nuisance to nearby dwellings and tourist accommodation caused by shadow flicker.	<b>DTS/DPF 3.4</b>  None are applicable.	
Activities Generating Noise or Vibration		
<b>PO 4.1</b>  Development that emits noise (other than music) does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers).	<b>DTS/DPF 4.1</b>  Noise that affects sensitive receivers achieves the relevant Environment Protection (Noise) Policy criteria.	
<b>PO 4.2</b>  Areas for the on-site manoeuvring of service and delivery vehicles, plant and equipment, outdoor work spaces (and the like) are designed and sited to not unreasonably impact the amenity of adjacent sensitive receivers (or lawfully approved sensitive receivers) and zones primarily intended to accommodate sensitive receivers due to noise and vibration by adopting techniques including:  (a) locating openings of buildings and associated services away from the interface with the adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers (b) when sited outdoors, locating such areas as far as practicable from adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers (c) housing plant and equipment within an enclosed structure or acoustic enclosure (d) providing a suitable acoustic barrier between the plant and / or equipment and the adjacent sensitive receiver boundary or zone.	<b>DTS/DPF 4.2</b>  None are applicable.	

<b>PO 4.3</b>  Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa are positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers (or lawfully approved sensitive receivers).	<b>DTS/DPF 4.3</b>  The pump and/or filtration system ancillary to a dwelling erected on the same site is: <ul style="list-style-type: none"> <li>(a) enclosed in a solid acoustic structure located at least 5m from the nearest habitable room located on an adjoining allotment or</li> <li>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</li> </ul>				
<b>PO 4.4</b>  External noise into bedrooms is minimised by separating or shielding these rooms from service equipment areas and fixed noise sources located on the same or an adjoining allotment.	<b>DTS/DPF 4.4</b>  Adjacent land is used for residential purposes.				
<b>PO 4.5</b>  Outdoor areas associated with licensed premises (such as beer gardens or dining areas) are designed and/or sited to not cause unreasonable noise impact on existing adjacent sensitive receivers (or lawfully approved sensitive receivers).	<b>DTS/DPF 4.5</b>  None are applicable.				
<b>PO 4.6</b>  Development incorporating music achieves suitable acoustic amenity when measured at the boundary of an adjacent sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers.	<b>DTS/DPF 4.6</b>  Development incorporating music includes noise attenuation measures that will achieve the following noise levels: <table border="1"> <thead> <tr> <th>Assessment location</th><th>Music noise level</th></tr> </thead> <tbody> <tr> <td>Externally at the nearest existing or envisaged noise sensitive location</td><td>Less than 8dB above the level of background noise (<math>L_{90,15min}</math>) in any octave band of the sound spectrum (<math>LOCT_{10,15} &lt; LOCT_{90,15} + 8dB</math>)</td></tr> </tbody> </table>	Assessment location	Music noise level	Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise ( $L_{90,15min}$ ) in any octave band of the sound spectrum ( $LOCT_{10,15} < LOCT_{90,15} + 8dB$ )
Assessment location	Music noise level				
Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise ( $L_{90,15min}$ ) in any octave band of the sound spectrum ( $LOCT_{10,15} < LOCT_{90,15} + 8dB$ )				
Air Quality					
<b>PO 5.1</b>  Development with the potential to emit harmful or nuisance-generating air pollution incorporates air pollution control measures to prevent harm to human health or unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) within the locality and zones primarily intended to accommodate sensitive receivers.	<b>DTS/DPF 5.1</b>  None are applicable.				
<b>PO 5.2</b>  Development that includes chimneys or exhaust flues (including cafes, restaurants and fast food outlets) is designed to minimise nuisance or adverse health impacts to sensitive receivers (or lawfully approved sensitive receivers) by: <ul style="list-style-type: none"> <li>(a) incorporating appropriate treatment technology before exhaust emissions are released</li> <li>(b) locating and designing chimneys or exhaust flues to maximise the dispersion of exhaust emissions, taking into account the location of sensitive receivers.</li> </ul>	<b>DTS/DPF 5.2</b>  None are applicable.				
Light Spill					
<b>PO 6.1</b>  External lighting is positioned and designed to not cause unreasonable light spill impact on adjacent sensitive receivers (or lawfully approved sensitive receivers).	<b>DTS/DPF 6.1</b>  None are applicable.				
<b>PO 6.2</b>  External lighting is not hazardous to motorists and cyclists.	<b>DTS/DPF 6.2</b>  None are applicable.				
Solar Reflectivity / Glare					



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<b>PO 7.1</b>  Development is designed and comprised of materials and finishes that do not unreasonably cause a distraction to adjacent road users and pedestrian areas or unreasonably cause heat loading and micro-climatic impacts on adjacent buildings and land uses as a result of reflective solar glare.		<b>DTS/DPF 7.1</b>  None are applicable.	
Electrical Interference			
<b>PO 8.1</b>  Development in rural and remote areas does not unreasonably diminish or result in the loss of existing communication services due to electrical interference.		<b>DTS/DPF 8.1</b>  The building or structure:  (a) is no greater than 10m in height, measured from existing ground level or (b) is not within a line of sight between a fixed transmitter and fixed receiver (antenna) other than where an alternative service is available via a different fixed transmitter or cable.	
Interface with Rural Activities			
<b>PO 9.1</b>  Sensitive receivers are located and designed to mitigate impacts from lawfully existing horticultural and farming activities (or lawfully approved horticultural and farming activities), including spray drift and noise and do not prejudice the continued operation of these activities.		<b>DTS/DPF 9.1</b>  None are applicable.	
<b>PO 9.2</b>  Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing intensive animal husbandry activities and do not prejudice the continued operation of these activities.		<b>DTS/DPF 9.2</b>  None are applicable.	
<b>PO 9.3</b>  Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing land-based aquaculture activities and do not prejudice the continued operation of these activities.		<b>DTS/DPF 9.3</b>  Sensitive receivers are located at least 200m from the boundary of a site used for land-based aquaculture and associated components in other ownership.	
<b>PO 9.4</b>  Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing dairies including associated wastewater lagoons and liquid/solid waste storage and disposal facilities and do not prejudice the continued operation of these activities.		<b>DTS/DPF 9.4</b>  Sensitive receivers are sited at least 500m from the boundary of a site used for a dairy and associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities in other ownership.	
<b>PO 9.5</b>  Sensitive receivers are located and designed to mitigate the potential impacts from lawfully existing facilities used for the handling, transportation and storage of bulk commodities (recognising the potential for extended hours of operation) and do not prejudice the continued operation of these activities.		<b>DTS/DPF 9.5</b>  Sensitive receivers are located away from the boundary of a site used for the handling, transportation and/or storage of bulk commodities in other ownership in accordance with the following:  (a) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility (b) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals) where the handling of these materials into or from vessels does not exceed 100 tonnes per day (c) 500m or more, where it involves the storage of bulk petroleum in individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1000 cubic metres (d) 500m or more, where it involves the handling of coal with a capacity up to 1 tonne per day or a storage capacity up to 50 tonnes (e) 1000m or more, where it involves the handling of coal with a capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes.	
<b>PO 9.6</b>  Setbacks and vegetation plantings along allotment boundaries should be incorporated to mitigate the potential impacts of spray drift and other impacts associated with agricultural and horticultural activities.		<b>DTS/DPF 9.6</b>  None are applicable.	

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<b>PO 9.7</b>	Urban development does not prejudice existing agricultural and horticultural activities through appropriate separation and design techniques.	<b>DTS/DPF 9.7</b>	None are applicable.
Interface with Mines and Quarries (Rural and Remote Areas)			
<b>PO 10.1</b>	Sensitive receivers are separated from existing mines to minimise the adverse impacts from noise, dust and vibration.	<b>DTS/DPF 10.1</b>	Sensitive receivers are located no closer than 500m from the boundary of a Mining Production Tenement under the <i>Mining Act 1971</i> .

## Land Division

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Land division:</p> <ul style="list-style-type: none"> <li>(a) creates allotments with the appropriate dimensions and shape for their intended use</li> <li>(b) allows efficient provision of new infrastructure and the optimum use of underutilised infrastructure</li> <li>(c) integrates and allocates adequate and suitable land for the preservation of site features of value, including significant vegetation, watercourses, water bodies and other environmental features</li> <li>(d) facilitates solar access through allotment orientation</li> <li>(e) creates a compact urban form that supports active travel, walkability and the use of public transport</li> <li>(f) avoids areas of high natural hazard risk.</li> </ul>

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome		Deemed-to-Satisfy Criteria / Designated Performance Feature	
All land division			
Allotment configuration			
<b>PO 1.1</b>	Land division creates allotments suitable for their intended use.	<b>DTS/DPF 1.1</b>	<p>Division of land satisfies (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) reflects the site boundaries illustrated and approved in an operative or existing development authorisation for residential development under the <i>Development Act 1993</i> or <i>Planning, Development and Infrastructure Act 2016</i> where the allotments are used or are proposed to be used solely for residential purposes</li> <li>(b) is proposed as part of a combined land division application with deemed-to-satisfy dwellings on the proposed allotments.</li> </ul>
<b>PO 1.2</b>	Land division considers the physical characteristics of the land, preservation of environmental and cultural features of value and the prevailing context of the locality.	<b>DTS/DPF 1.2</b>	None are applicable.
Design and Layout			
<b>PO 2.1</b>	Land division results in a pattern of development that minimises the likelihood of future earthworks and retaining walls.	<b>DTS/DPF 2.1</b>	None are applicable.

<b>PO 2.2</b> Land division enables the appropriate management of interface impacts between potentially conflicting land uses and/or zones.	<b>DTS/DPF 2.2</b> None are applicable.
<b>PO 2.3</b> Land division maximises the number of allotments that face public open space and public streets.	<b>DTS/DPF 2.3</b> None are applicable.
<b>PO 2.4</b> Land division is integrated with site features, adjacent land uses, the existing transport network and available infrastructure.	<b>DTS/DPF 2.4</b> None are applicable.
<b>PO 2.5</b> Development and infrastructure is provided and staged in a manner that supports an orderly and economic provision of land, infrastructure and services.	<b>DTS/DPF 2.5</b> None are applicable.
<b>PO 2.6</b> Land division results in watercourses being retained within open space and development taking place on land not subject to flooding.	<b>DTS/DPF 2.6</b> None are applicable.
<b>PO 2.7</b> Land division results in legible street patterns connected to the surrounding street network.	<b>DTS/DPF 2.7</b> None are applicable.
<b>PO 2.8</b> Land division is designed to preserve existing vegetation of value including native vegetation and regulated and significant trees.	<b>DTS/DPF 2.8</b> None are applicable.
<b>Roads and Access</b>	
<b>PO 3.1</b> Land division provides allotments with access to an all-weather public road.	<b>DTS/DPF 3.1</b> None are applicable.
<b>PO 3.2</b> Street patterns and intersections are designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic.	<b>DTS/DPF 3.2</b> None are applicable.
<b>PO 3.3</b> Land division does not impede access to publicly owned open space and/or recreation facilities.	<b>DTS/DPF 3.3</b> None are applicable.
<b>PO 3.4</b> Road reserves provide for safe and convenient movement and parking of projected volumes of vehicles and allow for the efficient movement of service and emergency vehicles.	<b>DTS/DPF 3.4</b> None are applicable.
<b>PO 3.5</b> Road reserves are designed to accommodate pedestrian and cycling infrastructure, street tree planting, landscaping and street furniture.	<b>DTS/DPF 3.5</b> None are applicable.
<b>PO 3.6</b>	<b>DTS/DPF 3.6</b>



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Road reserves accommodate stormwater drainage and public utilities.		None are applicable.	
PO 3.7  Road reserves provide unobstructed vehicular access and egress to and from individual allotments and sites.		DTS/DPF 3.7  None are applicable.	
PO 3.8  Roads, open space and thoroughfares provide safe and convenient linkages to the surrounding open space and transport network.		DTS/DPF 3.8  None are applicable.	
PO 3.9  Public streets are designed to enable tree planting to provide shade and enhance the amenity of streetscapes.		DTS/DPF 3.9  None are applicable.	
PO 3.10  Local streets are designed to create low-speed environments that are safe for cyclists and pedestrians.		DTS/DPF 3.10  None are applicable.	
Infrastructure			
PO 4.1  Land division incorporates public utility services within road reserves or dedicated easements.		DTS/DPF 4.1  None are applicable.	
PO 4.2  Waste water, sewage and other effluent is capable of being disposed of from each allotment without risk to public health or the environment.		DTS/DPF 4.2  Each allotment can be connected to:  (a) a waste water treatment plant that has the hydraulic volume and pollutant load treatment and disposal capacity for the maximum predicted wastewater volume generated by subsequent development of the proposed allotment or (b) a form of on-site waste water treatment and disposal that meets relevant public health and environmental standards.	
PO 4.3  Septic tank effluent drainage fields and other waste water disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.		DTS/DPF 4.3  Development is not built on, or encroaches within, an area that is or will be, required for a sewerage system or waste control system.	
PO 4.4  Constructed wetland systems, including associated detention and retention basins, are sited and designed to ensure public health and safety is protected, including by minimising potential public health risks arising from the breeding of mosquitoes.		DTS/DPF 4.4  None are applicable.	
PO 4.5  Constructed wetland systems, including associated detention and retention basins, are sited and designed to allow sediments to settle prior to discharge into watercourses or the marine environment.		DTS/DPF 4.5  None are applicable.	
PO 4.6  Constructed wetland systems, including associated detention and retention basins, are sited and designed to function as a landscape feature.		DTS/DPF 4.6  None are applicable.	
Minor Land Division (Under 20 Allotments)			
Open Space			

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<b>PO 5.1</b>  Land division proposing an additional allotment under 1 hectare provides or supports the provision of open space.		<b>DTS/DPF 5.1</b>  None are applicable.	
Solar Orientation			
<b>PO 6.1</b>  Land division for residential purposes facilitates solar access through allotment orientation.		<b>DTS/DPF 6.1</b>  None are applicable.	
Water Sensitive Design			
<b>PO 7.1</b>  Land division creating a new road or common driveway includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.		<b>DTS/DPF 7.1</b>  None are applicable.	
<b>PO 7.2</b>  Land division designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.		<b>DTS/DPF 7.2</b>  None are applicable.	
Battle-Axe Development			
<b>PO 8.1</b>  Battle-axe development appropriately responds to the existing neighbourhood context.		<b>DTS/DPF 8.1</b>  Allotments are not in the form of a battle-axe arrangement.	
<b>PO 8.2</b>  Battle-axe development designed to allow safe and convenient movement.		<b>DTS/DPF 8.2</b>  The handle of a battle-axe development:  (a) has a minimum width of 4m or (b) where more than 3 allotments are proposed, a minimum width of 5.5m,	
<b>PO 8.3</b>  Battle-axe allotments and/or common land are of a suitable size and dimension to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.		<b>DTS/DPF 8.3</b>  Battle-axe development allows a B85 passenger vehicle to enter and exit parking spaces in no more than a three-point turn manoeuvre.	
<b>PO 8.4</b>  Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.		<b>DTS/DPF 8.4</b>  Battle-axe or common driveways satisfy (a) and (b):  (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).	
Major Land Division (20+ Allotments)			
Open Space			
<b>PO 9.1</b>  Land division allocates or retains evenly distributed, high quality areas of open space to improve residential amenity and provide urban heat amelioration.		<b>DTS/DPF 9.1</b>  None are applicable.	
<b>PO 9.2</b>  Land allocated for open space is suitable for its intended active and passive recreational use considering gradient and potential for inundation.		<b>DTS/DPF 9.2</b>  None are applicable.	

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<b>PO 9.3</b>  Land allocated for active recreation has dimensions capable of accommodating a range of active recreational activities.		<b>DTS/DPF 9.3</b>  None are applicable.	
Water Sensitive Design			
<b>PO 10.1</b>  Land division creating 20 or more allotments includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.		<b>DTS/DPF 10.1</b>  None are applicable.	
<b>PO 10.2</b>  Land division creating 20 or more allotments includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.		<b>DTS/DPF 10.2</b>  None are applicable.	
Solar Orientation			
<b>PO 11.1</b>  Land division creating 20 or more allotments for residential purposes facilitates solar access through allotment orientation and allotment dimensions.		<b>DTS/DPF 11.1</b>  None are applicable.	

## Marinas and On-Water Structures

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Marinas and on-water structures are located and designed to minimise the impairment of commercial, recreational and navigational activities and adverse impacts on the environment.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Navigation and Safety	
<b>PO 1.1</b> Safe public access is provided or maintained to the waterfront, public infrastructure and recreation areas.	<b>DTS/DPF 1.1</b> None are applicable.
<b>PO 1.2</b> The operation of wharves is not impaired by marinas and on-water structures.	<b>DTS/DPF 1.2</b> None are applicable.
<b>PO 1.3</b> Navigation and access channels are not impaired by marinas and on-water	<b>DTS/DPF 1.3</b> None are applicable.



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structures.			
<p><b>PO 1.4</b></p> <p>Commercial shipping lanes are not impaired by marinas and on-water structures.</p>	<p><b>DTS/DPF 1.4</b></p> <p>Marinas and on-water structures are set back 250m or more from commercial shipping lanes.</p>		
<p><b>PO 1.5</b></p> <p>Marinas and on-water structures are located to avoid interfering with the operation or function of a water supply pumping station.</p>	<p><b>DTS/DPF 1.5</b></p> <p>On-water structures are set back:</p> <p>(a) 3km or more from upstream water supply pumping station take-off points</p> <p>(b) 500m or more from downstream water supply pumping station take-off points.</p>		
<p><b>PO 1.6</b></p> <p>Maintenance of on-water infrastructure, including revetment walls, is not impaired by marinas and on-water structures.</p>	<p><b>DTS/DPF 1.6</b></p> <p>None are applicable.</p>		
Environmental Protection			
<p><b>PO 2.1</b></p> <p>Development is sited and designed to facilitate water circulation and exchange.</p>	<p><b>DTS/DPF 2.1</b></p> <p>None are applicable.</p>		

## Open Space and Recreation

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Pleasant, functional and accessible open space and recreation facilities are provided at State, regional, district, neighbourhood and local levels for active and passive recreation, biodiversity, community health, urban cooling, tree canopy cover, visual amenity, gathering spaces, wildlife and waterway corridors, and a range of other functions and at a range of sizes that reflect the purpose of that open space.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<b>PO 1.1</b> Recreation facilities are compatible with surrounding land uses and activities.	<b>DTS/DPF 1.1</b> None are applicable.
<b>PO 1.2</b> Open space areas include natural or landscaped areas using locally indigenous plant species and large trees.	<b>DTS/DPF 1.2</b> None are applicable.
Design and Siting	
<b>PO 2.1</b>	<b>DTS/DPF 2.1</b>

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Open space and recreation facilities address adjacent public roads to optimise pedestrian access and visibility.		None are applicable.	
<b>PO 2.2</b>  Open space and recreation facilities incorporate park furniture, shaded areas and resting places.		<b>DTS/DPF 2.2</b>  None are applicable.	
<b>PO 2.3</b>  Open space and recreation facilities link habitats, wildlife corridors and existing open spaces and recreation facilities.		<b>DTS/DPF 2.3</b>  None are applicable.	
Pedestrians and Cyclists			
<b>PO 3.1</b>  Open space incorporates:  (a) pedestrian and cycle linkages to other open spaces, centres, schools and public transport nodes; (b) safe crossing points where pedestrian routes intersect the road network; (c) easily identified access points.		<b>DTS/DPF 3.1</b>  None are applicable.	
Usability			
<b>PO 4.1</b>  Land allocated for open space is suitable for its intended active and passive recreational use taking into consideration its gradient and potential for inundation.		<b>DTS/DPF 4.1</b>  None are applicable.	
Safety and Security			
<b>PO 5.1</b>  Open space is overlooked by housing, commercial or other development to provide casual surveillance where possible.		<b>DTS/DPF 5.1</b>  None are applicable.	
<b>PO 5.2</b>  Play equipment is located to maximise opportunities for passive surveillance.		<b>DTS/DPF 5.2</b>  None are applicable.	
<b>PO 5.3</b>  Landscaping provided in open space and recreation facilities maximises opportunities for casual surveillance throughout the park.		<b>DTS/DPF 5.3</b>  None are applicable.	
<b>PO 5.4</b>  Fenced parks and playgrounds have more than one entrance or exit to minimise potential entrapment.		<b>DTS/DPF 5.4</b>  None are applicable.	
<b>PO 5.5</b>  Adequate lighting is provided around toilets, telephones, seating, litter bins, bicycle storage, car parks and other such facilities.		<b>DTS/DPF 5.5</b>  None are applicable.	
<b>PO 5.6</b>  Pedestrian and bicycle movement after dark is focused along clearly defined, adequately lit routes with observable entries and exits.		<b>DTS/DPF 5.6</b>  None are applicable.	
Signage			
<b>PO 6.1</b>  Signage is provided at entrances to and within the open space and recreation		<b>DTS/DPF 6.1</b>  None are applicable.	

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facilities to provide clear orientation to major points of interest such as the location of public toilets, telephones, safe routes, park activities and the like.			
Buildings and Structures			
<b>PO 7.1</b>  Buildings and car parking areas in open space areas are designed, located and of a scale to be unobtrusive.		<b>DTS/DPF 7.1</b>  None are applicable.	
<b>PO 7.2</b>  Buildings and structures in open space areas are clustered where practical to ensure that the majority of the site remains open.		<b>DTS/DPF 7.2</b>  None are applicable.	
<b>PO 7.3</b>  Development in open space is constructed to minimise the extent of impervious surfaces.		<b>DTS/DPF 7.3</b>  None are applicable.	
<b>PO 7.4</b>  Development that abuts or includes a coastal reserve or Crown land used for scenic, conservation or recreational purposes is located and designed to have regard to the purpose, management and amenity of the reserve.		<b>DTS/DPF 7.4</b>  None are applicable.	
Landscaping			
<b>PO 8.1</b>  Open space and recreation facilities provide for the planting and retention of large trees and vegetation.		<b>DTS/DPF 8.1</b>  None are applicable.	
<b>PO 8.2</b>  Landscaping in open space and recreation facilities provides shade and windbreaks:  (a) along cyclist and pedestrian routes; (b) around picnic and barbecue areas; (c) in car parking areas.		<b>DTS/DPF 8.2</b>  None are applicable.	
<b>PO 8.3</b>  Landscaping in open space facilitates habitat for local fauna and facilitates biodiversity.		<b>DTS/DPF 8.3</b>  None are applicable.	
<b>PO 8.4</b>  Landscaping including trees and other vegetation passively watered with local rainfall run-off, where practicable.		<b>DTS/DPF 8.4</b>  None are applicable.	

## Out of Activity Centre Development

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO1	The role of Activity Centres in contributing to the form and pattern of development and enabling equitable and convenient access to a range of shopping, administrative, cultural, entertainment and other facilities in a single trip is maintained and reinforced.

### Performance Outcomes and Deemed to Satisfy / Designated Performance Outcome Criteria



Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<b>PO 1.1</b> Non-residential development outside Activity Centres of a scale and type that does not diminish the role of Activity Centres: <ul style="list-style-type: none"> <li>(a) as primary locations for shopping, administrative, cultural, entertainment and community services</li> <li>(b) as a focus for regular social and business gatherings</li> <li>(c) in contributing to or maintaining a pattern of development that supports equitable community access to services and facilities.</li> </ul>	<b>DTS/DPF 1.1</b> None are applicable.
<b>PO 1.2</b> Out-of-activity centre non-residential development complements Activity Centres through the provision of services and facilities: <ul style="list-style-type: none"> <li>(a) that support the needs of local residents and workers, particularly in underserved locations</li> <li>(b) at the edge of Activities Centres where they cannot readily be accommodated within an existing Activity Centre to expand the range of services on offer and support the role of the Activity Centre.</li> </ul>	<b>DTS/DPF 1.2</b> None are applicable.

## Resource Extraction

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Resource extraction activities are developed in a manner that minimises human and environmental impacts.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<b>PO 1.1</b> Resource extraction activities minimise landscape damage outside of those areas unavoidably disturbed to access and exploit a resource and provide for the progressive reclamation and betterment of disturbed areas.	<b>DTS/DPF 1.1</b> None are applicable.
<b>PO 1.2</b> Resource extraction activities avoid damage to cultural sites or artefacts.	<b>DTS/DPF 1.2</b> None are applicable.
Water Quality	
<b>PO 2.1</b> Stormwater and/or wastewater from resource extraction activities is diverted into appropriately sized treatment and retention systems to enable reuse on site.	<b>DTS/DPF 2.1</b> None are applicable.
Separation Treatments, Buffers and Landscaping	

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PO 3.1	Resource extraction activities minimise adverse impacts upon sensitive receivers through incorporation of separation distances and/or mounding/vegetation.	DTS/DPF 3.1	None are applicable.
PO 3.2	Resource extraction activities are screened from view from adjacent land by perimeter landscaping and/or mounding.	DTS/DPF 3.2	None are applicable.

## Site Contamination

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> <li>(a) does not involve a change in the use of land</li> <li>(b) involves a change in the use of land that does not constitute a change to a more sensitive use</li> <li>(c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)</li> <li>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: <ul style="list-style-type: none"> <li>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that- <ul style="list-style-type: none"> <li>A. site contamination does not exist (or no longer exists) at the land</li> <li>or</li> <li>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)</li> <li>or</li> <li>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</li> </ul> </li> <li>and</li> <li>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</li> </ul> </li> </ul>

## Tourism Development

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Tourism development is built in locations that cater to the needs of visitors and positively contributes to South Australia's visitor economy.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<b>General</b>	
<b>PO 1.1</b> Tourism development complements and contributes to local, natural, cultural or historical context where: (a) it supports immersive natural experiences (b) it showcases South Australia's landscapes and produce (c) its events and functions are connected to local food, wine and nature.	<b>DTS/DPF 1.1</b> None are applicable.
<b>PO 1.2</b> Tourism development comprising multiple accommodation units (including any facilities and activities for use by guests and visitors) is clustered to minimise environmental and contextual impact.	<b>DTS/DPF 1.2</b> None are applicable.
<b>Caravan and Tourist Parks</b>	
<b>PO 2.1</b> Potential conflicts between long-term residents and short-term tourists are minimised through suitable siting and design measures.	<b>DTS/DPF 2.1</b> None are applicable.
<b>PO 2.2</b> Occupants are provided privacy and amenity through landscaping and fencing.	<b>DTS/DPF 2.2</b> None are applicable.
<b>PO 2.3</b> Communal open space and centrally located recreation facilities are provided for guests and visitors.	<b>DTS/DPF 2.3</b> 12.5% or more of a caravan park comprises clearly defined communal open space, landscaped areas and areas for recreation.
<b>PO 2.4</b> Perimeter landscaping is used to enhance the amenity of the locality.	<b>DTS/DPF 2.4</b> None are applicable.
<b>PO 2.5</b> Amenity blocks (showers, toilets, laundry and kitchen facilities) are sufficient to serve the full occupancy of the development.	<b>DTS/DPF 2.5</b> None are applicable.
<b>PO 2.6</b> Long-term occupation does not displace tourist accommodation, particularly in important tourist destinations such as coastal and riverine locations.	<b>DTS/DPF 2.6</b> None are applicable.
<b>Tourist accommodation in areas constituted under the National Parks and Wildlife Act 1972</b>	
<b>PO 3.1</b> Tourist accommodation avoids delicate or environmentally sensitive areas such as sand dunes, cliff tops, estuaries, wetlands or substantially intact strata of native vegetation (including regenerated areas of native vegetation lost through bushfire).	<b>DTS/DPF 3.1</b> None are applicable.
<b>PO 3.2</b>	<b>DTS/DPF 3.2</b>



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Tourist accommodation is sited and designed in a manner that is subservient to the natural environment and where adverse impacts on natural features, landscapes, habitats and cultural assets are avoided.		None are applicable.	
<b>PO 3.3</b> Tourist accommodation and recreational facilities, including associated access ways and ancillary structures, are located on cleared (other than where cleared as a result of bushfire) or degraded areas or where environmental improvements can be achieved.		<b>DTS/DPF 3.3</b> None are applicable.	
<b>PO 3.4</b> Tourist accommodation is designed to prevent conversion to private dwellings through: <ul style="list-style-type: none"> <li>(a) comprising a minimum of 10 accommodation units</li> <li>(b) clustering separated individual accommodation units</li> <li>(c) being of a size unsuitable for a private dwelling</li> <li>(d) ensuring functional areas that are generally associated with a private dwelling such as kitchens and laundries are excluded from, or physically separated from individual accommodation units, or are of a size unsuitable for a private dwelling.</li> </ul>		<b>DTS/DPF 3.4</b> None are applicable.	

## Transport, Access and Parking

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Movement Systems	
<b>PO 1.1</b> Development is integrated with the existing transport system and designed to minimise its potential impact on the functional performance of the transport system.	<b>DTS/DPF 1.1</b> None are applicable.
<b>PO 1.2</b> Development is designed to discourage commercial and industrial vehicle movements through residential streets and adjacent other sensitive receivers.	<b>DTS/DPF 1.2</b> None are applicable.
<b>PO 1.3</b> Industrial, commercial and service vehicle movements, loading areas and designated parking spaces are separated from passenger vehicle car parking areas to ensure efficient and safe movement and minimise potential conflict.	<b>DTS/DPF 1.3</b> None are applicable.
<b>PO 1.4</b> Development is sited and designed so that loading, unloading and turning of all	<b>DTS/DPF 1.4</b> All vehicle manoeuvring occurs onsite.

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traffic avoids interrupting the operation of and queuing on public roads and pedestrian paths.			
Sightlines			
PO 2.1	Sightlines at intersections, pedestrian and cycle crossings, and crossovers to allotments for motorists, cyclists and pedestrians are maintained or enhanced to ensure safety for all road users and pedestrians.	DTS/DPF 2.1	None are applicable.
PO 2.2	Walls, fencing and landscaping adjacent to driveways and corner sites are designed to provide adequate sightlines between vehicles and pedestrians.	DTS/DPF 2.2	None are applicable.
Vehicle Access			
PO 3.1	Safe and convenient access minimises impact or interruption on the operation of public roads.	DTS/DPF 3.1	The access is:  (a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land or (b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing.
PO 3.2	Development incorporating vehicular access ramps ensures vehicles can enter and exit a site safely and without creating a hazard to pedestrians and other vehicular traffic.	DTS/DPF 3.2	None are applicable.
PO 3.3	Access points are sited and designed to accommodate the type and volume of traffic likely to be generated by the development or land use.	DTS/DPF 3.3	None are applicable.
PO 3.4	Access points are sited and designed to minimise any adverse impacts on neighbouring properties.	DTS/DPF 3.4	None are applicable.
PO 3.5	Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets.	DTS/DPF 3.5	Vehicle access to designated car parking spaces satisfy (a) or (b): (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
PO 3.6	Driveways and access points are separated and minimised in number to optimise the provision of on-street visitor parking (where on-street parking is appropriate).	DTS/DPF 3.6	Driveways and access points:  (a) for sites with a frontage to a public road of 20m or less, one access point no greater than 3.5m in width is provided (b) for sites with a frontage to a public road greater than 20m: (i) a single access point no greater than 6m in width is provided or (ii) not more than two access points with a width of 3.5m each are provided.
PO 3.7		DTS/DPF 3.7	

Access points are appropriately separated from level crossings to avoid interference and ensure their safe ongoing operation.	Development does not involve a new or modified access or cause an increase in traffic through an existing access that is located within the following distance from a railway crossing:  (a) 80 km/h road - 110m (b) 70 km/h road - 90m (c) 60 km/h road - 70m (d) 50km/h or less road - 50m.
<b>PO 3.8</b>  Driveways, access points, access tracks and parking areas are designed and constructed to allow adequate movement and manoeuvrability having regard to the types of vehicles that are reasonably anticipated.	<b>DTS/DPF 3.8</b>  None are applicable.
<b>PO 3.9</b>  Development is designed to ensure vehicle circulation between activity areas occurs within the site without the need to use public roads.	<b>DTS/DPF 3.9</b>  None are applicable.
Access for People with Disabilities	
<b>PO 4.1</b>  Development is sited and designed to provide safe, dignified and convenient access for people with a disability.	<b>DTS/DPF 4.1</b>  None are applicable.
Vehicle Parking Rates	
<b>PO 5.1</b>  Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:  (a) availability of on-street car parking (b) shared use of other parking areas (c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared (d) the adaptive reuse of a State or Local Heritage Place.	<b>DTS/DPF 5.1</b>  Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:  (a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area (b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.
Vehicle Parking Areas	
<b>PO 6.1</b>  Vehicle parking areas are sited and designed to minimise impact on the operation of public roads by avoiding the use of public roads when moving from one part of a parking area to another.	<b>DTS/DPF 6.1</b>  Movement between vehicle parking areas within the site can occur without the need to use a public road.
<b>PO 6.2</b>  Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced, and the like.	<b>DTS/DPF 6.2</b>  None are applicable.
<b>PO 6.3</b>  Vehicle parking areas are designed to provide opportunity for integration and shared-use of adjacent car parking areas to reduce the total extent of vehicle parking areas and access points.	<b>DTS/DPF 6.3</b>  None are applicable.
<b>PO 6.4</b>  Pedestrian linkages between parking areas and the development are provided and are safe and convenient.	<b>DTS/DPF 6.4</b>  None are applicable.



<b>PO 6.5</b> <p>Vehicle parking areas that are likely to be used during non-daylight hours are provided with sufficient lighting to entry and exit points to ensure clear visibility to users.</p>	<b>DTS/DPF 6.5</b> <p>None are applicable.</p>
<b>PO 6.6</b> <p>Loading areas and designated parking spaces for service vehicles are provided within the boundary of the site.</p>	<b>DTS/DPF 6.6</b> <p>Loading areas and designated parking spaces are wholly located within the site.</p>
<b>PO 6.7</b> <p>On-site visitor parking spaces are sited and designed to be accessible to all visitors at all times.</p>	<b>DTS/DPF 6.7</b> <p>None are applicable.</p>
Undercroft and Below Ground Garaging and Parking of Vehicles	
<b>PO 7.1</b> <p>Undercroft and below ground garaging of vehicles is designed to enable safe entry and exit from the site without compromising pedestrian or cyclist safety or causing conflict with other vehicles.</p>	<b>DTS/DPF 7.1</b> <p>None are applicable.</p>
Internal Roads and Parking Areas in Residential Parks and Caravan and Tourist Parks	
<b>PO 8.1</b> <p>Internal road and vehicle parking areas are surfaced to prevent dust becoming a nuisance to park residents and occupants.</p>	<b>DTS/DPF 8.1</b> <p>None are applicable.</p>
<b>PO 8.2</b> <p>Traffic circulation and movement within the park is pedestrian friendly and promotes low speed vehicle movement.</p>	<b>DTS/DPF 8.2</b> <p>None are applicable.</p>
Bicycle Parking in Designated Areas	
<b>PO 9.1</b> <p>The provision of adequately sized on-site bicycle parking facilities encourages cycling as an active transport mode.</p>	<b>DTS/DPF 9.1</b> <p>Areas and / or fixtures are provided for the parking and storage of bicycles at a rate not less than the amount calculated using Transport, Access and Parking Table 3 - Off Street Bicycle Parking Requirements.</p>
<b>PO 9.2</b> <p>Bicycle parking facilities provide for the secure storage and tethering of bicycles in a place where casual surveillance is possible, is well lit and signed for the safety and convenience of cyclists and deters property theft.</p>	<b>DTS/DPF 9.2</b> <p>None are applicable.</p>
<b>PO 9.3</b> <p>Non-residential development incorporates end-of-journey facilities for employees such as showers, changing facilities and secure lockers, and signage indicating the location of the facilities to encourage cycling as a mode of journey-to-work transport.</p>	<b>DTS/DPF 9.3</b> <p>None are applicable.</p>
Corner Cut-Offs	
<b>PO 10.1</b> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<b>DTS/DPF 10.1</b> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p>

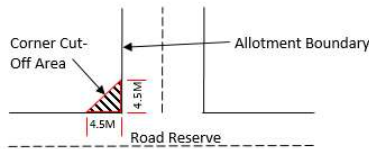
	
Heavy Vehicle Parking	
<p><b>PO 11.1</b></p> <p>Heavy vehicle parking and access is designed and sited so that the activity does not result in nuisance to adjoining neighbours as a result of dust, fumes, vibration, odour or potentially hazardous loads.</p>	<p><b>DTS/DPF 11.1</b></p> <p>Heavy vehicle parking occurs in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) the site is not located within a Neighbourhood-type zone (except a Rural Living Zone)</li> <li>(b) the site is a minimum of 0.4 ha</li> <li>(c) where the site is 2 ha or more, no more than 2 vehicles exceeding 3,000 kilograms each (and trailers) are to be parked on the allotment at any time</li> <li>(d) where the site is between 0.4 ha and 2 ha, only one vehicle exceeding 3,000 kilograms (and one trailer) are to be parking on the allotment at any time</li> <li>(e) the vehicle parking area achieves the following setbacks:             <ul style="list-style-type: none"> <li>(i) behind the building line or 30m, whichever is greater</li> <li>(ii) 20m from the secondary street if it is a State Maintained Road</li> <li>(iii) 10m from the secondary street if it is a local road</li> <li>(iv) 10m from side and rear boundaries</li> </ul> </li> <li>(f) parking and access areas (including internal driveways) should be sealed or have a surface that can be treated and maintained to minimise dust and mud nuisance</li> <li>(g) does not include refrigerated trailers or vehicles</li> <li>(h) vehicles only enter and exit the property in accordance with the following hours:             <ul style="list-style-type: none"> <li>(i) Monday to Saturday 6:00am and 9:30pm</li> <li>(ii) Sunday and public holidays between 9:30 am and 7:00 pm</li> </ul> </li> <li>(i) the handling or trans-shipment of freight is not carried out on the property.</li> </ul>
<p><b>PO 11.2</b></p> <p>Heavy vehicle parking ensures that vehicles can enter and exit a site safely and without creating a hazard to pedestrians and other vehicular traffic.</p>	<p><b>DTS/DPF 11.2</b></p> <p>Heavy vehicles:</p> <ul style="list-style-type: none"> <li>(a) can enter and exit the site in a forward direction; and</li> <li>(b) operate within the statutory mass and dimension limited for General Access Vehicles (as prescribed by the National Heavy Vehicle Regulator).</li> </ul>
<p><b>PO 11.3</b></p> <p>Heavy vehicle parking is screened through siting behind buildings, screening, landscaping or the like to obscure views from adjoining properties and public roads.</p>	<p><b>DTS/DPF 11.3</b></p> <p>None are applicable.</p>

Table 1 - General Off-Street Car Parking Requirements

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)  <b>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</b>
Residential Development	
Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Group Dwelling	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.

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		0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.
Residential Flat Building		Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.
		Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
		0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.
Row Dwelling where vehicle access is from the primary street		Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.
		Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)		Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.
		Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Semi-Detached Dwelling		Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.
		Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Aged / Supported Accommodation		
Retirement facility		Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.
		Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.
		0.2 spaces per dwelling for visitor parking.
Supported accommodation		0.3 spaces per bed.
Residential Development (Other)		
Ancillary accommodation		No additional requirements beyond those associated with the main dwelling.
Residential park		Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.
		Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.
		0.2 spaces per dwelling for visitor parking.
Student accommodation		0.3 spaces per bed.
Workers' accommodation		0.5 spaces per bed plus 0.2 spaces per bed for visitor parking.
Tourist		
Caravan and tourist park		Parks with 100 sites or less - a minimum of 1 space per 10 sites to be used for accommodation.
		Parks with more than 100 sites - a minimum of 1 space per 15 sites used for accommodation.
		A minimum of 1 space for every caravan (permanently fixed to the ground) or cabin.
Tourist accommodation other than a caravan and tourist park		1 car parking space per accommodation unit / guest room.
Commercial Uses		
Auction room/ depot		1 space per 100m2 of building floor area plus an additional 2 spaces.
Automotive collision repair		3 spaces per service bay.
Motor repair station		3 spaces per service bay.
Office		For a call centre, 8 spaces per 100m2 of gross leasable floor area
		In all other cases, 4 spaces per 100m2 of gross leasable floor area.
Retail fuel outlet		3 spaces per 100m2 gross leasable floor area.
Service trade premises		2.5 spaces per 100m2 of gross leasable floor area
		1 space per 100m2 of outdoor area used for display purposes.
Shop (no commercial kitchen)		5.5 spaces per 100m2 of gross leasable floor area where not located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.
		5 spaces per 100m2 of gross leasable floor area where located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.
Shop (in the form of a bulky goods outlet)		2.5 spaces per 100m2 of gross leasable floor area.
Shop (in the form of a restaurant or involving a commercial kitchen)		Premises with a dine-in service only (which may include a take-away component with no drive-through) - 0.4 spaces per seat.
		Premises with take-away service but with no seats - 12 spaces per 100m2 of total floor area plus a drive-through queue capacity of ten vehicles measured from the pick-up point.
		Premises with a dine-in and drive-through take-away service - 0.3 spaces per seat plus a drive through queue capacity of 10 vehicles measured from the pick-up point.
Community and Civic Uses		
Community facility		For a library, 4 spaces per 100m2 of total floor area.
		For a hall/meeting hall, 0.2 spaces per seat.
		In all other cases, 10 spaces per 100m2 of total floor area.
Educational facility		For a primary school - 1.1 space per full time equivalent employee plus 0.25 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.
		For a secondary school - 1.1 per full time equivalent employee plus 0.1 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.
		For a tertiary institution - 0.4 per student based on the maximum number of students on the site at any



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		time.
Place of worship		1 space for every 3 visitor seats.
Child care facility		For a child care centre, 0.25 spaces per child  In all other cases, 1 per employee plus 0.25 per child (drop off/pick up bays).
Health Related Uses		
Consulting room		4 spaces per consulting room excluding ancillary facilities.
Hospital		4.5 spaces per bed for a public hospital.  1.5 spaces per bed for a private hospital.
Recreational and Entertainment Uses		
Cinema complex		0.2 spaces per seat.
Concert hall / theatre		0.2 spaces per seat.
Hotel		1 space for every 2m <sup>2</sup> of total floor area in a public bar plus 1 space for every 6m <sup>2</sup> of total floor area available to the public in a lounge, beer garden plus 1 space per 2 gaming machines, plus 1 space per 3 seats in a restaurant.
Indoor recreation facility		6.5 spaces per 100m <sup>2</sup> of total floor area for a Fitness Centre  4.5 spaces per 100m <sup>2</sup> of total floor area for all other Indoor recreation facilities.
Industry/Employment Uses		
Fuel depot		1.5 spaces per 100m <sup>2</sup> total floor area  1 spaces per 100m <sup>2</sup> of outdoor area used for fuel depot activity purposes.
Industry		1.5 spaces per 100m <sup>2</sup> of total floor area.
Store		0.5 spaces per 100m <sup>2</sup> of total floor area.
Timber yard		1.5 spaces per 100m <sup>2</sup> of total floor area  1 space per 100m <sup>2</sup> of outdoor area used for display purposes.
Warehouse		0.5 spaces per 100m <sup>2</sup> total floor area.
Other Uses		
Funeral Parlour		1 space per 5 seats in the chapel plus 1 space for each vehicle operated by the parlour.
Radio or Television Station		5 spaces per 100m <sup>2</sup> of total building floor area.

**Table 2 - Off-Street Car Parking Requirements in Designated Areas**

The following parking rates apply in any zone, subzone or other area described in the 'Designated Areas' column.

Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:  1 space for each dwelling with a total floor area less than 75 square metres  2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres  3 spaces for each dwelling with a total floor area greater than 150 square metres.  Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.	Capital City Zone  City Main Street Zone  City Riverbank Zone  Adelaide Park Lands Zone  Business Neighbourhood Zone (within the City of Adelaide)  The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone
Non-residential development			
Non-residential development excluding tourist accommodation	3 spaces per 100m2 of gross leasable floor area.	5 spaces per 100m2 of gross leasable floor area.	City Living Zone  Urban Corridor (Boulevard) Zone  Urban Corridor (Business) Zone

			<p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street ) Zone</p> <p>Urban Neighbourhood Zone (except for Bowden)</p>
Non-residential development excluding tourist accommodation	3 spaces per 100m2 of gross leasable floor area.	6 spaces per 100m2 of gross leasable floor area.	<p>Strategic Innovation Zone in the City of Burnside, City of Marion or City of Mitcham</p> <p>Strategic Innovation Zone outside the City of Burnside, City of Marion or City of Mitcham when the site is also in a high frequency public transit area</p> <p>Suburban Activity Centre Zone when the site is also in a high frequency public transit area</p> <p>Suburban Business Zone when the site is also in a high frequency public transit area</p> <p>Business Neighbourhood Zone outside of the City of Adelaide when the site is also in a high frequency public transit area</p> <p>Suburban Main Street Zone when the site is also in a high frequency public transit area</p> <p>Urban Activity Centre Zone</p>
Non-residential development excluding tourist accommodation	<p>3 spaces per 100 square metres of gross leasable floor area</p> <p>1.5 spaces per 100 square metres of gross leasable floor area above ground floor level other than for a shop</p>	3 spaces per 100 square metres of gross leasable floor area	Urban Neighbourhood Zone in Bowden
Tourist accommodation	1 space for every 4 bedrooms up to 100 bedrooms plus 1 space for every 5 bedrooms over 100 bedrooms	1 space per 2 bedrooms up to 100 bedrooms and 1 space per 4 bedrooms over 100 bedrooms	<p>City Living Zone</p> <p>Urban Activity Centre Zone when the site is also in a high frequency public transit area</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone (except for Bowden)</p>
Residential development			
Residential component of a multi-storey building	<p>Dwelling with no separate bedroom -0.25 spaces per dwelling</p> <p>1 bedroom dwelling - 0.75 spaces per dwelling</p> <p>2 bedroom dwelling - 1 space per dwelling</p> <p>3 or more bedroom dwelling - 1.25 spaces per dwelling</p> <p>0.25 spaces per dwelling for visitor parking.</p>	None specified.	<p>City Living Zone</p> <p>Strategic Innovation Zone in the City of Burnside, City of Marion or City of Mitcham</p> <p>Strategic Innovation Zone outside the City of Burnside, City of Marion or City of Mitcham when the site is also in a high frequency public transit area</p> <p>Urban Activity Centre Zone when the site is also in a high frequency public transit area</p> <p>Urban Corridor (Boulevard) Zone</p>

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			Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone (except for Bowden)
Residential component of a multi-storey building	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden
Residential flat building	Dwelling with no separate bedroom -0.25 spaces per dwelling 1 bedroom dwelling - 0.75 spaces per dwelling 2 bedroom dwelling - 1 space per dwelling 3 or more bedroom dwelling - 1.25 spaces per dwelling 0.25 spaces per dwelling for visitor parking.	None specified.	City Living Zone Urban Activity Centre Zone when the site is also in a high frequency public transit area Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone (except for Bowden)
Residential flat building	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden
Detached dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden
Row dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden
Semi-detached dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden

**Table 3 - Off-Street Bicycle Parking Requirements**

The bicycle parking rates apply within designated areas located within parts of the State identified in the Schedule to Table 3.

Class of Development	Bicycle Parking Rate	
	Where a development comprises more than one development type, then the overall bicycle parking rate will be taken to be the sum of the bicycle parking rates for each development type.	
Consulting room	1 space per 20 employees plus 1 space per 20 consulting rooms for customers.	
Educational facility	For a secondary school - 1 space per 20 full-time time employees plus 10 percent of the total number of employee spaces for visitors. For tertiary education - 1 space per 20 employees plus 1 space per 10 full time students.	
Hospital	1 space per 15 beds plus 1 space per 30 beds for visitors.	
Indoor recreation facility	1 space per 4 employees plus 1 space per 200m <sup>2</sup> of gross leasable floor area for visitors.	
Licensed Premises	1 per 20 employees, plus 1 per 60 square metres total floor area, plus 1 per 40 square metres of bar floor area, plus 1 per 120 square metres lounge and beer garden floor area, plus 1 per 60 square metres dining floor area, plus 1 per 40 square metres gaming room floor area.	
Office	1 space for every 200m <sup>2</sup> of gross leasable floor area plus 2 spaces plus 1 space per 1000m <sup>2</sup> of gross leasable floor area for visitors.	
Child care facility	1 space per 20 full time employees plus 1 space per 40 full time children.	
Recreation area	1 per 1500 spectator seats for employees plus 1 per 250 visitor and customers.	
Residential flat building	Within the City of Adelaide 1 for every dwelling for residents with a total floor area less than 150 square metres, 2 for every dwelling for residents with a total floor area greater than 150 square metres, plus 1 for every 10 dwellings for visitors, and in all other cases 1 space for every 4 dwellings for residents plus 1 for every 10 dwellings for visitors.	
Residential component of a multi-storey building	Within the City of Adelaide 1 for every dwelling for residents with a total floor area less than 150 square metres, 2 for every dwelling for residents with a total floor area greater than 150 square metres, plus 1 for every 10 dwellings for visitors, and in all other cases 1 space for every 4 dwellings for residents plus 1 space for every 10 dwellings for visitors.	
Shop	1 space for every 300m <sup>2</sup> of gross leasable floor area plus 1 space for every 600m <sup>2</sup> of gross leasable floor area for customers.	
Tourist accommodation	1 space for every 20 employees plus 2 for the first 40 rooms and 1 for every additional 40 rooms for visitors.	
Schedule to Table 3	Designated Area	Relevant part of the State  The bicycle parking rate applies to a designated area located in a relevant part of the State described below.
	All zones	City of Adelaide



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	Business Neighbourhood Zone Strategic Innovation Zone Suburban Activity Centre Zone Suburban Business Zone Suburban Main Street Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street ) Zone Urban Neighbourhood Zone	Metropolitan Adelaide

## Waste Treatment and Management Facilities

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Mitigation of the potential environmental and amenity impacts of waste treatment and management facilities.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting	
<b>PO 1.1</b> Waste treatment and management facilities incorporate separation distances and attenuation measures within the site between waste operations areas (including all closed, operating and future cells) and sensitive receivers and sensitive environmental features to mitigate off-site impacts from noise, air and dust emissions.	<b>DTS/DPF 1.1</b> None are applicable.
Soil and Water Protection	
<b>PO 2.1</b> Soil, groundwater and surface water are protected from contamination from waste treatment and management facilities through measures such as: <ul style="list-style-type: none"> <li>(a) containing potential groundwater and surface water contaminants within waste operations areas</li> <li>(b) diverting clean stormwater away from waste operations areas and potentially contaminated areas</li> <li>(c) providing a leachate barrier between waste operations areas and underlying soil and groundwater.</li> </ul>	<b>DTS/DPF 2.1</b> None are applicable.
<b>PO 2.2</b>	<b>DTS/DPF 2.2</b>

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Wastewater lagoons are set back from watercourses to minimise environmental harm and adverse effects on water resources.		Wastewater lagoons are set back 50m or more from watercourse banks.	
<b>PO 2.3</b>  Wastewater lagoons are designed and sited to:  (a) avoid intersecting underground waters; (b) avoid inundation by flood waters; (c) ensure lagoon contents do not overflow; (d) include a liner designed to prevent leakage.		<b>DTS/DPF 2.3</b>  None are applicable.	
<b>PO 2.4</b>  Waste operations areas of landfills and organic waste processing facilities are set back from watercourses to minimise adverse impacts on water resources.		<b>DTS/DPF 2.4</b>  Waste operations areas are set back 100m or more from watercourse banks.	
Amenity			
<b>PO 3.1</b>  Waste treatment and management facilities are screened, located and designed to minimise adverse visual impacts on amenity.		<b>DTS/DPF 3.1</b>  None are applicable.	
<b>PO 3.2</b>  Access routes to waste treatment and management facilities via residential streets is avoided.		<b>DTS/DPF 3.2</b>  None are applicable.	
<b>PO 3.3</b>  Litter control measures minimise the incidence of windblown litter.		<b>DTS/DPF 3.3</b>  None are applicable.	
<b>PO 3.4</b>  Waste treatment and management facilities are designed to minimise adverse impacts on both the site and surrounding areas from weed and vermin infestation.		<b>DTS/DPF 3.4</b>  None are applicable.	
Access			
<b>PO 4.1</b>  Traffic circulation movements within any waste treatment or management site are designed to enable vehicles to enter and exit the site in a forward direction.		<b>DTS/DPF 4.1</b>  None are applicable.	
<b>PO 4.2</b>  Suitable access for emergency vehicles is provided to and within waste treatment or management sites.		<b>DTS/DPF 4.2</b>  None are applicable.	
Fencing and Security			
<b>PO 5.1</b>  Security fencing provided around waste treatment and management facilities prevents unauthorised access to operations and potential hazard to the public.		<b>DTS/DPF 5.1</b>  Chain wire mesh or pre-coated painted metal fencing 2m or more in height is erected along the perimeter of the waste treatment or waste management facility site.	
Landfill			
<b>PO 6.1</b>  Landfill gas emissions are managed in an environmentally acceptable manner.		<b>DTS/DPF 6.1</b>  None are applicable.	

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<b>PO 6.2</b>	Landfill facilities are separated from areas of environmental significance and land used for public recreation and enjoyment.	<b>DTS/DPF 6.2</b>	Landfill facilities are set back 250m or more from a public open space reserve, forest reserve, national park or Conservation Zone.
<b>PO 6.3</b>	Landfill facilities are located on land that is not subject to land slip.	<b>DTS/DPF 6.3</b>	None are applicable.
<b>PO 6.4</b>	Landfill facilities are separated from areas subject to flooding.	<b>DTS/DPF 6.4</b>	Landfill facilities are set back 500m or more from land inundated in a 1% AEP flood event.
Organic Waste Processing Facilities			
<b>PO 7.1</b>	Organic waste processing facilities are separated from the coast to avoid potential environment harm.	<b>DTS/DPF 7.1</b>	Organic waste processing facilities are set back 500m or more from the coastal high water mark.
<b>PO 7.2</b>	Organic waste processing facilities are located on land where the engineered liner and underlying seasonal water table cannot intersect.	<b>DTS/DPF 7.2</b>	None are applicable.
<b>PO 7.3</b>	Organic waste processing facilities are sited away from areas of environmental significance and land used for public recreation and enjoyment.	<b>DTS/DPF 7.3</b>	Organic waste processing facilities are set back 250m or more from a public open space reserve, forest reserve, national park or a Conservation Zone.
<b>PO 7.4</b>	Organic waste processing facilities are located on land that is not subject to land slip.	<b>DTS/DPF 7.4</b>	None are applicable.
<b>PO 7.5</b>	Organic waste processing facilities separated from areas subject to flooding.	<b>DTS/DPF 7.5</b>	Organic waste processing facilities are set back 500m or more from land inundated in a 1% AEP flood event.
Major Wastewater Treatment Facilities			
<b>PO 8.1</b>	Major wastewater treatment and disposal systems, including lagoons, are designed to minimise potential adverse odour impacts on sensitive receivers, minimise public and environmental health risks and protect water quality.	<b>DTS/DPF 8.1</b>	None are applicable.
<b>PO 8.2</b>	Artificial wetland systems for the storage of treated wastewater are designed and sited to minimise potential public health risks arising from the breeding of mosquitoes.	<b>DTS/DPF 8.2</b>	None are applicable.

## Workers' accommodation and Settlements

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Appropriately designed and located accommodation for seasonal and short-term workers in rural areas that minimises environmental and social impacts.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<b>PO 1.1</b> Workers' accommodation and settlements are obscured from scenic routes, tourist destinations and areas of conservation significance or otherwise designed to complement the surrounding landscape.	<b>DTS/DPF 1.1</b> None are applicable.
<b>PO 1.2</b> Workers' accommodation and settlements are sited and designed to minimise nuisance impacts on the amenity of adjacent users of land.	<b>DTS/DPF 1.2</b> None are applicable.
<b>PO 1.3</b> Workers' accommodation and settlements are built with materials and colours that blend with the landscape.	<b>DTS/DPF 1.3</b> None are applicable.
<b>PO 1.4</b> Workers' accommodation and settlements are supplied with service infrastructure such as power, water and effluent disposal sufficient to satisfy the living requirements of workers.	<b>DTS/DPF 1.4</b> None are applicable.

## Admin - No criteria applies to this land use

No criteria applies to this land use. Please check the definition of the land use for further detail.



LOT 16 WARREN RD BIRDWOOD SA 5234

**Address:**

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To view a detailed interactive property map in SAPPA click on the map below



**Property Zoning Details**

**Zone**

Productive Rural Landscape

**Overlay**

Environment and Food Production Area  
 Hazards (Flooding)  
 Hazards (Bushfire - Medium Risk)  
 Hazards (Flooding - Evidence Required)  
 Limited Land Division  
 Mount Lofty Ranges Water Supply Catchment (Area 2)  
 Native Vegetation  
 Prescribed Water Resources Area  
 Traffic Generating Development  
 Urban Transport Routes  
 Water Resources

**Selected Development(s)**

Fence

**This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.**

*If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development*

Property Policy Information for above selection

Fence - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

## Productive Rural Landscape Zone

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A diverse range of land uses at an appropriate scale and intensity that capitalise on the region's proximity to the metropolitan area and the tourist and lifestyle opportunities this presents while also conserving the natural and rural character, identity, biodiversity and sensitive environmental areas and scenic qualities of the landscape.
DO 2	A zone that promotes agriculture, horticulture, value adding opportunities, farm gate businesses, the sale and consumption of agricultural based products, tourist development and accommodation that expands the economic base and promotes its regional identity.
DO 3	Create local conditions that support new and continuing investment while seeking to promote co-existence with adjoining activities and mitigate land use conflicts.

### Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

#### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. Any development involving any of the following (or of any combination of any of the following): (a) advertisement	None specified.

<ul style="list-style-type: none"> <li>(b) agricultural building</li> <li>(c) air handling unit, air conditioning system or exhaust fan</li> <li>(d) ancillary accommodation</li> <li>(e) carport</li> <li>(f) deck</li> <li>(g) fence</li> <li>(h) dwelling</li> <li>(i) dwelling addition</li> <li>(j) farming</li> <li>(k) horse keeping</li> <li>(l) internal building work</li> <li>(m) land division</li> <li>(n) outbuilding</li> <li>(o) pergola</li> <li>(p) private bushfire shelter</li> <li>(q) protective tree netting structure</li> <li>(r) replacement building</li> <li>(s) retaining wall</li> <li>(t) solar photovoltaic panels (roof mounted)</li> <li>(u) shade sail</li> <li>(v) swimming pool or spa pool and associated swimming pool safety features</li> <li>(w) temporary accommodation in an area affected by bushfire</li> <li>(x) tree damaging activity</li> <li>(y) verandah</li> <li>(z) water tank.</li> </ul>	
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) industry</li> <li>(b) store</li> <li>(c) warehouse.</li> </ul>	<p>Except development that does not satisfy any of the following:</p> <ul style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 4.1</li> <li>2. Productive Rural Landscape Zone DTS/DPF 4.3.</li> </ul>
<p>4. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
<p>5. Function venue within The Cedars Subzone.</p>	<p>None specified.</p>
<p>6. Function venue.</p>	<p>Except function venue that does not satisfy Productive Rural Landscape Zone DTS/DPF 6.6.</p>
<p>7. Horticulture.</p>	<p>Except horticulture that does not satisfy any of the following:</p> <ul style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 3.1(d)</li> <li>2. Productive Rural Landscape Zone DTS/DPF 3.1(e).</li> </ul>

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8. Railway line.		Except where located outside of a rail corridor or rail reserve.
9. Shop within The Cedars Subzone.		None specified.
10. Shop.		Except shop that does not satisfy any of the following: <ul style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 6.1</li> <li>2. Productive Rural Landscape Zone DTS/DPF 6.2.</li> </ul>
11. Tourist accommodation within The Cedars Subzone.		None specified.
12. Tourist accommodation.		Except tourist accommodation that does not to satisfy any of the following: <ul style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 6.3</li> <li>2. Productive Rural Landscape Zone DTS/DPF 6.4.</li> </ul>
Placement of Notices - Exemptions for Performance Assessed Development		
Pursuant to regulation 47(6)(c) of the Planning, Development and Infrastructure (General) Regulations 2017, the requirement to place a notice on the relevant land under section 107(3)(a)(ii) of the <i>Planning, Development and Infrastructure Act 2016</i> does not apply in the Productive Rural Landscape Zone.		
Placement of Notices - Exemptions for Restricted Development		
Pursuant to regulation 47(6)(c) of the Planning, Development and Infrastructure (General) Regulations 2017, the requirement to place a notice on the relevant land under section 110(2)(a)(iv) of the <i>Planning, Development and Infrastructure Act 2016</i> does not apply in the Productive Rural Landscape Zone.		

## Part 3 - Overlays

### Hazards (Flooding) Overlay

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from high flood risk are minimised by retaining areas free from development, and minimising intensification where development has occurred.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)



Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 3.6 Fences do not unreasonably impede floodwaters.	DTS/DPF 3.6 A post and wire fence (other than a chain mesh fence).

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Urban Transport Routes Overlay

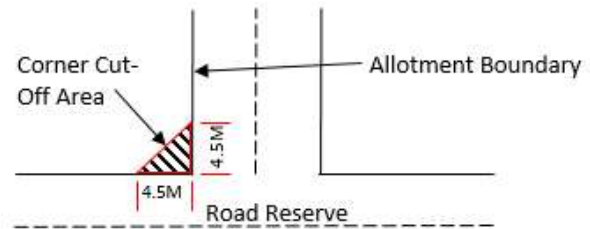
### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from Urban Transport Routes.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Corner Cut-Offs	
PO 10.1 Development is located and designed to maintain sightlines for drivers turning into and out of public road junctions to contribute to driver safety.	DTS/DPF 10.1 Development does not involve building work, or building work is located wholly outside the land shown as 'Corner Cut-Off Area' in the following diagram:



## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where all of the relevant deemed-to-satisfy criteria are met, development (including the division of land) that involves any of the following to/on a State Maintained Road or within 25 metres of an intersection with any such road:</p> <ul style="list-style-type: none"> <li>(a) creation of a new access or junction</li> <li>(b) alterations to an existing access or public road junction (except where deemed to be minor in the opinion of the relevant authority)</li> <li>(c) development that changes the nature of vehicular movements or increase the number or frequency of movements through an existing access (except where deemed to be minor in the opinion of the relevant authority).</li> </ul>	Commissioner of Highways.	To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Water Resources Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Catchment	
PO 1.1  Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.	DTS/DPF 1.1  None are applicable.
PO 1.4  Watercourses, areas of remnant native vegetation, or areas prone to erosion that are capable of natural regeneration are fenced off to limit stock access.	DTS/DPF 1.4  None are applicable.
PO 1.7  Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.	DTS/DPF 1.7  None are applicable.

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Part 4 - General Development Policies

### Clearance from Overhead Powerlines

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.</p>	<p>DTS/DPF 1.1</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> <li>(a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i></li> <li>(b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.</li> </ul>

## Design

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All development	
Fences and Walls	
<p>PO 9.1</p> <p>Fences, walls and retaining walls are of sufficient height to</p>	<p>DTS/DPF 9.1</p> <p>None are applicable.</p>



maintain privacy and security without unreasonably impacting the visual amenity and adjoining land's access to sunlight or the amenity of public places.

## Transport, Access and Parking

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Sightlines	
PO 2.2 Walls, fencing and landscaping adjacent to driveways and corner sites are designed to provide adequate sightlines between vehicles and pedestrians.	DTS/DPF 2.2 None are applicable.
Corner Cut-Offs	
PO 10.1 Development is located and designed to ensure drivers can safely turn into and out of public road junctions.	<p>DTS/DPF 10.1 Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 