

## CAP MEETING – 11 June 2025

## ITEM 8.2

<b>DEVELOPMENT NO.:</b>	25006366
<b>APPLICANT:</b>	Medallion Homes
<b>ADDRESS:</b>	16 HIGHLANDS CT WOODFORDE SA 5072
<b>NATURE OF DEVELOPMENT:</b>	Two storey detached dwelling, retaining walls, fence, swimming pool and associated safety fence
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Housing Diversity Neighbourhood</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Affordable Housing</li> <li>• Hazards (Bushfire - Urban Interface)</li> <li>• Hazards (Flooding - Evidence Required)</li> <li>• Prescribed Wells Area</li> <li>• Regulated and Significant Tree</li> <li>• Stormwater Management</li> <li>• Traffic Generating Development</li> <li>• Urban Tree Canopy</li> <li>• Water Resources</li> </ul> <p><b>Technical Numeric Variations (TNVs):</b></p> <ul style="list-style-type: none"> <li>• Maximum Building Height (Metres) (Maximum building height is 9m)</li> <li>• Maximum Building Height (Levels) (Maximum building height is 2 levels)</li> </ul>
<b>LODGEMENT DATE:</b>	17 Mar 2025
<b>RELEVANT AUTHORITY:</b>	Council Assessment Panel
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	P&D Code (in effect) Version 2025.5 13/3/2025
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	Yes
<b>RECOMMENDING OFFICER:</b>	Tim Mason Statutory Planner
<b>REFERRALS STATUTORY:</b>	Not required
<b>REFERRALS NON-STATUTORY:</b>	Not required

## CONTENTS:

<b>ATTACHMENT 1:</b>	<b>Application Documents</b>	<b>ATTACHMENT 4:</b>	<b>Representations</b>
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**DETAILED DESCRIPTION OF PROPOSAL:**

The proposal is for the construction of a two-storey detached dwelling with associated earthworks, retaining walls, fencing and swimming pool.

The proposed dwelling is of a modern design with a front façade that features a double garage under the main roof, floor to ceiling fenestration, a front entrance with a stone veneer wall and cantilevered canopy, and a pitched roof behind parapet walls. The main level of the dwelling presents to the street as single storey, with a ‘concealed’ lower level that steps down below the road level as the land falls away significantly from the road frontage. The external material palette is predominately brick and rendered wall cladding in light colour tones, aluminium frame windows and doors and Colorbond roof sheeting in surfmist.

The height of the dwelling varies across the site given the slope of the land and the split-level design. The highest point of the roof, which is the parapet wall above the front entrance, is approximately 10.6 metres above the lowest natural or finished ground level of any part of the proposed building.

The main front of the dwelling is setback 5 metres from the road boundary with the garage setback at 6 metres. The sides of the dwelling are setback a minimum of 1 and 1.3 metres at the ground level and between 1 metre and 2.5 metres at the upper level. The rear of the dwelling is setback at least 13 metres from the southwestern boundary.

Retaining walls are to be provided along sections of the side boundaries and internally to stabilise a small amount of excavation at the front of the site and more significant excavation for the lower level. The retaining walls varying between 0.3 and 2.65 metres in height. Good neighbour fencing at a height of 1.8 metres will be erected on top of the retaining walls.

A partially inground swimming pool and safety fence is to be proposed adjacent to a rear alfresco area.

**BACKGROUND:**

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
19 Mar 2024 - Planning Consent Only	23035295	Three storey detached dwelling, fence, retaining walls and swimming pool

No applications have received full Development Approval at this site.

**SUBJECT LAND & LOCALITY:**

**Location reference:** 16 HIGHLANDS CT WOODFORDE SA 5072

**Title ref.:** CT 6258/237   **Plan Parcel:** D127625 AL263   **Council:** ADELAIDE HILLS COUNCIL

**Site Description:**

The subject land comprises a single allotment located at 16 Highlands Court, Woodforde. The land is part of the Hamilton Hill master planned development in Woodforde.

The allotment is a rectangle shape with a frontage width of 15 metres, a depth of up to 39.58 metres and a site area of approximately 590m<sup>2</sup>. The land comprises a single allotment that is formally described as Allotment 263 in Deposited Plan 127625, Certificate of Title Volume 6258 Folio 237. It is noted there is an encumbrance on the title that requires the consent of the Hamilton Hill Design Panel. There is also a drainage easement at the rear of the site.

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The allotment is currently vacant and is naturally sloping with a crossfall of approximately 8 metres from the road frontage to the rear southwestern corner of the site.

#### **Locality**

The locality is residential in land use and built form character, with existing and new residential development interfacing with densely vegetated open space to the east near Norton Summit Road.

The locality comprises mostly of the newly developed Hamilton Hill estate that surrounds the subject land. Allotments within Highlands Court are between 500m<sup>2</sup> and 700m<sup>2</sup> and are currently being developed with new modern dwellings of generous proportions. Significant earthworks and retaining walls are evident due to the sloping topography of the land.

The established residential area to the north is characterised by detached dwellings of low densities. There are several large two-storey dwellings with distant views of the city and existing trees and gardens are notable features within this area.

Land to the east and south-east near Norton Summit Road is densely vegetated and has an open and vegetated character.

#### **CONSENT TYPE REQUIRED:**

Planning Consent

#### **CATEGORY OF DEVELOPMENT:**

- **PER ELEMENT:**  
Swimming pool or spa pool and associated swimming pool safety features: Accepted  
Detached dwelling: Code Assessed - Performance Assessed  
Fence: Code Assessed - Performance Assessed  
Retaining wall: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**  
Code Assessed - Performance Assessed
- **REASON**  
P&D Code

#### **PUBLIC NOTIFICATION**

Yes

- **REASON**  
  
The proposed dwelling exceeds Class of Development 3 (b) Exception 1 with a maximum height which exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1.

Public Notification period – 25 March 2025 to 14 April 2025

- **LIST OF REPRESENTATIONS**

One (1) representation was received during the notification period raising some concerns with the proposed development. The representation has requested to be heard by the Panel.

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Representor Name	Representor's Property Address	Wishes to be heard (Y/N)	Nominated Speaker (if relevant)
Hugh Marquis	15 Highlands Court, Woodforde	Yes	Self

- **SUMMARY**

The issues contained in the representations can be briefly summarised as follows:

- Privacy impacts from overlooking

A copy of the representations is included as **Attachment 4 – Representations** and the applicant's response is provided in **Attachment 5 – Response to Representations**.

**AGENCY REFERRALS**

No agency referrals were required.

**INTERNAL REFERRALS**

No internal referrals were required.

**PLANNING ASSESSMENT**

***Desired outcomes***

*Desired outcomes are policies designed to aid the interpretation of performance outcomes by setting a general policy agenda for a zone, subzone, overlay or general development policies module. Where a relevant authority is uncertain as to whether or how a performance outcome applies to a development, the desired outcome(s) may inform its consideration of the relevance and application of a performance outcome, or assist in assessing the merits of the development against the applicable performance outcomes collectively.*

***Performance outcomes***

*Performance outcomes are policies designed to facilitate assessment according to specified factors, including land use, site dimensions and land division, built form, character and hazard risk minimisation.*

***Designated performance features***

*In order to assist a relevant authority to interpret the performance outcomes, in some cases the policy includes a standard outcome which will generally meet the corresponding performance outcome (a designated performance feature or DPF). A DPF provides a guide to a relevant authority as to what is generally considered to satisfy the corresponding performance outcome but does not need to necessarily be satisfied to meet the performance outcome, and does not derogate from the discretion to determine that the outcome is met in another way, or from the need to assess development on its merits against all relevant policies.*

A detailed assessment of the application has taken place against the relevant provisions of the Planning and Design Code (P & D Code) and this is provided below under a series of headings. A Policy Enquiry extract containing the relevant provisions of the P & D Code is contained in **Attachment 6 – Relevant P & D Code Policies**.

**Zone:**

**Housing Diversity Neighbourhood Zone:**



Desired Outcomes	
DO1	Medium density housing supports a range of needs and lifestyles, located within easy reach of a diversity of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 1.1, 3.1, 4.1, 6.1, 7.1 and 8.1	
DPFs: 1.1, 3.1, 4.1, 6.1, 7.1 and 8.1	

The subject land is a recently created residential allotment situated within the Hamilton Hill master planned development. The land is within the Housing Diversity Neighbourhood Zone of the Planning and Design Code. DO 1 and PO 1 of the Zone are seeking a diverse range of medium density housing. The proposal to construct a detached dwelling on a recently created allotment is therefore a desirable form of development from a land use perspective.

DPF 3.1 of the Zone recommends a maximum height of 9 metres and two building levels. PO 3.1 is seeking a building height that is consistent with the DPF or development that is “generally low rise or complements the height of nearby buildings”. The proposal is a low-rise form of housing despite having two storeys and a maximum height of 10.6 metres. The Code defines low-rise as “up to and including 2 building levels”. The Code also defines building height as “the maximum vertical distance between the lower of the natural or finished ground level at any point of any part of a building and the finished roof height at its highest point”. While the dwelling is higher than 9 metres, this is not a significant departure as the dwelling presents to the street as a single storey building and the tallest part of the building above ground level is to the rear where the visual bulk is concealed from the street.

Although not a relevant Code consideration, it is noted that the proposal has been approved by the Hamilton Hill Design Panel as the building height is deemed to be consistent with the design guidelines of the encumbrance. The proposed building height is also consistent with other large dwellings within the locality.

Therefore, the proposal is supported from a building height and scale perspective as it is a low-rise form of development that would sufficiently complement the height of nearby buildings. PO 3.1 of the Housing Diversity Neighbourhood Zone is reasonably satisfied.

The zone policies provide limited guidance with respect to the architectural style, form and appearance of buildings. The proposed dwelling is designed with a modern form and materials finished in light colour tones. A feature of the design are front walls with angular profile and a recessed garage door and fenestration. The modern design is consistent with other newly construction buildings in the street.

The front of the dwelling is setback between 5 and 6 metres from the road boundary. These front setbacks are consistent with the siting of the existing dwelling on the eastern side and that of most dwellings within the street. The siting of the proposed dwelling will therefore maintain the existing streetscape in accordance with the PO 4.1 of the Zone.

The sides of the dwelling are setback a minimum of 0.9 and 1.3 metres at the ground level and between 0.9 metre and 2.5 metres at the upper level. PO/DPF 7.1 of the Zone recommends a side boundary setback of at least 0.9 metres at ground level and 2.4 metres for the upper storey based on the height of the walls. While there is setback shortfall to the western side boundary, the proposed setback is considered to meet PO 6.1 given that:

- The space alongside the dwelling is consistent with the existing development pattern in the locality as most dwellings are located close to side boundaries and in some instances have walls sited on boundaries;
- The two-storey component of the western side has a footing that is mostly located below the natural ground level (i.e. excavated) resulting in a lower wall and roof height relative to the existing ground level of adjacent land; and

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- The subject land has a north to south orientation resulting in minimal overshadowing of adjoining properties, noting also that the adjoining land to south is a public reserve.

The rear of the dwelling is setback at least 13 metres from the rear boundary and satisfies PO/DPF 8.1 of the Zone.

### Overlays

#### Affordable Housing Overlay

Desired Outcomes	
DO1	Affordable housing is integrated with residential and mixed use development.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs:	
DPFs:	

The proposal does not include any affordable housing.

#### Hazards (Flooding – Evidence Required) Overlay

Desired Outcomes	
DO1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 1.1	
DPFs: 1.1	

The proposal includes an engineered stormwater management system and adequate space will be maintained around the curtilage of the dwelling to mitigate any potential flooding impacts.

#### Stormwater Management Overlay

Desired Outcomes	
DO1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 1.1	
DPFs: 1.1	

The proposed stormwater system includes a 5000L rainwater tank that will be plumbed into the dwelling comprising 1000L of detention and 4000L of retention. Overflow from the tank will be directed to a drainage easement in the southwestern corner of the site.

The rainwater tank capacity satisfies DPF 1.1 of the Stormwater Management Overlay and it has been demonstrated that the proposed development will not adversely impact on the existing local stormwater system. As the proposal is considered to satisfy the provisions of the Overlay, the application was not considered to warrant a referral to Council Civil Engineering.

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**Traffic Generating Development Overlay**

<b>Desired Outcomes</b>	
DO1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
POs: 1.1, 1.2 and 1.3	
DPFs: 1.1, 1.2 and 1.3	

The subject land does not have access to a State Maintained Road and the proposed dwelling will have a negligible impact on traffic generation.

The proposal will not impact on the State Maintained Road network.

**Urban Tree Canopy Overlay**

<b>Desired Outcomes</b>	
DO1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
POs: 1.1	
DPFs: 1.1	

The applicant has provided a basic landscape plan that includes the planting of four (4) small size trees in the front and rear yards. A condition of consent has been included to ensure the number and size of the proposed trees satisfy DPF 1.1 of the Urban Tree Canopy Overlay.

**Water Resources Overlay**

<b>Desired Outcomes</b>	
DO1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
POs: 1.1, 1.2, 1.5 and 1.7	
DPFs: 1.5	

There are no watercourses that traverse the site. The proposal is consistent with the Water Resources Overlay.

**General Development Policies**

**Design in Urban Areas**

<b>Desired Outcomes</b>	
DO1	Development is: <ul style="list-style-type: none"><li>a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area</li><li>b) durable - fit for purpose, adaptable and long lasting inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and</li></ul>

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	<p>promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</p> <p>c) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</p>
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
POs: 6.1, 8.1, 8.2, 8.3, 8.4, 8.5, 10.1, 10.2, 17.1, 17.2, 18.1, 20.1, 20.2, 20.3, 21.1, 21.2 and 22.1	
DPFs: 6.1, 8.1, 8.2, 10.1, 10.2, 17.1, 17.2, 18.1, 20.1, 20.2, 21.2, 21.2 and 22.1	

The proposed garage will not dominate the dwelling façade or detract from the streetscape as it is located one metre behind the main front wall and has a modest size door opening of only 5 metres. PO 20.1 of Design in Urban Areas is satisfied.

The front façade includes windows to facilitate passive surveillance of the adjacent public realm, and the front entrance addresses the street and provides a legible entry point. These design features satisfy PO 17.1 and 17.2.

The proposed plans indicate that the elevated windows on the side elevations have either raised sills or obscure glass to a height of at least 1.5 metres above the finished floor. Similarly, the sides of the rear balcony have solid privacy to a height of 1.5 metres. These measures will mitigate direct overlooking into the neighbouring properties. While the rear elevation has living room windows and a balcony with no privacy treatments, views to the rear would not have any privacy impact as the adjoining land consists of a public reserve. The proposal adequately mitigates direct overlooking to habitable rooms and private open spaces of adjoining properties in accordance with PO 10.1.

The dwelling will be provided with more than 200m<sup>2</sup> private open space. The amount of private open space satisfies the requirements of the Table 1 of the General Policies (Design) and is directly accessible to living areas. Suitable private open space for entertaining, clothes drying and other domestic functions is therefore provided for occupants of the dwelling as sought by PO 21.1 and 21.2.

Retaining walls are to be provided along sections of the side boundaries and internally to stabilise a small amount of fill and more significant excavation for the lower level. The retaining walls varying between 0.3 and 2.65 metres in height with good neighbour fencing at a height of 1.8 metres will be erected on top of the retaining walls. Although some sections of retaining and fencing will be quite tall, the proposed earthworks and retaining is reasonable from a visual amenity perspective given that in most cases the retaining walls will no higher than the existing ground levels as retaining is for cut/excavation rather than fill. Overall, the proposed earthworks, retaining and fencing will “maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places” as sought by PO 9.1 and 9.2 General Policies (Design in Urban Areas).

### Interface between Land Uses

<b>Desired Outcomes</b>	
DO1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
POs: 3.1, 3.2 and 3.3	
DPFs: 3.1 and 3.2	

Given the two-storey scale of the development it is expected that some shadow will be cast over adjoining land, however the extent of overshadowing is not expected to be significant given the north-east to south-west orientation of the land, the low-profile roof design, and separation to side boundaries. Most shadow will be cast over the rear yard of the subject land and the adjacent reserve.

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The adjoining properties will experience a relatively small amount of overshadowing that would not adversely impact on their amenity. The adjoining properties will continue to receive at least three hours of sunlight to the north-facing habitable windows and rear yards during the winter solstice as sought by PO 3.1 and 3.2 of the General Development Policies (Interface between Land Uses) are satisfied.

#### Site Contamination

Desired Outcomes	
DO1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 1.1	
DPFs: 1.1	

As the allotment was initially divided for residential purposes as part of the Land Division Application 473/D049/15 and has not been used for any other land uses since that time, the application is not considered to result in a change in land use to a more sensitive use as per Part 5 (5) (d) of *PRACTICE DIRECTION 14 - Site Contamination Assessment 2021*.

#### Transport, Access and Parking

Desired Outcomes	
DO1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 1.4, 3.1, 3.5, 4.1, 5.1, 6.1 and 6.2	
DPFs: 1.4, 3.1, 3.5, 5.1 and 6.1	

An existing crossover will be utilised for driveway access. The crossover location and design, and the driveway gradients would facilitate safe and convenient access.

When assessed against Table 1 – General Off-Street Car Parking Requirements, there is a requirement for at least two car parking spaces for a dwelling, with one space to be covered. The dwelling is provided with two garage spaces and one visitor space in front of the garage. The car parking provision is acceptable.

The proposal satisfies PO 5.1 and 10.1 of the General Development Policies (Transport, Access and Parking) and PO 23.1, 23.3, 23.4 and 23.5 (Design in Urban Areas).

### CONSIDERATION OF SERIOUSLY AT VARIANCE

Having considered the proposal against the relevant provisions of the Planning and Design Code 2025.5 13/3/2025, the proposal is not considered to be seriously at variance with the provisions of the Planning and Design Code for the following reasons:

- The proposed dwelling is an envisaged land use in the Housing Diversity Neighbourhood Zone.
- The proposed built form is sufficiently compatible with the local context.
- It has been reasonably demonstrated that the proposal would not adversely impact upon the amenity of nearby sensitive uses.
- The development includes safe and convenient access and adequate car parking.

**CONCLUSION**

Having considered the proposal against the relevant provisions of the Planning and Design Code, the proposal is not seriously at variance with the Planning and Design Code.

The proposed dwelling is a desirable form of development within the Housing Diversity Neighbourhood Zone.

The size, scale and design of the dwelling is consistent with the local context, which is characterised by large and visually prominent buildings, modern architectural styles and sloping land with retaining walls.

It has been demonstrated that adequate provision is made for private open space, landscaping and on-site car parking and that any increase in traffic movements would not adversely impact upon traffic or pedestrian safety on the adjacent road network.

For these reasons, the proposal would achieve the relevant Desired and Performance Outcomes for the Housing Diversity Neighbourhood Zone and meet the relevant Overlays and general policies of the Code, thus warranting Planning Consent subject to conditions.

**RECOMMENDATION**

**It is recommended that the Council Assessment Panel resolve that:**

- 1) Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and**
- 2) Development Application Number 25006366 by Medallion Homes for a two storey detached dwelling, retaining walls, fence, swimming pool and associated safety fence at 16 Highlands Court, Woodforde is granted Planning Consent subject to the following conditions:**

**CONDITIONS**

**Planning Consent**

- 1) The development granted shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).**
- 2) Tree(s) must be planted and/or retained in accordance with DTS/DPF 1.1 of the Urban Tree Canopy Overlay in the Planning and Design Code (as at the date of lodgement of the application). New trees must be planted within 12 months of occupation of the dwelling(s) and maintained.**
- 3) All external materials and finishes shall be of subdued colours and of a low-light reflective nature which blend with the natural features of the landscape.**

**NOTE: browns, greys, greens and beige are suitable and galvanised iron and zincalume are not suitable.**

- 4) All roof runoff generated by the development hereby approved shall be directed to a rainwater tank with overflow to the street (via a pump if necessary) or a Council drainage easement to the satisfaction of Council within one month of the roof cladding being installed. All roof and hard surface runoff shall be managed to prevent trespass onto adjoining properties and into the effluent disposal area where an on-site waste control system exists.**

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- 5) Prior to commencement of work, straw bales (or other soil erosion control methods as approved by Council) shall be placed and secured below areas of excavation and fill to prevent soil moving off the site during construction.
- 6) Rainwater tank(s) must be installed in accordance with DTS/DPF 1.1 of the Stormwater Management Overlay in the Planning and Design Code (as at the date of lodgement of the application) within 12 months of occupation of the dwelling(s).
- 7) All external lighting shall be directed away from residential development and shielded if necessary to prevent light spill causing nuisance to the occupiers of those residential properties.
- 8) The balcony of the dwelling shall be fitted with fixed screening to a minimum height of 1.5 metres above the balcony floor level. The screening shall be installed prior to occupation and be maintained in good condition at all times.
- 9) The upper level windows of the dwelling shall be glazed with fixed obscure glass to a minimum height of 1.5 metres above finished floor level. The glazing of these windows shall be installed prior to occupation and be maintained in good condition at all times.

**ADVISORY NOTES**

**General Notes**

- 1) No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.
- 2) Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.
- 3) This Planning Consent is valid for a period of twenty-four (24) months commencing from the date of the decision, subject to the below or subject to an extension having been granted by the relevant authority. If applicable, Building Consent must be obtained prior to expiration of the Planning Consent.
- 4) Where an approved development has been substantially commenced within 2 years from the operative date of approval, the approval will then lapse 3 years from the operative date of the approval (unless the development has been substantially or fully completed within those 3 years, in which case the approval will not lapse).

**OFFICER MAKING RECOMMENDATION**

**Name:** Tim Mason  
**Title:** Statutory Planner





## JK FRESH & TASTE RESIDENCE

"ARTIST IMPRESSION ONLY"

 medallion homes





## JK FRESH & TASTE RESIDENCE

"ARTIST IMPRESSION ONLY"

 medallion homes



Medallion Homes

5<sup>th</sup> March 2025

**RE: DESIGN PANEL APPROVAL – LOT 263 (16 HIGHLANDS COURT, WOODFORDE)**

Thank you for submitting your plans for the above-mentioned allotment for assessment by the Hamilton Hill Design Panel.

I am pleased to advise that the Design Panel has approved the following plans:

Project No.	Drawing	Title	Revision	Date
M1962	1 of 7	Site Plan	02	02.12.24
M1962	2 of 7	Upper Level	02	02.12.24
M1962	3 of 7	Lower Level	02	02.12.24
M1962	4 of 7	Front & Rear Elevations	02	02.12.24
M1962	5 of 7	Side Elevations	02	02.12.24
M1962	6 of 7	Door & Window Schedule	02	02.12.24
M1962	7 of 7	Roof Layout	02	02.12.24

Please proceed to lodge your development application with Adelaide Hills Council or a Private Certifier with this approval letter.

In the event that the attached plans require amendment at any time, please ensure that the Design Panel are consulted and approve the variations prior to submitting a variation request to the relevant approval authority.

From all the team at Kite, we wish you all the best for the construction of your new home and look forward to seeing the finished product.

Yours Sincerely

*Hamilton Hill Design Panel*

Ph: (08) 8110 9800

20<sup>TH</sup> Jan 2025

Planning Manager - Woodforde  
C/O Medallion Homes  
Ground Floor  
162 Fullarton Rd  
ROSE PARK SA 5067



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Dear Planning Manager,

**RE: 16 HIGHLANDS CRT, WOODFORDE, SA.**

I am a registered South Australian architect (reg #2578) and the director of Cube Architects (reg #3035)  
I have been engaged by Medallion Homes as an architectural design consultant for the residential project at the above address.

This review is based on drawings (7x A3 sheets) dated Sept '24, sent to me by Medallion Homes on Jan 14, 2025. Additional to reviewing the drawings I have had discussions with Medallion's building designer, David Munday. We reviewed the design for bulk and scale, composition, articulation, roof form, materials and context to adjacent houses. Constructive criticism and aesthetical ideas were presented to David, all of which he was aware of himself but had restricted the design of the rear of the home due to budgetary concerns.

The street elevation is that of a tall single storey contemporary flat-roof home that utilises a refinement of four different materials. The palette is one of natural colours and textures incorporating stone, timber, off-white rendered geometric forms and tall (3.6m) vertical glazing. The 'striking' element of the street façade being the tapered masonry bookend walls that mitre on one side to the tapered rendered eaves creating an exaggerated frame to the home more liken to an art gallery than a humble residence. Each material is presented in a strong geometrical form giving a bold solidness to the home with an impressive 3.0m high timber entrance door contrasted adjacent a pillar of stone.

The natural contours of the site are extreme, falling rapidly away from the street boundary however the Medallion design utilises these levels to maintain a single level home (in appearance) at the street and steps down the site to become a 2-storey residence at the rear. Impressive ceiling heights are maintained inside the home with 3.0, 3.3 & 3.6m. The sides and rear of the home makes use of more conventional residential form and finishes with a hipped roof, face brickwork and render however the palette of colour is maintain from the front elevation with the same render and use of PGH Coastal Hamptons bricks. Our understanding is the home will be 'boxed in' on the two sides by the neighbouring properties leaving little exposure of the side elevations.

The floor plan of the home is that of a large (350m<sup>2</sup>) contemporary Australian home with four bedrooms, two living areas, double garage, swimming pool and a guest powder room/toilet in addition to the main bathroom and Master ensuite. The point of difference for this house being the split level of the upper-level of the home creating interest in the journey as you move from the front door through the Family Room to the large covered balcony at the rear of the home that overlooks the reserve behind the property.

We believe the Medallion Homes design for 16 Highlands Crt has good architectural merit and more than meets the requirements of the Hamilton Hill Design Guidelines and support its submission to the Design Panel.

Please feel free to contact myself if you wish to discuss any of the statement above,

**CUBE**  
architects

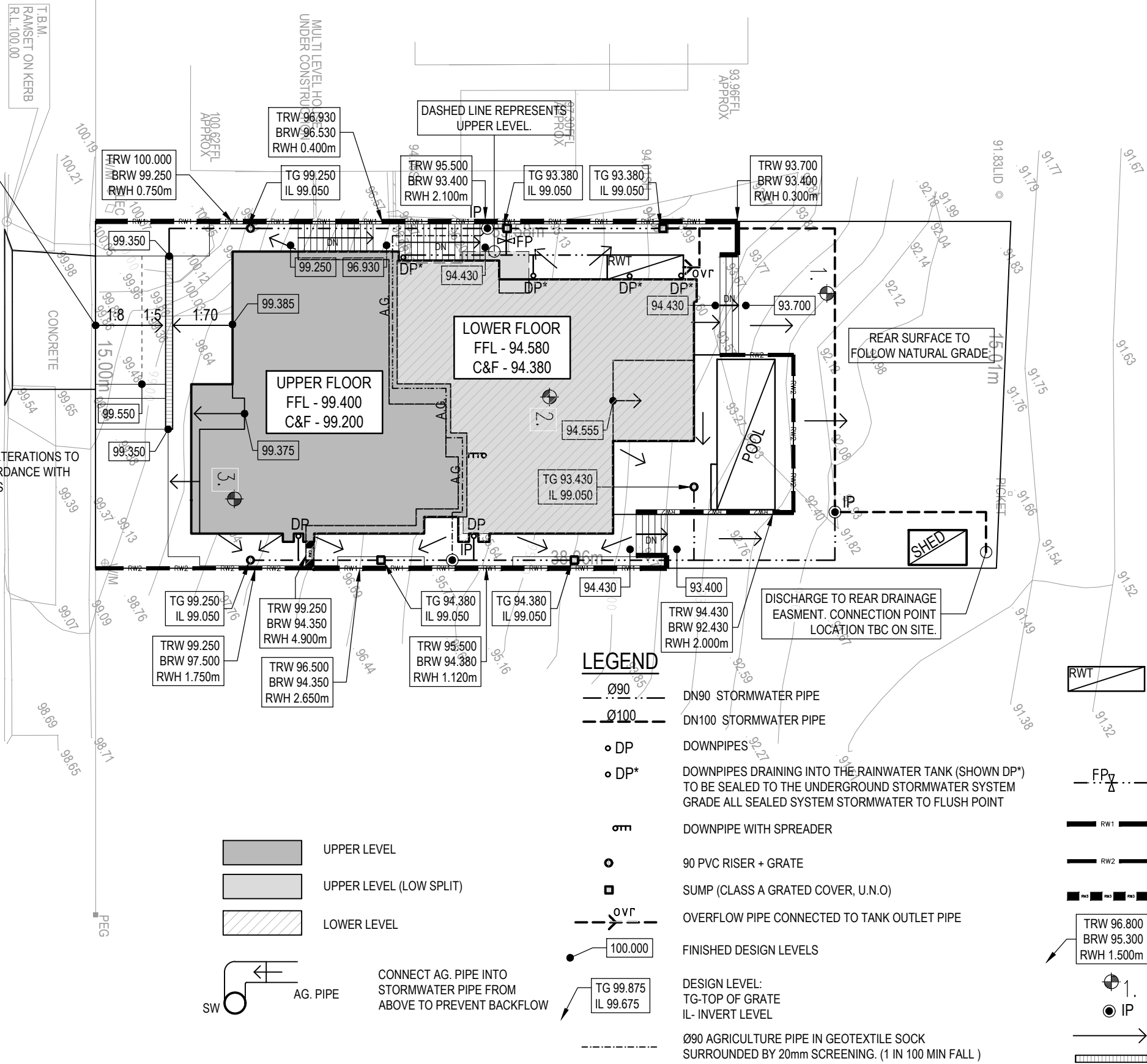
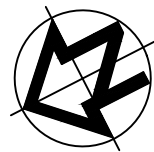
Kind regards,

A handwritten signature in black ink, appearing to read 'Mark Williams', with a long, sweeping horizontal line extending to the right.

**Mark Williams**

Director (0412 619 420)

NOTE:  
NEW CROSSOVER AND ALTERATIONS TO  
EXISTING TO BE IN ACCORDANCE WITH  
COUNCIL SPECIFICATIONS



## GENERAL NOTES

- THIS IS AN ENGINEERING SURVEY PLAN, AND SHOULD NOT BE TAKEN AS A CADASTRAL OR IDENTIFICATION SURVEY. BOUNDARY DATA SHOWN IS TO BE TAKEN AS A GUIDE ONLY.
- SURVEYED BY FLEURIEU SURVEYS.
- ALL SITE LEVELS AND DETAILS MUST BE CHECKED AND APPROVED BY THE OWNER/BUILDER PRIOR TO COMMENCEMENT OF ANY WORK.
- CONSTRUCTION OF STORMWATER SYSTEMS TO COMPLY WITH AS/NSZ 3500.3 "PLUMBING AND DRAINAGE - PART 3 : STORMWATER DRAINAGE"
- REFER TO ARCHITECTURAL SITE PLAN FOR SET OUT DIMENSIONS.
- THE FINISHED GROUND LEVEL ADJACENT TO EXTERNAL FOOTING SHALL BE SET DOWN TO SUIT REQUIRED PAVING LEVELS AND FALLS. REFER TO ENGINEERING REPORT FOR PAVING DETAILS.
- COVER TO PIPES SHALL COMPLY WITH AS/NSZ 3500.3 PIPES LESS THAN 200mm BELOW THE FINISHED SURFACE UNDER THE DRIVEWAYS SHALL BE ENCASED IN 100mm OF CONCRETE.
- PROVIDE SUITABLE PROPRIETARY FIRST FLUSH SYSTEM TO RAINWATER TANK INLETS, INCLUDING LEAF SCREENS ETC.
- THE STORMWATER DRAINAGE SYSTEM SHALL BE INSTALLED AS SHOWN. ALTERATIONS TO THE SYSTEM MUST BE APPROVED BY THIS OFFICE TO ENSURE THAT THE INTEGRITY OF THE DESIGN IS MAINTAINED.
- SITE CLASSIFICATION TO AS2870-2011 : TO BE CONFIRMED
- TREE REMOVAL TO BE CONFIRMED WITH OWNER PRIOR TO COMMENCEMENT OF ANY WORK ON SITE ANY CHANGES TO THE EXTENT SHOWN ON THIS DRAWING MUST BE CONFIRMED WITH THIS OFFICE
- THE RETAINING WALL/PLINTH INFORMATION SHOWN IS SPECIFIC TO THE EXTEND OF CUT AND FILL CARRIED OUT ON THIS SITE ONLY. THE DESIGN OF ALL BOUNDARY RETAINING/PLINTH SHALL BE CARRIED OUT TO REFLECT THE INFLUENCE OF ALL EXISTING EARTHWORKS, RETAINING WALL AND STRUCTURES.

RAINWATER RETENTION/DETENTION TANKS (5000 LITRE MIN. CAPACITY)  
1000 LITRES DETENTION WITH 250 RESTRICTED ORIFICE TO OUTLET PIPE.  
4000 LITRES RETENTION CONNECTED TO ONE TOILET AND EITHER THE LDYR COLD WATER OUTLETS OR HOT WATER SERVICE.  
ROOF AREA TO TANK ≈ (60%)  
CONNECTED TO TANK BY DN100 PIPE

FLUSH POINT IN SUMP  
PROVIDE REMOVABLE SCREW CAP TO END OF PIPE IN SUMP TO ALLOW FOR PERIODIC CLEANING OF SEALED SYSTEM

TYPE 1 (RETAINING CUT) RETAINING  
WALL/CONCRETE PLINTH (2.7m MAX. HEIGHT)

TYPE 2 (RETAINING FILL) RETAINING  
WALL/CONCRETE PLINTH (2.4m MAX. HEIGHT)

RETAINING WALL/CONCRETE PLINTH (4.9m MAX. HEIGHT)

TOP OF RETAINING WALL  
BOTTOM OF RETAINING WALL  
RETAINING WALL HEIGHT

APPROX. LOCATIONS OF BOREHOLES

INSPECTION POINT

SURFACE FALL

STRIP DRAIN TO ARCHITECTS SELECTION

## LEGEND

- Ø90 DN90 STORMWATER PIPE
- Ø100 DN100 STORMWATER PIPE
- DP DOWNPIPES
- DP\* DOWNPIPES DRAINING INTO THE RAINWATER TANK (SHOWN DP\*) TO BE SEALED TO THE UNDERGROUND STORMWATER SYSTEM GRADE ALL SEALED SYSTEM STORMWATER TO FLUSH POINT
- DM DOWNPIPE WITH SPREADER
- 90 PVC RISER + GRATE
- SUMP (CLASS A GRATED COVER, U.N.O)
- OVERFLOW PIPE CONNECTED TO TANK OUTLET PIPE
- FINISHED DESIGN LEVELS
- DESIGN LEVEL:  
TG-TOP OF GRATE  
IL- INVERT LEVEL
- Ø90 AGRICULTURE PIPE IN GEOTEXTILE SOCK SURROUNDED BY 20mm SCREENING. (1 IN 100 MIN FALL )

- UPPER LEVEL
- UPPER LEVEL (LOW SPLIT)
- LOWER LEVEL

CONNECT AG. PIPE INTO  
STORMWATER PIPE FROM  
ABOVE TO PREVENT BACKFLOW



a: Suite 3, No.83 Fullarton Rd,  
KENT TOWN, SA 5067  
T: 08 7123 4050  
admin@gamaconsulting.com.au  
www.gamaconsulting.com.au

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PROJECT  
PROPOSED RESIDENCE: JK FRESH AND TASTE

SITE ADDRESS  
16 HIGHLANDS COURT, WOODFORDE

CLIENT  
MEDALLION HOMES

DESCRIPTION  
SITEWORKS PLAN

COUNCIL  
ADELADIE HILLS COUNCIL

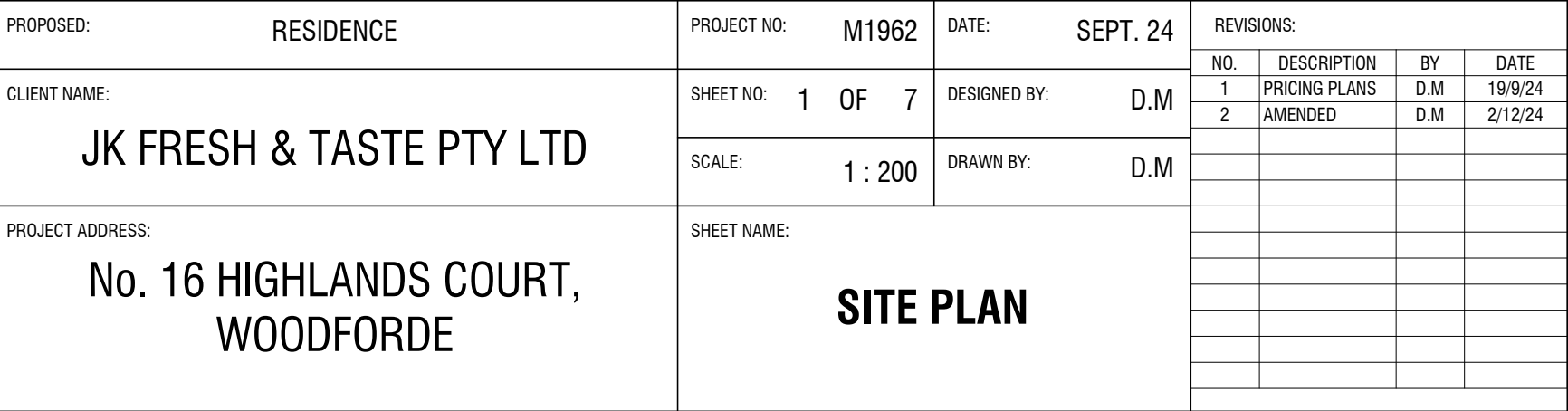
## PRELIMINARY

NOT FOR CONSTRUCTION

DRAWN CL	DESIGN CL
DRAFT CHECK CL	DESIGN CHECK JW

DRAWING No. 240794	REV A
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A	ISSUED FOR APPROVAL	26/11/2024	CL
REV	REVISION DESCRIPTION	DATE	CHK

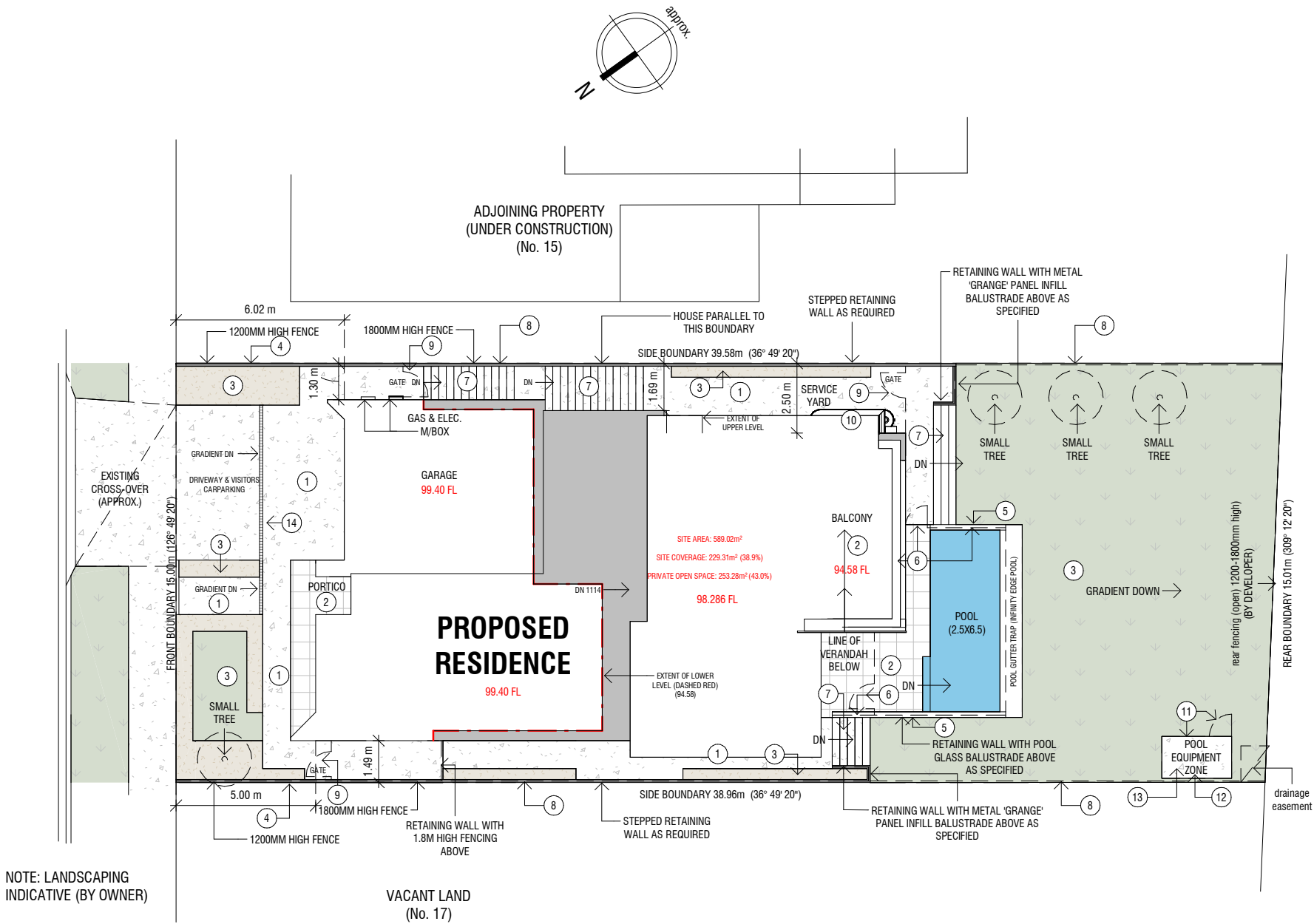


<p>CJ DENOTES CONTROL JOINT REFER ENGINEERS REPORT.</p> <p>FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALE DRAWING.</p> <p>VERIFY DIMENSIONS &amp; LEVELS BEFORE COMMENCING ON SITE.</p> <p>THE STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NCC</p> <p>ALL GLAZING TO COMPLY WITH THE GLAZING CODE AS1288-2006</p>	<p>THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART UNLESS WRITTEN AUTHORITY IS GIVEN BY MEDALLION HOMES.</p> <p>ANY DISCREPANCY TO BE REPORTED TO MEDALLION HOMES IMMEDIATELY.</p> <p>SITE WORKS, LEVELS &amp; STORM WATER DRAINAGE AS PER ENGINEERS DESIGN &amp; DETAIL</p> <p>##### DENOTES: REMOVAL</p>
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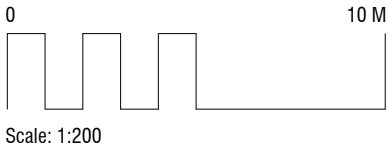
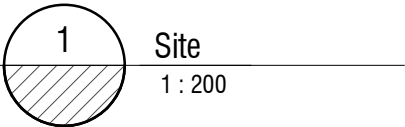
NO.	DESCRIPTION
-----	-------------

1	EXPOSED AGGREGATE CONCRETE AS SPECIFIED (BY BUILDER)
2	TILED AS SPECIFIED (BY BUILDER)
3	LANDSCAPING AS SPECIFIED (BY BUILDER)
4	1.2m HIGH COLORBOND FENCE WITH CONCRETE SLEEPER RETAINING WALLS/UPF UNDER AS PER ENGINEERS DETAILS & DESIGN AS SPECIFIED (BY BUILDER)
5	RETAINING WALL FOR POOL AS PER ENGINEERS DETAILS & DESIGN (TYPICAL)
6	POOL FENCE & GATE AS SPECIFIED (TO COMPLY WITH AS 1926.1) (TYPICAL)
7	STEPS AS SPECIFIED
8	1.8m HIGH COLORBOND FENCE WITH CONCRETE SLEEPER RETAINING WALLS/UPF UNDER AS PER ENGINEERS DETAILS & DESIGN AS SPECIFIED (BY BUILDER)
9	1.8m HIGH COLORBOND GATE & FENCE AS SPECIFIED (BY BUILDER)
10	RAINWATER TANK AS SPECIFIED (BY BUILDER)
11	1.8m HIGH LIGHTWEIGHT RENDERED ENCLOSURE WITH ROOF & GATE TO HIDE POOL EQUIPEMENT (SOUND ATTENUATED) AS SPECIFIED (BY OWNER)
12	PLUMBER NOTE: POOL EQUIPMENT ZONE - SEWER POINT FOR BACKWASH & COLD WATER POINT AS SPECIFIED (BY BUILDER)
13	ELECTRICIAN NOTE: POWER PROVISION - POOL PUMP AS SPECIFIED (BY BUILDER)
14	STRIP DRAIN GRATE AS REQUIRED BY ENGINEER (BY BUILDER)

# HIGHLANDS CRT



COLORBOND 'GOODNEIGHBOUR' FENCING & CONCRETE  
SLEEPER 'KENSINGTON' STYLE RETAINING WALL







Timing diagram for the clock signal. The signal is a square wave with a period of 5 ns. The scale is 1:100.

WINDOW POSITIONS SHOWN ARE NOMINAL ONLY  
& MAY CHANGE ON SITE TO SUIT BRICK SIZING.  
IF EXACT WINDOW LOCATIONS ARE REQUIRED SET  
OUT DIMENSIONS MUST BE SPECIFIED ON PLANS

GAS INSTANTANEOUS HWS AS REQUIRED

ALL INTERNAL DIMENSIONS SHOWN DENOTES  
TIMBER FRAME STUD TO STUD DIMENSIONS  
(NOT INCLUSIVE OF PLASTERBOARD THICKNESS)

FINISHED FLOOR LEVELS ARE FROM FINISHED  
SLAB LEVEL TO FINISHED CEILING LEVEL  
(FINISHED TIMBER CEILING JOIST LEVEL)  
(NOT INCLUSIVE OF PLASTERBOARD OR  
SELECTED FLOORING MATERIALS THICKNESS)

## CORROSION ASSESSMENT & DURABILITY REQUIREMENTS FOR EXTERIOR MASONRY & BUILT-IN COMPONENTS

**CORROSION ASSESSMENT FOR STEELWORK**  
(REFER 2019 NCC VOL. 2, TABLE 3.4.4.7)


- Non-transparent internal blinds to all windows and glazed doors (exc. Wet areas) with a solar reflectance value of atleast 50% (by owner)

- Electronheat MKU 19km Heat Pump

NO.	DESCRIPTION
-----	-------------

[illegible]

- VENTS TO SUBFLOOR SPACES AND WEEP HOLES MUST BE FITTED WITH EMBER GUARD TO WEEP HOLES MADE FROM
  - CORROSION-RESISTANT STEEL
  - BRONZE OR ALUMINIUM MESH
  - PERFORATED SHEET WITH MAXIMUM APERTURE SIZE OF 2mm
- SUPPORTING POSTS, COLUMNS, STUMP PIERS AND POLES
  - NON-COMBUSTIBLE MATERIAL
  - BURIED RESISTANCE TIME OF 30 MIN FOR NOT LESS THAN 400mm ABOVE FINISHED FL OR PAVING LEVEL
  - TIMBER MOUNTED ON METAL STIRRUPS WITH CLEARANCE OF NOT LESS THAN 75mm ABOVE FL OR PAVING LEVEL
- TIMBER DECKS
  - GAP BETWEEN TIMBER NOT GREATER THAN 5mm



medallion  
homes

Ground Floor, 162 Fullarton Road, Rose Park SA 5067  
P.H. (08) 8338 2325  
www.medallionhomes.com.au

PROPOSED:RESIDENCE

CLIENT NAME:JK FRESH & TASTE PTY LTD

PROJECT ADDRESS:No. 16 HIGHLANDS COURT, WOODFORDE

PROJECT NO: M1962

SHEET NO: 3 OF 7

SCALE: 1 : 100

SHEET NAME: LOWER LEVEL

DATE: SEPT. 24

DESIGNED BY: D.M

DRAWN BY: D.M

NO.		DESCRIPTION	BY	DATE
1	PRICING PLANS	D.M	19/9/24	
2	AMENDED	D.M	2/12/24	

AREA:	M²	AREA:	M²
L/LIVING	154.77	SOFFIT	N/A
U/LIVING	108.77	PORT. ROOF	N/A
GARAGE	44.79		
O/LIVING	12.22		
VERANDAH	7.13		
BALCONY	24.62		
		TOTAL:	352.30

NOTES:

CJ DENOTES CONTROL JOINT  
REFER ENGINEERS REPORT.

FIGURED DIMENSIONS SHALL TAKE  
PREFERENCE OVER SCALE DRAWING.

VERIFY DIMENSIONS & LEVELS BEFORE  
COMMENCING ON SITE.

THE STRUCTURE SHALL BE CONSTRUCTED  
IN ACCORDANCE WITH THE NCC

ALL GLAZING TO COMPLY WITH THE  
GLAZING CODE AS1288-2006

#### DENOTES: REMOVAL

WC DOOR TO BE INSTALLED WITH HINGES  
WHICH ARE READILY REMOVABLE FROM  
THE OUTSIDE - OTHERWISE DOOR TO  
SWING OUTWARDS

⊗ DENOTES:  
SELF CONTAINED SMOKE ALARM COMPLYING  
WITH AS3786 1993. CONNECTED TO CONSUMER  
MAINS POWER & WITH A 9v BATTERY BACKUP

⌈ RW H DENOTES: RAIN WATER HEAD  
WITH DOWNPIPE AS SPECIFIED  
(TYPICAL)

C

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SITE WORKS, LEVELS & STORM WATER  
DRAINAGE AS PER ENGINEERS DESIGN  
& DETAIL

⊕ DENOTES: DOWNPIPE AS SPECIFIED  
(TYPICAL)

0

5 M

Scale: 1:100

INTERNAL DOORS 2400mm HIGH UNLESS  
NOMINATED OTHERWISE & EXTERNAL DOORS  
AS NOMINATED

WINDOW POSITIONS SHOWN ARE NOMINAL ONLY  
& MAY CHANGE ON SITE TO SUIT BRICK SIZING.  
IF EXACT WINDOW LOCATIONS ARE REQUIRED SET  
OUT DIMENSIONS MUST BE SPECIFIED ON PLANS

GAS INSTANTANEOUS HWS AS REQUIRED

ALL FIXTURES, FITTINGS AND DOOR LOCATIONS ARE  
INDICATIVE ONLY AND MAY VARY ON SITE. IF EXACT  
LOCATIONS ARE REQUIRED, DIMENSIONS MUST BE  
SPECIFIED ON PLANS.

ALL INTERNAL DIMENSIONS SHOWN DENOTES  
TIMBER FRAME STUD TO STUD DIMENSIONS  
(NOT INCLUSIVE OF PLASTERBOARD THICKNESS)

WHEN REFERENCE IS REQUIRED FOR ROOM  
SIZES, ALLOWANCE SHOULD BE MADE FOR  
INTERNAL LININGS, SKIRTINGS & CORNICES

FINISHED FLOOR LEVELS ARE FROM FINISHED  
SLAB LEVEL TO FINISHED CEILING LEVEL  
(FINISHED TIMBER CEILING JOIST LEVEL)  
(NOT INCLUSIVE OF PLASTERBOARD OR  
SELECTED FLOORING MATERIALS THICKNESS)

WIND CLASSIFICATION N2 (W33) (REFER AS 4055-2021 TABLE 2.2)

CORROSION ASSESSMENT & DURABILITY REQUIREMENTS  
FOR EXTERIOR MASONRY & BUILT-IN COMPONENTS  
(REFER AS 4773.1-2015 PT.1, TABLE 4.1)

EXPOSURE ENVIRONMENT - MODERATE - DURABILITY CLASS - R1

CORROSION ASSESSMENT FOR STEELWORK  
(REFER 2019 NCC VOL. 2, TABLE 3.4.4.7)

EXPOSURE ENVIRONMENT - LOW

LFL PLAN NOTES.	
NO.	DESCRIPTION
1	350mm THICK DOUBLE LEAF CAVITY BRICK RETAINING WALL CONCRETE FILLED & REINFORCED AS PER ENGINEERS DETAILS & DESIGN (TYPICAL)
2	TIMBER STAIRS WITH 270mm WIDE TREADS
3	RAKED CEILING TO UNDERSIDE OF STAIRS (C.O.S)
4	DROPPED CEILING OVER AT 3010mm AFL (CEILING TRANSTION FROM 3.31m CL TO 3.01m CL
5	RETAINING WALL AS PER ENGINEERS DETAILS & DESIGN WITH 1.8m HIGH COLORBOND FENCE ABOVE AS SPECIFIED (BY BUILDER)
6	DIRECT STICK PLASTERBOARD TO WALL AS SPECIFIED
7	JOINERY AS SPECIFIED (BULKHEAD OVER AT 2710mm AFL)
8	DROPPED CEILING OVER AT 2710mm AFL
9	TIMBER FRAME WALL AS REQUIRED
10	DROPPED CEILING OVER AT 3010mm AFL
11	PLUMBING CAVITY AS REQUIRED FOR UPPER FLOOR WASTE (TYPICAL)
12	SHOWER SCREEN AS SPECIFIED
13	STRIP DRAIN GRATE AS SPECIFIED
14	90mm DEEP TILED LEDGE AT 1150mm AFL WITH 2° FALL IN TIMBER STUD AS REQUIRED (TYPICAL)
15	RENDERED BRICK PIER (TYPICAL)
16	JOINERY AS SPECIFIED (BULKHEAD OVER AT 2410mm AFL)
17	AIR CONDITIONING FAN COIL UNIT OVER AS PER AIR CONDITIONING SUPPLIER SPECIFICATIONS
18	AIR CONDITIONING RETURN AIR GRILLS OVER AS PER AIR CONDITIONING SUPPLIER SPECIFICATIONS
19	PLUMBING CAVITY AS REQUIRED FOR UPPER FLOOR BALCONY WATER
20	POOL FENCE & GATE AS SPECIFIED (TO COMPLY WITH AS 1926.1) (TYPICAL)
21	BULKHEAD OVER AT 2710mm AFL
22	RETAINING WALL FOR POOL AS PER ENGINEERS DETAILS & DESIGN (TYPICAL)
23	STEPS AS SPECIFIED
24	RETAINING WALL WITH BALUSTRADE ABOVE AS REQUIRED AS PER ENGINEERS DETAILS & DESIGN (TYPICAL)
25	RAINWATER TANK AS SPECIFIED (BY BUILDER)
26	1.8m HIGH COLORBOND GATE & FENCE AS SPECIFIED (BY BUILDER)
27	AIR WALL REGISTERS AS PER AIR CONDITIONING SUPPLIER DESIGN & DETAILS

CONCRETER &  
BRICKLAYER NOTE:

HOMEGUARD TERMITE  
PROTECTION TO HOUSE  
PERIMETER & PENETRATIONS

-350mm CAVITY CORE FILLED  
BRICK CONSTRUCTION  
-BRICK VENEER CONSTRUCTION  
STANDARD BRICKWORK

The floor plan illustrates the layout of the lower level, including rooms such as the living area, kitchen, dining, and bedrooms. It features a large outdoor living area with a pool and a rainwater tank. The plan is annotated with numerous dimensions, room names, and construction details. A circular callout '1' points to a specific area on the left side of the plan.

**1** LFL  
1 : 100



PROPOSED:	RESIDENCE	PROJECT NO:	M1962	DATE:	SEPT. 24	REVISIONS:					
CLIENT NAME:	JK FRESH & TASTE PTY LTD	SHEET NO:	4	OF	7	DESIGNED BY:	D.M	NO.	DESCRIPTION	BY	DATE
								1	PRICING PLANS	D.M	19/9/24
		2	AMENDED	D.M	2/12/24						
		SCALE:	1 : 100	DRAWN BY:	D.M						
PROJECT ADDRESS:	No. 16 HIGHLANDS COURT, WOODFORDE	SHEET NAME:  FRONT & REAR ELEVATIONS									

NOTES:

CJ DENOTES CONTROL JOINT  
REFER ENGINEERS REPORT.

FIGURED DIMENSIONS SHALL TAKE  
PREFERENCE OVER SCALE DRAWING.

VERIFY DIMENSIONS & LEVELS BEFORE  
COMMENCING ON SITE.

THE STRUCTURE SHALL BE CONSTRUCTED  
IN ACCORDANCE WITH THE NCC

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TO MEDALLION HOMES IMMEDIATELY.

SITE WORKS, LEVELS & STORM WATER  
DRAINAGE AS PER ENGINEERS DESIGN  
& DETAIL

##### DENOTES: REMOVAL

FRONT: 2° DEGREE PITCH METAL ROOF AS INDICATED

(POLE PLATE CONSTRUCTION AS SHOWN)

PROVIDE CONTROL JOINTS TO LIGHTWEIGHT LINED WALLS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

REAR: COLORBOND ROOF AT 18° & 13.5° PITCH WITH 600mm EAVES GENERALLY (C.O.S)

(POLE PLATE CONSTRUCTION AS SHOWN)

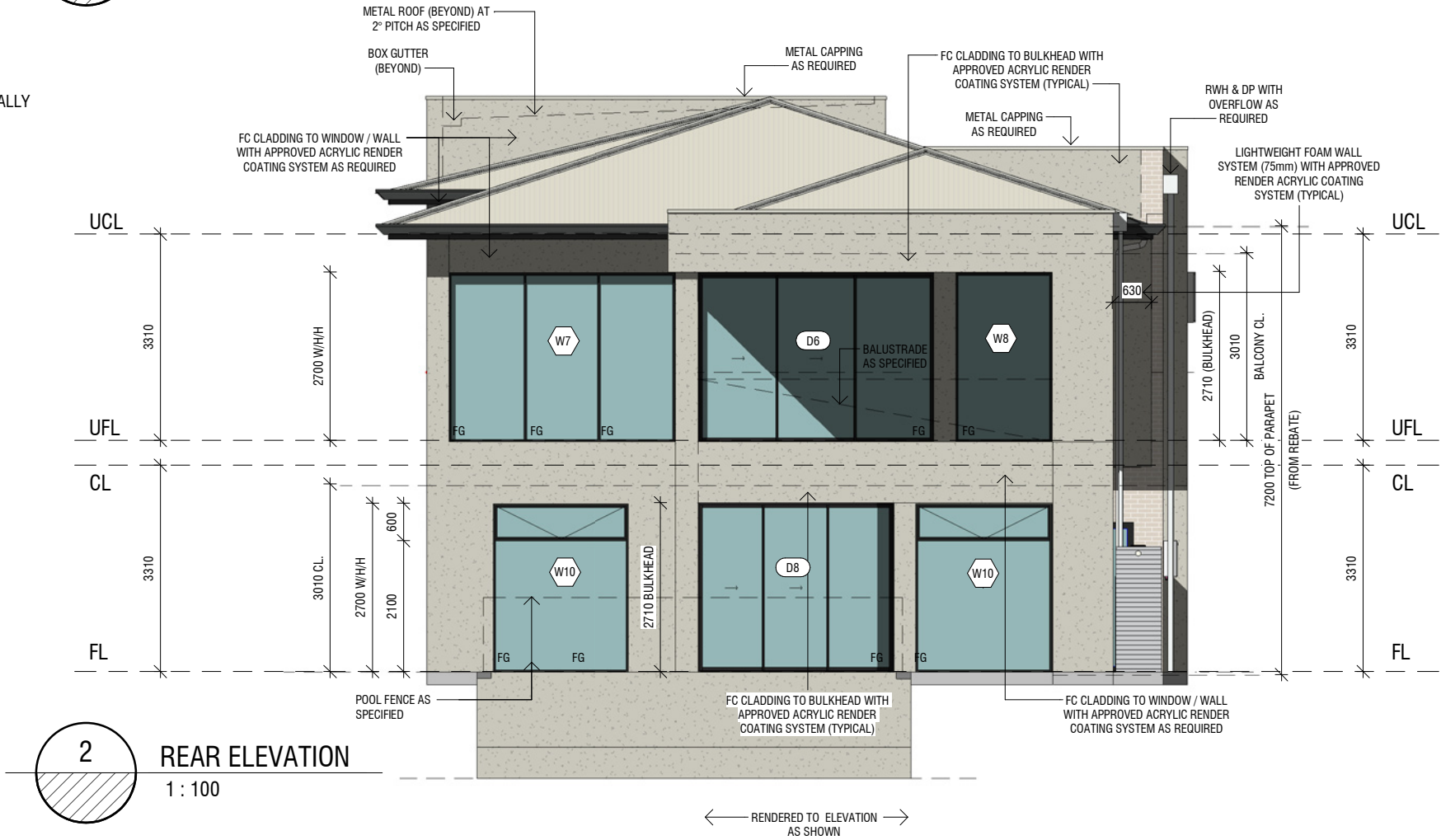
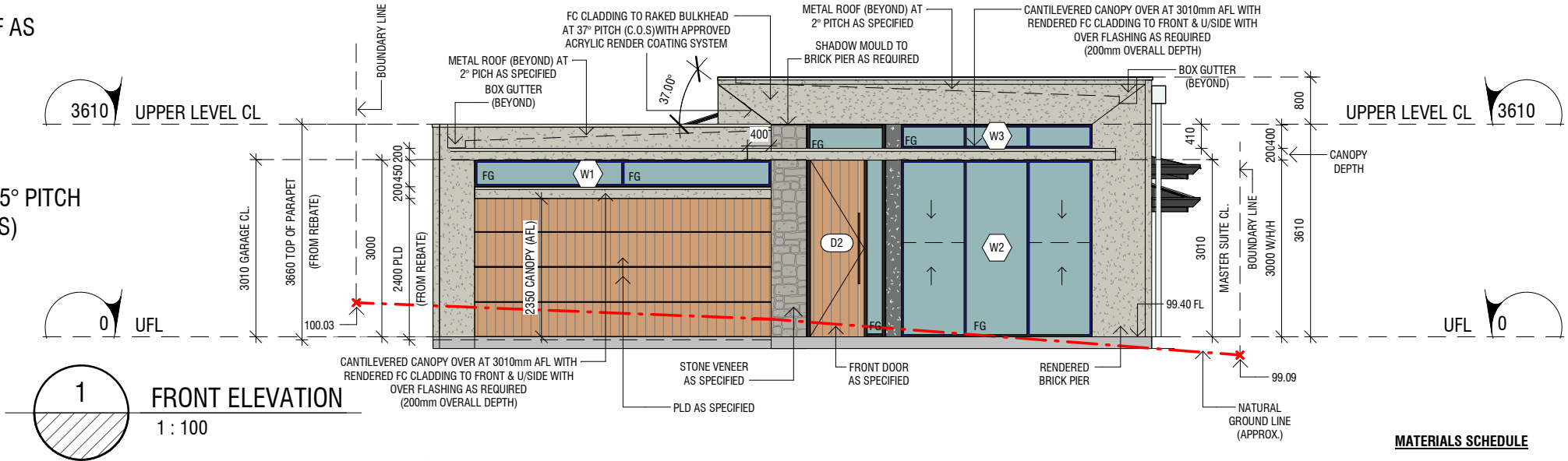
PROVIDE CONTROL JOINTS TO LIGHTWEIGHT LINED WALLS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

WINDOWS:

FRONT: ALUMINIUM FIXED & ANEETA SASH WINDOWS

REMAINDER: ALUMINIUM FIXED & AWNING SASHES GENERALLY

NOTE: FG=FIXED GLASS



MATERIALS SCHEDULE



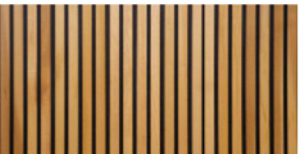
STONE CLADDING - STONE 'BOKARA' (or similar) (Front Feature Wall)



RENDER - HAYMES 'MOON & STARS' (or similar) (lower and upper level)



COLORBOND 'SURFMIST' METAL ROOF CLADDING



GARAGE DOOR TIMBER SHIPLAP 'WESTERN RED CEDAR' PANEL-TILT DOOR



RENDER - HAYMES 'BLACK PITCH' (or similar) (Front elevation)



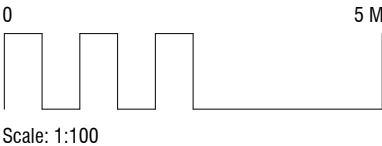
PGH 'COASTAL HAMPTONS' BRICKWORK



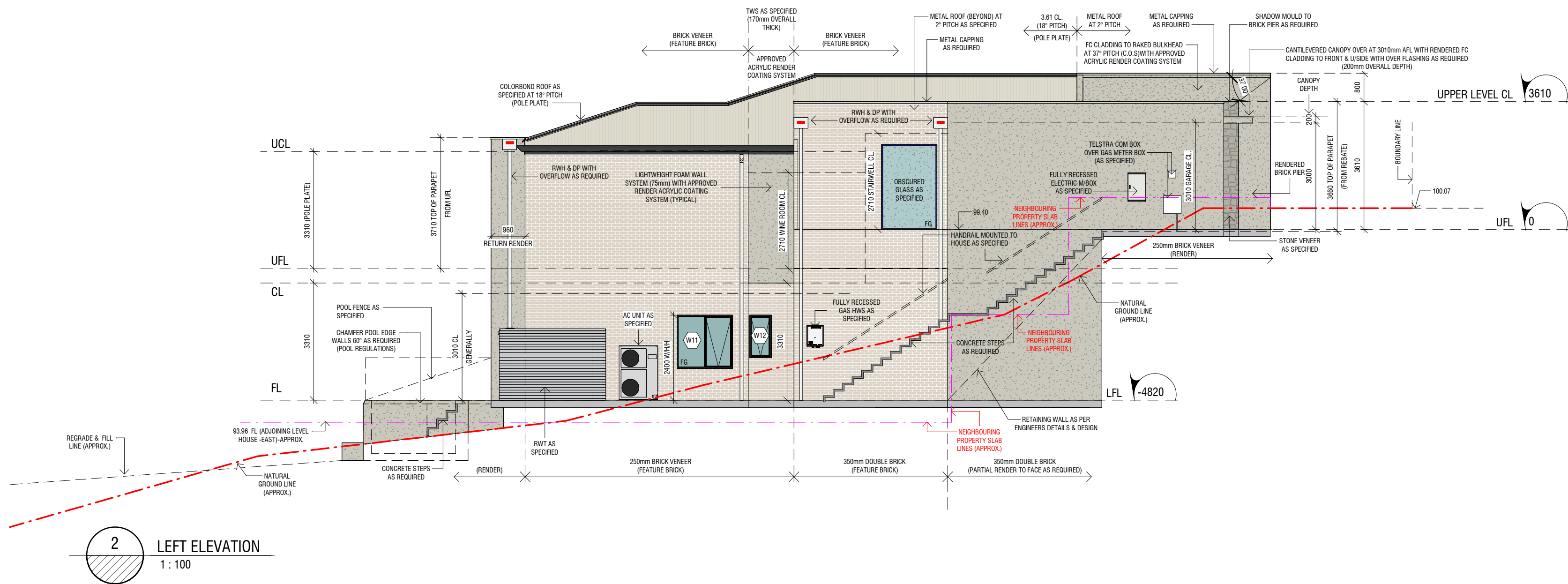
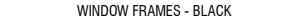
GUTTERS & FASCIA - COLOUR - HAYMES 'BLACK PITCH'



WINDOW FRAMES - BLACK



NOTE: FG=FIXED GLASS





REVISIONS:			
NO.	DESCRIPTION	BY	DATE
1	PRICING PLANS	D.M	19/9/24
2	AMENDED	D.M	2/12/24

NOTES:

CJ DENOTES CONTROL JOINT  
REFER ENGINEERS REPORT.

FIGURED DIMENSIONS SHALL TAKE  
PREFERENCE OVER SCALE DRAWING.

VERIFY DIMENSIONS & LEVELS BEFORE  
COMMENCING ON SITE.

THE STRUCTURE SHALL BE CONSTRUCTED  
IN ACCORDANCE WITH THE NCC

ALL GLAZING TO COMPLY WITH THE  
GLAZING CODE AS1288-2006

C

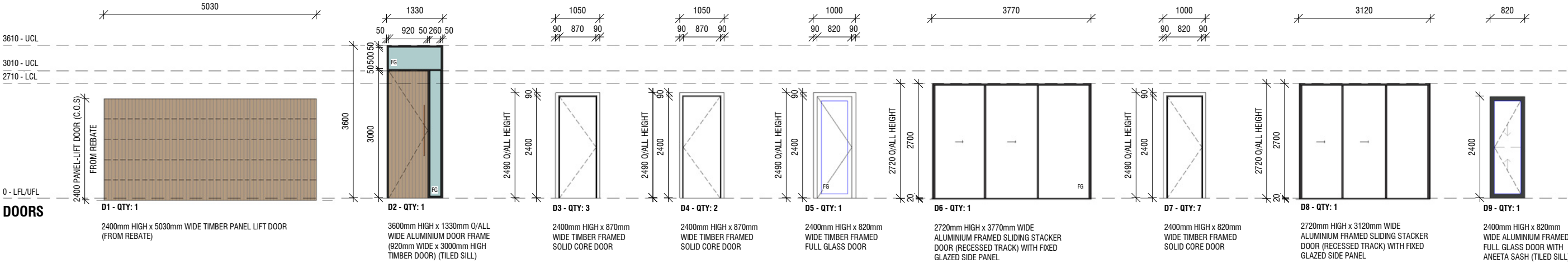
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SITE WORKS, LEVELS & STORM WATER  
DRAINAGE AS PER ENGINEERS DESIGN  
& DETAIL

##### DENOTES: REMOVAL



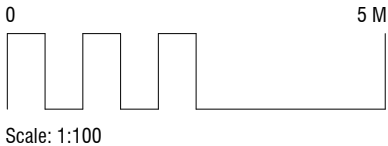
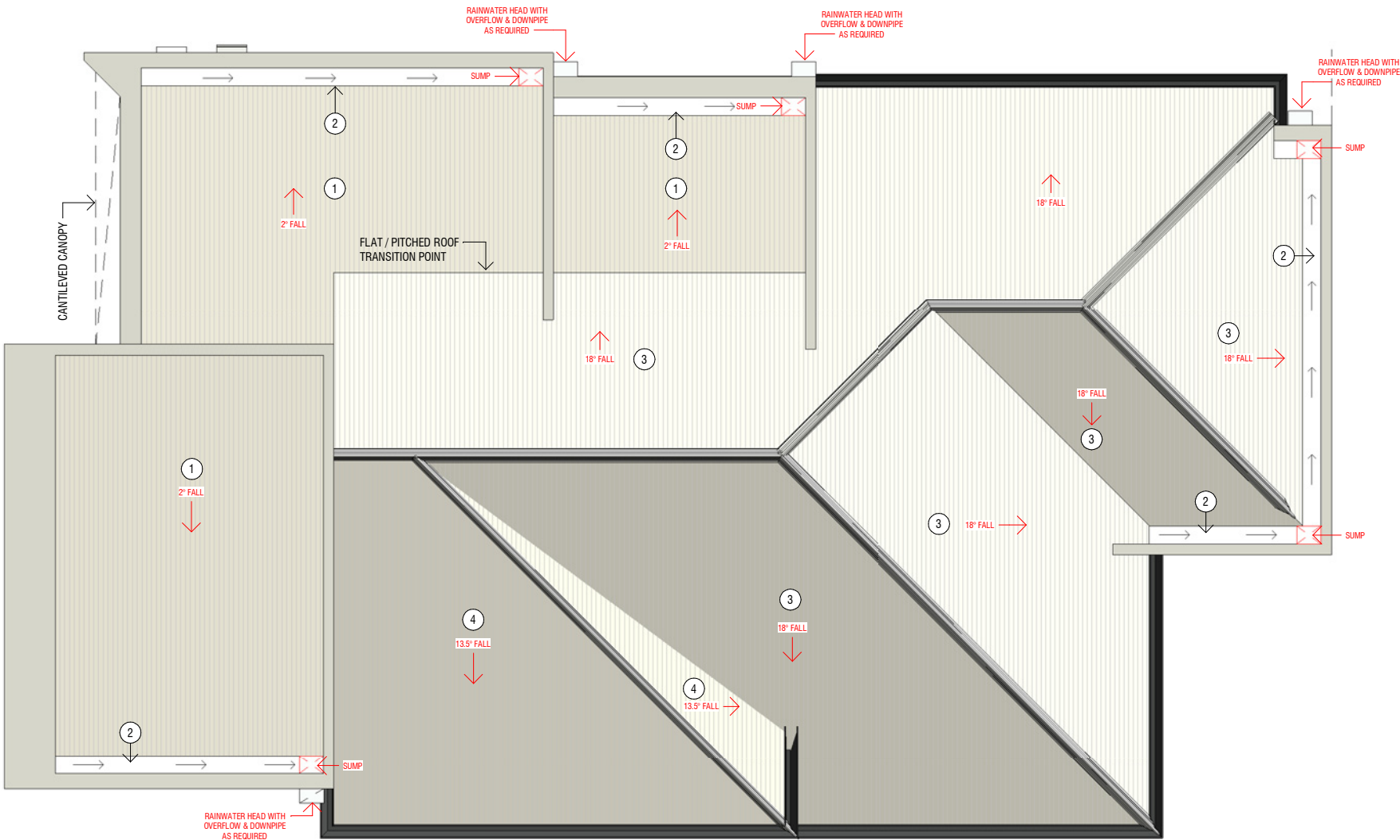


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PROPOSED:	RESIDENCE	PROJECT NO:	M1962	DATE:	SEPT. 24	REVISIONS:				<b>NOTES:</b>  CJ DENOTES CONTROL JOINT REFER ENGINEERS REPORT.  FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALE DRAWING.  VERIFY DIMENSIONS & LEVELS BEFORE COMMENCING ON SITE.  THE STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NCC  ALL GLAZING TO COMPLY WITH THE GLAZING CODE AS1288-2006	<b>C COPYRIGHT</b>  THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART UNLESS WRITTEN AUTHORITY IS GIVEN BY MEDALLION HOMES.  ANY DISCREPANCY TO BE REPORTED TO MEDALLION HOMES IMMEDIATELY.  SITE WORKS, LEVELS & STORM WATER DRAINAGE AS PER ENGINEERS DESIGN & DETAIL  ##### DENOTES: REMOVAL
CLIENT NAME:	JK FRESH & TASTE PTY LTD	SHEET NO:	7 OF 7	DESIGNED BY:	D.M	NO.	DESCRIPTION	BY	DATE		
		SCALE:	1 : 100	DRAWN BY:	D.M	1	PRICING PLANS	D.M	19/9/24		
PROJECT ADDRESS:	No. 16 HIGHLANDS COURT, WOODFORDE	SHEET NAME:  <b>ROOF LAYOUT</b>				2	AMENDED	D.M	2/12/24		

ROOF PLAN NOTES	
NO.	DESCRIPTION
1	METAL FLAT ROOF OVER AT 2° PITCH AS REQUIRED (TYPICAL)
2	LINE OF BOX GUTTER BELOW (TYPICAL)
3	METAL FLAT ROOF OVER AT 18° PITCH AS REQUIRED (TYPICAL)
4	METAL FLAT ROOF OVER AT 13.5° PITCH AS REQUIRED (TYPICAL)





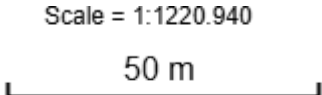


- Annotations**
-  Subject Land
  -  Representors Land

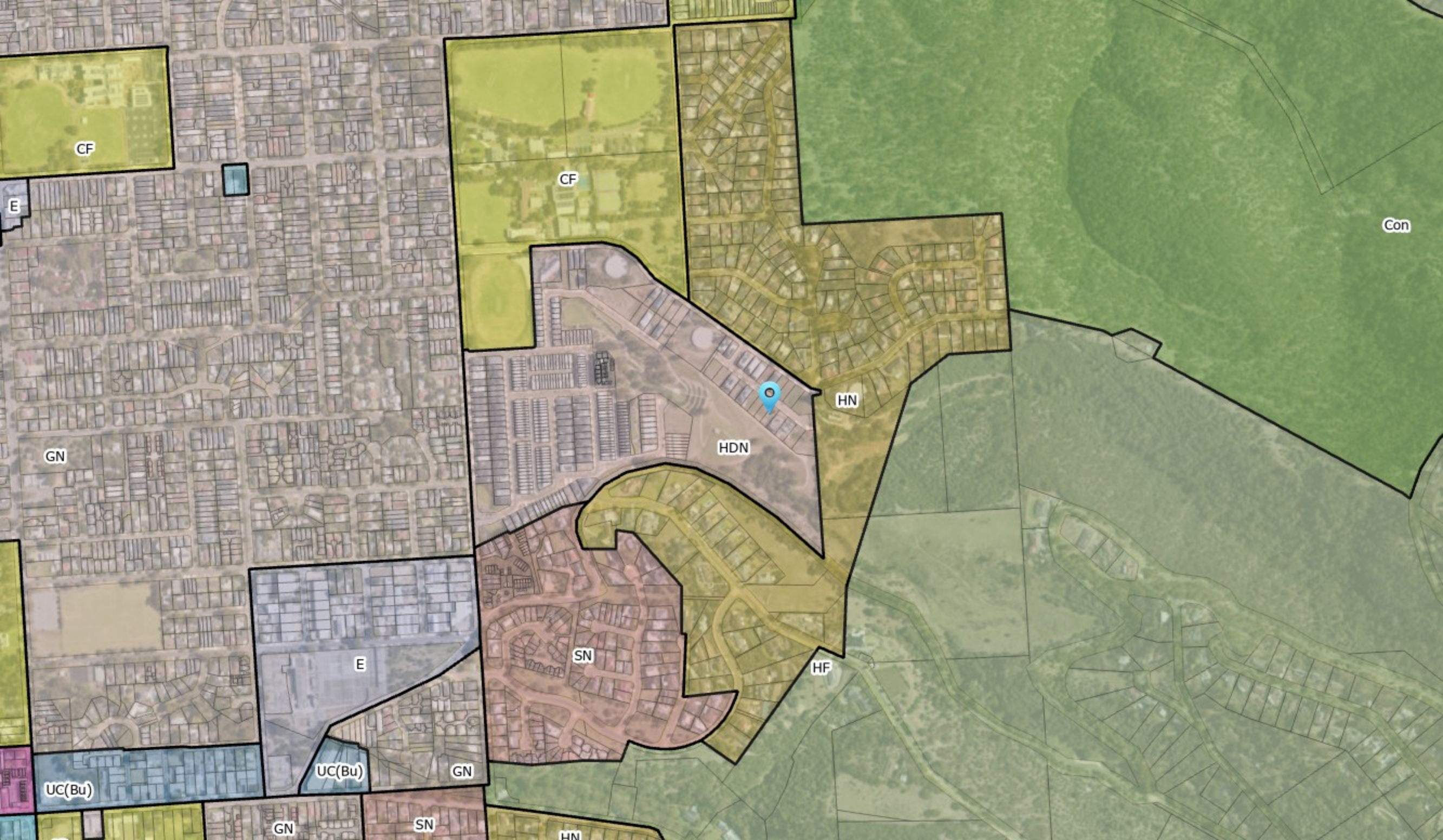
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# Details of Representations

## Application Summary

Application ID	25006366
Proposal	Detached dwelling, retaining walls, fence, swimming pool and associated safety fence
Location	16 HIGHLANDS CT WOODFORDE SA 5072

## Representations

### Representor 1 - Hugh Marquis

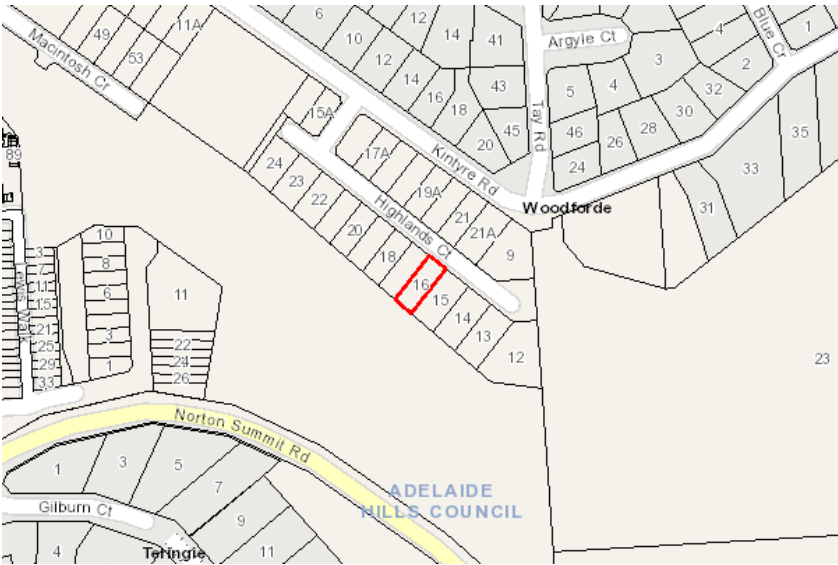
Name	Hugh Marquis
Address	15 Highlands Court WOODFORDE SA, 5072 Australia
Submission Date	13/04/2025 01:06 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I support the development with some concerns

**Reasons**  
Highlands court is a beautiful development, however the slope of the land is difficult to negotiate. As such i am aware that our neighbors will overlook aspects of our house from both their upper balcony and their lower balcony. this causes a direct overlooking problem which is almost impossible to overcome using conventional planning. this will be a lovely property in keeping with its neighboring houses.

## Attached Documents

Address: 16 HIGHLANDS CT WOODFORDE SA 5072

To view a detailed interactive property map in SAPPA click on the map below



Property Zoning Details

Zone

Housing Diversity Neighbourhood

Overlay

- Affordable Housing
- Hazards (Bushfire - Urban Interface)
- Hazards (Flooding - Evidence Required)
- Prescribed Wells Area
- Regulated and Significant Tree
- Stormwater Management
- Traffic Generating Development
- Urban Tree Canopy
- Water Resources

Local Variation (TNV)

- Maximum Building Height (Metres) (Maximum building height is 9m)
- Maximum Building Height (Levels) (Maximum building height is 2 levels)

Selected Development(s)

Detached dwelling

**This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards. If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development**

Detached dwelling - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones



## Housing Diversity Neighbourhood Zone

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Medium density housing supports a range of needs and lifestyles, located within easy reach of a diversity of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
PO 1.1 Diverse range of medium density housing and accommodation complemented by a range of compatible non-residential uses supporting an active, convenient, and walkable neighbourhood.	DTS/DPF 1.1 Development comprises one or more of the following: <ul style="list-style-type: none"> <li>(a) Ancillary accommodation</li> <li>(b) Child care facility</li> <li>(c) Consulting room</li> <li>(d) Community facility</li> <li>(e) Dwelling</li> <li>(f) Educational facility</li> <li>(g) Office</li> <li>(h) Place of Worship</li> <li>(i) Recreation area</li> <li>(j) Residential flat building</li> <li>(k) Retirement facility</li> <li>(l) Shop</li> <li>(m) Supported accommodation.</li> </ul>
Site Dimensions and Land Division	
PO 2.1 Allotments/sites created for residential purposes accommodate a diverse range of low to medium density housing, with higher densities closer to public open space, public transport stations and activity centres.	DTS/DPF 2.1 Development will not result in more than 1 dwelling on an existing allotment or Allotments/sites for residential purposes accord with the following: <ul style="list-style-type: none"> <li>(a) site areas (or allotment areas in the case of land division) are not less than the following (average site area per dwelling, including common areas, applies for group dwellings or dwellings within a residential flat building):</li> </ul> and

	<p>(b) site frontages (or allotment frontages in the case of land division) are not less than:</p> <p>In relation to DTS/DPF 2.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Minimum Frontage Technical and Numeric Variation</i> layer or <i>Minimum Site Area Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p> <p>(d) no value is returned in DTS/DPF 2.1(a) (i.e. there is a blank field or the value is not relevant), then a net residential density of up to 70 dwellings per hectare applies.</p> <p>(e) no value is returned in DTS/DPF 2.1(b) (i.e. there is a blank field or the value is not relevant), then there is no minimum frontage and DTS/DPF 2.1(b) is met.</p>				
<p>PO 2.2</p> <p>Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.</p>	<p>DTS/DPF 2.2</p> <p>Where the site of a dwelling does not comprise an entire allotment:</p> <p>(a) the balance of the allotment accords with the requirements specified in Housing Diversity Neighbourhood Zone DTS/DPF 2.1</p> <p>(b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development it will not contravene:</p> <p>(i) private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(ii) car parking requirements specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.</p>				
<p>Building Height</p>					
<p>PO 3.1</p> <p>Building height is consistent with the form expressed in any relevant <i>Maximum Building Height (Levels) Technical and Numeric Variation</i> layer and <i>Maximum Building Height (Metres) Technical and Numeric Variation</i> layer or is generally low rise, or complements the height of nearby buildings.</p>	<p>DTS/DPF 3.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than:</p> <p>(a) the following:</p> <table><tr><td><b>Maximum Building Height (Metres)</b></td></tr><tr><td>Maximum building height is 9m</td></tr><tr><td><b>Maximum Building Height (Levels)</b></td></tr><tr><td>Maximum building height is 2 levels</td></tr></table> <p>(b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a maximum height of 9m.</p> <p>In relation to DTS/DPF 3.1, in instances where:</p>	<b>Maximum Building Height (Metres)</b>	Maximum building height is 9m	<b>Maximum Building Height (Levels)</b>	Maximum building height is 2 levels
<b>Maximum Building Height (Metres)</b>					
Maximum building height is 9m					
<b>Maximum Building Height (Levels)</b>					
Maximum building height is 2 levels					

- (c) more than one value is returned in the same field, refer to the *Maximum Building Height (Levels) Technical and Numeric Variation* layer or *Maximum Building Height (Meters) Technical and Numeric Variation* layer in the SA planning database to determine the applicable value relevant to the site of the proposed development
- (d) only one value is returned for DTS/DPF 3.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.

#### Primary Street Setback

PO 4.1

Buildings are set back from primary street boundaries to contribute to the existing/emerging pattern of street setbacks in the streetscape.

DTS/DPF 4.1

Buildings setback from the primary street boundary in accordance with the following table:

Development Context	Minimum setback
In all cases.	3m

For the purposes of **DTS/DPF 4.1**:

- (a) the setback of an existing building on an abutting site to the street boundary that it shares with the site of the proposed building is to be measured from the closest building wall to that street boundary at its closest point to the building wall and any existing projection from the building such as a verandah, porch, balcony, awning or bay window is not taken to form part of the building for the purposes of determining its setback
- (b) any proposed projections such as a verandah, porch, balcony, awning or bay window may encroach not more than 1.5 metres into the minimum setback prescribed in the table

#### Secondary Street Setback

PO 5.1

Buildings are set back from secondary street boundaries to achieve a pattern of separation between building walls and public thoroughfares and to reinforce streetscape character.

DTS/DPF 5.1

Building walls (except for ancillary buildings and structures) are set back at least 900mm from the boundary of the allotment with the secondary street frontage, or if a building on any adjoining allotment is closer to the secondary street than 900mm, not less than the distance of that building from the boundary with the secondary street.

#### Boundary Walls

PO 6.1

Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.

DTS/DPF 6.1

Except where the building is a dwelling and is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur on only one side boundary and satisfy (a) or (b) below:

- (a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height
- (b) side boundary walls do not:
  - (i) exceed 3m in wall height
  - (ii) exceed 11.5m in length
  - (iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary

	(iv) encroach within 3m of any other existing or proposed boundary walls on the subject land.
PO 6.2 Dwellings in a semi-detached, row or terrace arrangements maintain space between buildings consistent with a suburban streetscape character.	DTS/DPF 6.2 Dwelling walls in a semi-detached, row or terrace arrangement are set back at least 900mm from side boundaries shared with allotments outside the development site.
Side Boundary Setback	
PO 7.1 Buildings walls are set back from side boundaries to provide:  (a) separation between buildings in a way that complements the established character of the locality (b) access to natural light and ventilation for neighbours.	DTS/DPF 7.1 Other than walls located on a side boundary, building walls are set back from side boundaries in accordance with the following:  (a) where the wall height does not exceed 3m - at least 900mm (b) where the wall height exceeds 3m - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the top of the footings.
Rear Boundary Setback	
PO 8.1 Building walls (excluding ancillary buildings and structures) are set back from rear boundaries to provide:  (a) separation between buildings in a way that complements the established character of the locality (b) access to natural light and ventilation for neighbours (c) open space recreational opportunities (d) space for landscaping and vegetation.	DTS/DPF 8.1 Building walls (excluding ancillary buildings and structures) are set back from the rear boundary at least:  (a) 3m for the first building level or 0m where the rear boundary abuts a laneway (b) 5m for any second building level (c) 5m plus any increase in wall height over 7m for buildings of 3 building levels and above.

## Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development	Exceptions
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(Column A)	(Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	Except development involving any of the following: <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) ancillary accommodation</li> <li>(b) dwelling</li> <li>(c) dwelling addition</li> <li>(d) recreation area</li> <li>(e) residential flat building</li> <li>(f) retirement facility</li> <li>(g) student accommodation</li> <li>(h) supported accommodation.</li> </ul>	Except development that: <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and:               <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
4. Alteration of or addition to any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) child care facility</li> <li>(b) community facility</li> <li>(c) educational facility.</li> </ul>	Except development that does not satisfy Housing Diversity Neighbourhood Zone DTS/DPF 1.4.
5. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	Except development that: <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1 or</li> <li>2. does not satisfy Housing Diversity Neighbourhood Zone DTS/DPF 1.2 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and:</li> </ul>

	<ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul>
<p>6. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) carport</li> <li>(c) deck</li> <li>(d) fence</li> <li>(e) internal building works</li> <li>(f) land division</li> <li>(g) outbuilding</li> <li>(h) pergola</li> <li>(i) private bushfire shelter</li> <li>(j) replacement building</li> <li>(k) retaining wall</li> <li>(l) shade sail</li> <li>(m) solar photovoltaic panels (roof mounted)</li> <li>(n) swimming pool or spa pool and associated swimming pool safety features</li> <li>(o) temporary accommodation in an area affected by bushfire</li> <li>(p) tree damaging activity</li> <li>(q) verandah</li> <li>(r) water tank.</li> </ul>	None specified.
<p>7. Any development involving any of the following (or of any combination of any of the following) within the Tunnel Protection Overlay:</p> <ul style="list-style-type: none"> <li>(a) storage of materials, equipment or vehicles (whether temporary or permanent) over an area exceeding 100 square metres</li> <li>(b) temporary stockpiling of soil, gravel, rock or other natural material over an area exceeding 100 square metres</li> <li>(c) excavation or ground intruding activity at a depth greater than 2.5 metres below the regulated surface level.</li> </ul>	Except where not undertaken by the Crown, a Council or an essential infrastructure provider.
8. Demolition.	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> </ul>

	2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
9. Railway line.	Except where located outside of a rail corridor or rail reserve.

#### Placement of Notices - Exemptions for Performance Assessed Development

None specified.

#### Placement of Notices - Exemptions for Restricted Development

None specified.

## Part 3 - Overlays

### Affordable Housing Overlay

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Affordable housing is integrated with residential and mixed use development.
DO 2	Affordable housing caters for a variety of household structures.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Division	
PO 1.1 Development comprising 20 or more dwellings / allotments incorporates affordable housing.	DTS/DPF 1.1 Development results in 0-19 additional allotments / dwellings.
PO 1.2 Development comprising 20 or more dwellings or residential allotments provides housing suited to a range of incomes including households with low to moderate incomes.	DTS/DPF 1.2 Development comprising 20 or more dwellings / or residential allotments includes a minimum of 15% affordable housing except where: <ul style="list-style-type: none"> <li>(a) it can be demonstrated that any shortfall in affordable housing has been provided in a previous stage of development or</li> <li>(b) it can be demonstrated that any shortfall in affordable housing will be accommodated in a subsequent stage or stages of development.</li> </ul>
PO 1.3 Affordable housing is distributed throughout the development to avoid an overconcentration.	DTS/DPF 1.3 None are applicable.

Built Form and Character	
PO 2.1 Affordable housing is designed to complement the design and character of residential development within the locality.	DTS/DPF 2.1 None are applicable.
Affordable Housing Incentives	
PO 3.1 To support the provision of affordable housing, minimum allotment sizes may be reduced below the minimum allotment size specified in a zone while providing allotments of a suitable size and dimension to accommodate dwellings with a high standard of occupant amenity.	DTS/DPF 3.1 The minimum site area specified for a dwelling can be reduced by up to 20%, or the maximum density per hectare increased by up to 20%, where it is to be used to accommodate affordable housing except where the development is located within the Character Area Overlay or Historic Area Overlay.
PO 3.2 To support the provision of affordable housing, building heights may be increased above the maximum specified in a zone.	<p>DTS/DPF 3.2 Where a building incorporates dwellings above ground level and includes at least 15% affordable housing, the maximum building height specified in any relevant zone policy can be increased by 1 building level in the:</p> <ul style="list-style-type: none"> <li>(a) Business Neighbourhood Zone</li> <li>(b) City Living Zone</li> <li>(c) Established Neighbourhood Zone</li> <li>(d) General Neighbourhood Zone</li> <li>(e) Hills Neighbourhood Zone</li> <li>(f) Housing Diversity Neighbourhood Zone</li> <li>(g) Neighbourhood Zone</li> <li>(h) Master Planned Neighbourhood Zone</li> <li>(i) Master Planned Renewal Zone</li> <li>(j) Master Planned Township Zone</li> <li>(k) Rural Neighbourhood Zone</li> <li>(l) Suburban Business Zone</li> <li>(m) Suburban Neighbourhood Zone</li> <li>(n) Township Neighbourhood Zone</li> <li>(o) Township Zone</li> <li>(p) Urban Renewal Neighbourhood Zone</li> <li>(q) Waterfront Neighbourhood Zone</li> </ul> <p>and up to 30% in any other zone, except where:</p> <ul style="list-style-type: none"> <li>(a) the development is located within the Character Area Overlay or Historic Area Overlay or</li> <li>(b) other height incentives already apply to the development.</li> </ul>
Movement and Car Parking	
PO 4.1 Sufficient car parking is provided to meet the needs of occupants of affordable housing.	<p>DTS/DPF 4.1 Dwellings constituting affordable housing are provided with car parking in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) 0.3 carparks per dwelling within a building which incorporates dwellings located above ground level within either: <ul style="list-style-type: none"> <li>(i) 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service<sup>(2)</sup></li> </ul> </li> </ul>



	<ul style="list-style-type: none"> <li>(ii) is within 400 metres of a bus interchange<sup>(1)</sup></li> <li>(iii) is within 400 metres of an O-Bahn interchange<sup>(1)</sup></li> <li>(iv) is within 400 metres of a passenger rail station<sup>(1)</sup></li> <li>(v) is within 400 metres of a passenger tram station<sup>(1)</sup></li> <li>(vi) is within 400 metres of the Adelaide Parklands.</li> </ul> <p>or</p> <ul style="list-style-type: none"> <li>(b) 1 carpark per dwelling for any other dwelling.</li> </ul> <p>[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]</p>
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## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where the applicant for the development is the South Australian Housing Authority (or an agent acting on behalf of the South Australian Housing Authority), residential development or land division (other than an excluded land division):</p> <ul style="list-style-type: none"> <li>(a) that comprises 20 or more dwellings or residential allotments and is described in the application documentation as intending to provide affordable housing</li> <li>or</li> <li>(b) that is described in the application documentation as intending to provide affordable housing and the applicant is seeking to access one or more of the planning concessions outlined in the Affordable Housing Overlay DTS/DPF 3.1, 3.2 or 4.1</li> <li>or</li> <li>(c) that is described in the application documentation as intending to include affordable housing of any number of dwellings or residential allotments</li> </ul>	Minister responsible for administering the <i>South Australian Housing Trust Act 1995</i> .	To provide direction on the conditions required to secure the provision of dwellings or allotments for affordable housing.	Development of a class to which Schedule 9 clause 3 item 20 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Hazards (Flooding - Evidence Required) Overlay

## Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 1.1 Development is sited, designed and constructed to minimise the risk of entry of potential floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	DTS/DPF 1.1 Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished floor level at least 300mm above:  (a) the highest point of top of kerb of the primary street or (b) the highest point of natural ground level at the primary street boundary where there is no kerb

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Stormwater Management Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Residential development is designed to capture and re-use stormwater to:	DTS/DPF 1.1 Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Traffic Generating Development Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Traffic Generating Development	
<p>PO 1.1</p> <p>Development designed to minimise its potential impact on the safety, efficiency and functional performance of the State Maintained Road network.</p>	<p>DTS/DPF 1.1</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p> <ul style="list-style-type: none"> <li>(a) building, or buildings, containing in excess of 50 dwellings</li> <li>(b) land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>
<p>PO 1.2</p> <p>Access points sited and designed to accommodate the type and volume of traffic likely to be generated by development.</p>	<p>DTS/DPF 1.2</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p> <ul style="list-style-type: none"> <li>(a) building, or buildings, containing in excess of 50 dwellings</li> <li>(b) land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>
<p>PO 1.3</p> <p>Sufficient accessible on-site queuing provided to meet the needs of the development so that queues do not impact on the</p>	<p>DTS/DPF 1.3</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p>

State Maintained Road network.	<ul style="list-style-type: none"> <li>(a) building, or buildings, containing in excess of 50 dwellings</li> <li>(b) land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>
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## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where all of the relevant deemed-to-satisfy criteria are met, any of the following classes of development that are proposed within 250m of a State Maintained Road:</p> <ul style="list-style-type: none"> <li>(a) except where a proposed development has previously been referred under clause (b) - a building, or buildings, containing in excess of 50 dwellings</li> <li>(b) except where a proposed development has previously been referred under clause (a) - land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>	Commissioner of Highways.	To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Urban Tree Canopy Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

## Desired Outcome

DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature																																				
PO 1.1  Trees are planted or retained to contribute to an urban tree canopy.	DTS/DPF 1.1  Tree planting is provided in accordance with the following: <table><tr><td>Site size per dwelling (m<sup>2</sup>)</td><td>Tree size* and number required per dwelling</td></tr><tr><td>&lt;450</td><td>1 small tree</td></tr><tr><td>450-800</td><td>1 medium tree or 2 small trees</td></tr><tr><td>&gt;800</td><td>1 large tree or 2 medium trees or 4 small trees</td></tr></table> *refer Table 1 Tree Size <table><tr><td colspan="4">Table 1 Tree Size</td></tr><tr><td>Tree size</td><td>Mature height (minimum)</td><td>Mature spread (minimum)</td><td>Soil area around tree within development site (minimum)</td></tr><tr><td>Small</td><td>4 m</td><td>2m</td><td>10m<sup>2</sup> and min. dimension of 1.5m</td></tr><tr><td>Medium</td><td>6 m</td><td>4 m</td><td>30m<sup>2</sup> and min. dimension of 2m</td></tr><tr><td>Large</td><td>12 m</td><td>8m</td><td>60m<sup>2</sup> and min. dimension of 4m</td></tr></table> <p>The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.</p> <table><tr><td colspan="4">Table 2 Tree Discounts</td></tr><tr><td>Retained tree height (Column A)</td><td>Retained tree spread (Column B)</td><td>Retained soil area around tree within development site (Column C)</td><td>Discount applied (Column D)</td></tr></table>	Site size per dwelling (m <sup>2</sup> )	Tree size* and number required per dwelling	<450	1 small tree	450-800	1 medium tree or 2 small trees	>800	1 large tree or 2 medium trees or 4 small trees	Table 1 Tree Size				Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)	Small	4 m	2m	10m <sup>2</sup> and min. dimension of 1.5m	Medium	6 m	4 m	30m <sup>2</sup> and min. dimension of 2m	Large	12 m	8m	60m <sup>2</sup> and min. dimension of 4m	Table 2 Tree Discounts				Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
Site size per dwelling (m <sup>2</sup> )	Tree size* and number required per dwelling																																				
<450	1 small tree																																				
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Table 1 Tree Size																																					
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)																																		
Small	4 m	2m	10m <sup>2</sup> and min. dimension of 1.5m																																		
Medium	6 m	4 m	30m <sup>2</sup> and min. dimension of 2m																																		
Large	12 m	8m	60m <sup>2</sup> and min. dimension of 4m																																		
Table 2 Tree Discounts																																					
Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)																																		



	4-6m	2-4m	10m <sup>2</sup> and min. dimension of 1.5m	2 small trees (or 1 medium tree)
	6-12m	4-8m	30m <sup>2</sup> and min. dimension of 3m	2 medium trees (or 4 small trees)
	>12m	>8m	60m <sup>2</sup> and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)
Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.				

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Water Resources Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Catchment	

PO 1.1 Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.	DTS/DPF 1.1 None are applicable.
PO 1.2 Development avoids interfering with the existing hydrology or water regime of swamps and wetlands other than to improve the existing conditions to enhance environmental values.	DTS/DPF 1.2 None are applicable.
PO 1.5 Development that increases surface water run-off includes a suitably sized strip of vegetated land on each side of a watercourse to filter runoff to:  (a) reduce the impacts on native aquatic ecosystems (b) minimise soil loss eroding into the watercourse.	DTS/DPF 1.5 A strip of land 20m or more wide measured from the top of existing banks on each side of the watercourse is free from development, livestock use and revegetated with locally indigenous vegetation.
PO 1.6 Development resulting in the depositing or placing of an object or solid material in a watercourse or lake occurs only where it involves any of the following:  (a) the construction of an erosion control structure (b) devices or structures used to extract or regulate water flowing in a watercourse (c) devices used for scientific purposes (d) the rehabilitation of watercourses.	DTS/DPF 1.6 None are applicable.
PO 1.7 Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.	DTS/DPF 1.7 None are applicable.
PO 1.8 Watercourses, floodplains (1% AEP flood extent) and wetlands are protected and enhanced by stabilising watercourse banks and reducing sediments and nutrients entering the watercourse.	DTS/DPF 1.8 None are applicable.

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Part 4 - General Development Policies

## Clearance from Overhead Powerlines

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied:  (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i>  (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

## Design in Urban Areas

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is:  (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
On-site Waste Treatment Systems	

PO 6.1 Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.	DTS/DPF 6.1 Effluent disposal drainage areas do not:  (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
Car parking appearance	
PO 7.1 Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as: (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure.	DTS/DPF 7.1 None are applicable.
Earthworks and sloping land	
PO 8.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 8.1 Development does not involve any of the following:  (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
PO 8.2 Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	DTS/DPF 8.2 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):  (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):  (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land.	DTS/DPF 8.3 None are applicable.
PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	DTS/DPF 8.4 None are applicable.

PO 8.5 Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.	DTS/DPF 8.5 None are applicable.
Overlooking / Visual Privacy (low rise buildings)	
PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied: (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
All Development - Medium and High Rise	
External Appearance	
PO 12.1 Buildings positively contribute to the character of the local area by responding to local context.	DTS/DPF 12.1 None are applicable.
PO 12.2 Architectural detail at street level and a mixture of materials at lower building levels near the public interface are provided to reinforce a human scale.	DTS/DPF 12.2 None are applicable.
PO 12.3 Buildings are designed to reduce visual mass by breaking up building elevations into distinct elements.	DTS/DPF 12.3 None are applicable.
PO 12.4 Boundary walls visible from public land include visually interesting treatments to break up large blank elevations.	DTS/DPF 12.4 None are applicable.

<p>PO 12.5</p> <p>External materials and finishes are durable and age well to minimise ongoing maintenance requirements.</p>	<p>DTS/DPF 12.5</p> <p>Buildings utilise a combination of the following external materials and finishes:</p> <ul style="list-style-type: none"><li>(a) masonry</li><li>(b) natural stone</li><li>(c) pre-finished materials that minimise staining, discolouring or deterioration.</li></ul>								
<p>PO 12.6</p> <p>Street-facing building elevations are designed to provide attractive, high quality and pedestrian-friendly street frontages.</p>	<p>DTS/DPF 12.6</p> <p>Building street frontages incorporate:</p> <ul style="list-style-type: none"><li>(a) active uses such as shops or offices</li><li>(b) prominent entry areas for multi-storey buildings (where it is a common entry)</li><li>(c) habitable rooms of dwellings</li><li>(d) areas of communal public realm with public art or the like, where consistent with the zone and/or subzone provisions.</li></ul>								
<p>PO 12.7</p> <p>Entrances to multi-storey buildings are safe, attractive, welcoming, functional and contribute to streetscape character.</p>	<p>DTS/DPF 12.7</p> <p>Entrances to multi-storey buildings are:</p> <ul style="list-style-type: none"><li>(a) oriented towards the street</li><li>(b) clearly visible and easily identifiable from the street and vehicle parking areas</li><li>(c) designed to be prominent, accentuated and a welcoming feature if there are no active or occupied ground floor uses</li><li>(d) designed to provide shelter, a sense of personal address and transitional space around the entry</li><li>(e) located as close as practicable to the lift and / or lobby access to minimise the need for long access corridors</li><li>(f) designed to avoid the creation of potential areas of entrapment.</li></ul>								
<p>PO 12.8</p> <p>Building services, plant and mechanical equipment are screened from the public realm.</p>	<p>DTS/DPF 12.8</p> <p>None are applicable.</p>								
Landscaping									
<p>PO 13.1</p> <p>Development facing a street provides a well landscaped area that contains a deep soil space to accommodate a tree of a species and size adequate to provide shade, contribute to tree canopy targets and soften the appearance of buildings.</p>	<p>DTS/DPF 13.1</p> <p>Buildings provide a 4m by 4m deep soil space in front of the building that accommodates a medium to large tree, except where no building setback from front property boundaries is desired.</p>								
<p>PO 13.2</p> <p>Deep soil zones are provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies to provide shade and soften the appearance of multi-storey buildings.</p>	<p>DTS/DPF 13.2</p> <p>Multi-storey development provides deep soil zones and incorporates trees at not less than the following rates, except in a location or zone where full site coverage is desired.</p> <table><tr><th>Site area</th><th>Minimum deep soil area</th><th>Minimum dimension</th><th>Tree / deep soil zones</th></tr><tr><td></td><td></td><td></td><td></td></tr></table>	Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones				
Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones						



	<300 m <sup>2</sup>	10 m <sup>2</sup>	1.5m	1 small tree / 10 m <sup>2</sup>
	300-1500 m <sup>2</sup>	7% site area	3m	1 medium tree / 30 m <sup>2</sup>
	>1500 m <sup>2</sup>	7% site area	6m	1 large or medium tree / 60 m <sup>2</sup>
	Tree size and site area definitions			
	Small tree	4-6m mature height and 2-4m canopy spread		
	Medium tree	6-12m mature height and 4-8m canopy spread		
	Large tree	12m mature height and >8m canopy spread		
	Site area	The total area for development site, not average area per dwelling		
PO 13.3	DTS/DPF 13.3			
Deep soil zones with access to natural light are provided to assist in maintaining vegetation health.	None are applicable.			
PO 13.4	DTS/DPF 13.4			
Unless separated by a public road or reserve, development sites adjacent to any zone that has a primary purpose of accommodating low-rise residential development incorporate a deep soil zone along the common boundary to enable medium to large trees to be retained or established to assist in screening new buildings of 3 or more building levels in height.	Building elements of 3 or more building levels in height are set back at least 6m from a zone boundary in which a deep soil zone area is incorporated.			
Environmental				
PO 14.1	DTS/DPF 14.1			
Development minimises detrimental micro-climatic impacts on adjacent land and buildings.	None are applicable.			
PO 14.2	DTS/DPF 14.2			
Development incorporates sustainable design techniques and features such as window orientation, eaves and shading structures, water harvesting and use, green walls and roof designs that enable the provision of rain water tanks (where they are not provided elsewhere on site), green roofs and photovoltaic cells.	None are applicable.			
PO 14.3	DTS/DPF 14.3			
Development of 5 or more building levels, or 21m or more in height (as measured from natural ground level and excluding roof-mounted mechanical plant and equipment) is designed to minimise the impacts of wind through measures such as:	None are applicable.			
(a)	a podium at the base of a tall tower and aligned with the street to deflect wind away from the street			
(b)	substantial verandahs around a building to deflect downward travelling wind flows over pedestrian areas			

<ul style="list-style-type: none"> <li>(c) the placement of buildings and use of setbacks to deflect the wind at ground level</li> <li>(d) avoiding tall shear elevations that create windy conditions at street level.</li> </ul>	
Overlooking/Visual Privacy	
<p>PO 16.1</p> <p>Development mitigates direct overlooking of habitable rooms and private open spaces of adjacent residential uses in neighbourhood-type zones through measures such as:</p> <ul style="list-style-type: none"> <li>(a) appropriate site layout and building orientation</li> <li>(b) off-setting the location of balconies and windows of habitable rooms or areas with those of other buildings so that views are oblique rather than direct to avoid direct line of sight</li> <li>(c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms</li> <li>(d) screening devices that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.</li> </ul>	<p>DTS/DPF 16.1</p> <p>None are applicable.</p>
All residential development	
Front elevations and passive surveillance	
<p>PO 17.1</p> <p>Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 17.1</p> <p>Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> <li>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</li> <li>(b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street.</li> </ul>
<p>PO 17.2</p> <p>Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p>DTS/DPF 17.2</p> <p>Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>
Outlook and Amenity	
<p>PO 18.1</p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 18.1</p> <p>A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.</p>
Residential Development - Low Rise	
External appearance	
<p>PO 20.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p>DTS/DPF 20.1</p> <p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> <li>(a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling</li> <li>(b) are set back at least 5.5m from the boundary of the primary street</li> </ul>

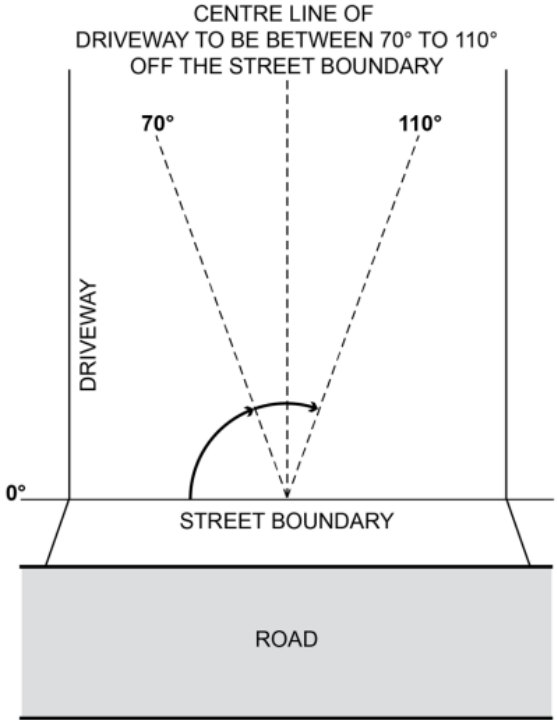
	<ul style="list-style-type: none"> <li>(c) have a garage door / opening width not exceeding 7m</li> <li>(d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.</li> </ul>
<p>PO 20.2</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.</p>	<p>DTS/DPF 20.2</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <ul style="list-style-type: none"> <li>(a) a minimum of 30% of the building wall is set back an additional 300mm from the building line</li> <li>(b) a porch or portico projects at least 1m from the building wall</li> <li>(c) a balcony projects from the building wall</li> <li>(d) a verandah projects at least 1m from the building wall</li> <li>(e) eaves of a minimum 400mm width extend along the width of the front elevation</li> <li>(f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm</li> <li>(g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.</li> </ul>
<p>PO 20.3</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 20.3</p> <p>None are applicable</p>
Private Open Space	
<p>PO 21.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 21.1</p> <p>Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>
<p>PO 21.2</p> <p>Private open space is positioned to provide convenient access from internal living areas.</p>	<p>DTS/DPF 21.2</p> <p>Private open space is directly accessible from a habitable room.</p>
Landscaping	
<p>PO 22.1</p> <p>Soft landscaping is incorporated into development to:</p>	<p>DTS/DPF 22.1</p> <p>Residential development incorporates soft landscaping with a</p>

<ul style="list-style-type: none"> <li>(a) minimise heat absorption and reflection</li> <li>(b) contribute shade and shelter</li> <li>(c) provide for stormwater infiltration and biodiversity</li> <li>(d) enhance the appearance of land and streetscapes.</li> </ul>	<p>minimum dimension of 700mm provided in accordance with (a) and (b):</p> <ul style="list-style-type: none"> <li>(a) a total area for the entire development site, including any common property, as determined by the following table: <table border="1" data-bbox="917 331 1524 728"> <thead> <tr> <th>Site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>&gt;200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </tbody> </table> </li> <li>(b) at least 30% of any land between the primary street boundary and the primary building line.</li> </ul>	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										

## Car parking, access and manoeuvrability

<p>PO 23.1</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> <li>(a) single width car parking spaces: <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m per space</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> </li> <li>(b) double width car parking spaces (side by side): <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.4m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul> </li> </ul>
<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> <li>(a) a minimum length of 5.4m</li> <li>(b) a minimum width of 2.4m</li> <li>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</li> </ul>
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site</li> <li>(b) sites with a frontage to a public road greater than 10m:</li> </ul>

	<ul style="list-style-type: none"> <li>(i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;</li> <li>(ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.</li> </ul>
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed, is set back: <ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul> </li> </ul>
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</li> </ul>

	<p>(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:</p>  <p>(c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site.</p>
<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
Waste storage	
<p>PO 24.1</p> <p>Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 24.1</p> <p>Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <ul style="list-style-type: none"> <li>(a) has a minimum area of 2m<sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and</li> <li>(b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.</li> </ul>
Design of Transportable Buildings	

PO 25.1 The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.	DTS/DPF 25.1 Buildings satisfy (a) or (b):  (a) are not transportable (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.
Residential Development - Medium and High Rise (including serviced apartments)	
Outlook and Visual Privacy	
PO 26.1 Ground level dwellings have a satisfactory short range visual outlook to public, communal or private open space.	DTS/DPF 26.1 Buildings:  (a) provide a habitable room at ground or first level with a window facing toward the street (b) limit the height / extent of solid walls or fences facing the street to 1.2m high above the footpath level or, where higher, to 50% of the site frontage.
PO 26.2 The visual privacy of ground level dwellings within multi-level buildings is protected.	DTS/DPF 26.2 The finished floor level of ground level dwellings in multi-storey developments is raised by up to 1.2m.
Private Open Space	
PO 27.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 27.1 Private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space.
Residential amenity in multi-level buildings	
PO 28.1 Residential accommodation within multi-level buildings have habitable rooms, windows and balconies designed and positioned to be separated from those of other dwellings and accommodation to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces.	DTS/DPF 28.1 Habitable rooms and balconies of independent dwellings and accommodation are separated by at least 6m from one another where there is a direct line of sight between them and 3m or more from a side or rear property boundary.
PO 28.2 Balconies are designed, positioned and integrated into the overall architectural form and detail of the development to:  (a) respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy (b) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas.	DTS/DPF 28.2 Balconies utilise one or a combination of the following design elements:  (a) sun screens (b) pergolas (c) louvres (d) green facades (e) openable walls.
PO 28.3 Balconies are of sufficient size and depth to accommodate outdoor seating and promote indoor / outdoor living.	DTS/DPF 28.3 Balconies open directly from a habitable room and incorporate a minimum dimension of 2m.
PO 28.4 Dwellings are provided with sufficient space for storage to meet likely occupant needs.	DTS/DPF 28.4 Dwellings (not including student accommodation or serviced apartments) are provided with storage at the following rates with at least 50% or more of the storage volume to be provided



	<p>within the dwelling:</p> <ul style="list-style-type: none"> <li>(a) studio: not less than 6m<sup>3</sup></li> <li>(b) 1 bedroom dwelling / apartment: not less than 8m<sup>3</sup></li> <li>(c) 2 bedroom dwelling / apartment: not less than 10m<sup>3</sup></li> <li>(d) 3+ bedroom dwelling / apartment: not less than 12m<sup>3</sup>.</li> </ul>
<p>PO 28.5</p> <p>Dwellings that use light wells for access to daylight, outlook and ventilation for habitable rooms, are designed to ensure a reasonable living amenity is provided.</p>	<p>DTS/DPF 28.5</p> <p>Light wells:</p> <ul style="list-style-type: none"> <li>(a) are not used as the primary source of outlook for living rooms</li> <li>(b) up to 18m in height have a minimum horizontal dimension of 3m, or 6m if overlooked by bedrooms</li> <li>(c) above 18m in height have a minimum horizontal dimension of 6m, or 9m if overlooked by bedrooms.</li> </ul>
<p>PO 28.6</p> <p>Attached or abutting dwellings are designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions.</p>	<p>DTS/DPF 28.6</p> <p>None are applicable.</p>
<p>PO 28.7</p> <p>Dwellings are designed so that internal structural columns correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable.</p>	<p>DTS/DPF 28.7</p> <p>None are applicable.</p>
Dwelling Configuration	
<p>PO 29.1</p> <p>Buildings containing in excess of 10 dwellings provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling to contribute to housing diversity.</p>	<p>DTS/DPF 29.1</p> <p>Buildings containing in excess of 10 dwellings provide at least one of each of the following:</p> <ul style="list-style-type: none"> <li>(a) studio (where there is no separate bedroom)</li> <li>(b) 1 bedroom dwelling / apartment with a floor area of at least 50m<sup>2</sup></li> <li>(c) 2 bedroom dwelling / apartment with a floor area of at least 65m<sup>2</sup></li> <li>(d) 3+ bedroom dwelling / apartment with a floor area of at least 80m<sup>2</sup>, and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom.</li> </ul>
<p>PO 29.2</p> <p>Dwellings located on the ground floor of multi-level buildings with 3 or more bedrooms have the windows of their habitable rooms overlooking internal courtyard space or other public space, where possible.</p>	<p>DTS/DPF 29.2</p> <p>None are applicable.</p>
Common Areas	
<p>PO 30.1</p> <p>The size of lifts, lobbies and corridors is sufficient to accommodate movement of bicycles, strollers, mobility aids and visitor waiting areas.</p>	<p>DTS/DPF 30.1</p> <p>Common corridor or circulation areas:</p> <ul style="list-style-type: none"> <li>(a) have a minimum ceiling height of 2.7m</li> <li>(b) provide access to no more than 8 dwellings</li> <li>(c) incorporate a wider section at apartment entries where the corridors exceed 12m in length from a core.</li> </ul>

Group Dwellings, Residential Flat Buildings and Battle axe Development	
Amenity	
PO 31.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.	DTS/DPF 31.2 None are applicable.
PO 31.3 Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.	DTS/DPF 31.3 None are applicable.
PO 31.4 Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.	DTS/DPF 31.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.
Car parking, access and manoeuvrability	
PO 33.1 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	DTS/DPF 33.1 Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements: <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
PO 33.4 Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 33.4 Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
PO 33.5 Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 33.5 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Soft landscaping	
PO 34.2 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 34.2 Battle-axe or common driveways satisfy (a) and (b): <ul style="list-style-type: none"> <li>(a) are constructed of a minimum of 50% permeable or porous material</li> <li>(b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).</li> </ul>
Laneway Development	
Infrastructure and Access	
PO 44.1	DTS/DPF 44.1

Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where: <ul style="list-style-type: none"> <li>(a) existing utility infrastructure and services are capable of accommodating the development</li> <li>(b) the primary street can support access by emergency and regular service vehicles (such as waste collection)</li> <li>(c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems)</li> <li>(d) safety of pedestrians or vehicle movement is maintained</li> <li>(e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.</li> </ul>	Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.
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Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		Total private open space area: <ul style="list-style-type: none"> <li>(a) Site area &lt;301m<sup>2</sup>: 24m<sup>2</sup> located behind the building line.</li> <li>(b) Site area ≥ 301m<sup>2</sup>: 60m<sup>2</sup> located behind the building line.</li> </ul> Minimum directly accessible from a living room: 16m <sup>2</sup> / with a minimum dimension 3m.
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m <sup>2</sup> , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m <sup>2</sup> / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m <sup>2</sup> / minimum dimension 1.8m
	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m
	Two bedroom dwelling	11m <sup>2</sup> / minimum dimension 2.4m
	Three + bedroom dwelling	15 m <sup>2</sup> / minimum dimension 2.6m

## Infrastructure and Renewable Energy Facilities

## Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Supply	
<p>PO 11.2</p> <p>Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.</p>	<p>DTS/DPF 11.2</p> <p>A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:</p> <ul style="list-style-type: none"> <li>(a) exclusively for domestic use</li> <li>(b) connected to the roof drainage system of the dwelling.</li> </ul>
Wastewater Services	
<p>PO 12.1</p> <p>Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) it is wholly located and contained within the allotment of the development it will service</li> <li>(b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources</li> <li>(c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.</li> </ul>	<p>DTS/DPF 12.1</p> <p>Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) the system is wholly located and contained within the allotment of development it will service; and</li> <li>(b) the system will comply with the requirements of the South Australian Public Health Act 2011.</li> </ul>
<p>PO 12.2</p> <p>Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p>	<p>DTS/DPF 12.2</p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>

## Interface between Land Uses



## Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
<p>PO 3.1</p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <p>a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.1</p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>
<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <p>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <p>a. for ground level private open space, the smaller of the following:</p> <p>i. half the existing ground level open space</p> <p>or</p> <p>ii. 35m<sup>2</sup> of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

## Site Contamination

## Assessment Provisions (AP)

## Desired Outcome (DO)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> <li>(a) does not involve a change in the use of land</li> <li>(b) involves a change in the use of land that does not constitute a change to a more sensitive use</li> <li>(c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)</li> <li>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: <ul style="list-style-type: none"> <li>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that- <ul style="list-style-type: none"> <li>A. site contamination does not exist (or no longer exists) at the land</li> <li>or</li> <li>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)</li> <li>or</li> <li>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</li> </ul> </li> <li>and</li> <li>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</li> </ul> </li> </ul>

## Transport, Access and Parking

## Assessment Provisions (AP)

## Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

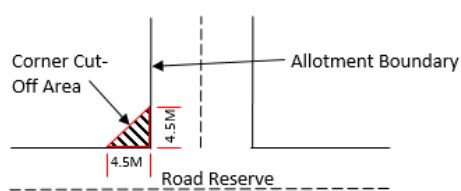
Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> <li>(a) availability of on-street car parking</li> <li>(b) shared use of other parking areas</li> <li>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</li> <li>(d) the adaptive reuse of a State or Local Heritage Place.</li> </ul>	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> <li>(a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area</li> <li>(b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply</li> <li>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</li> </ul>
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.
Residential Development	
Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.

Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.

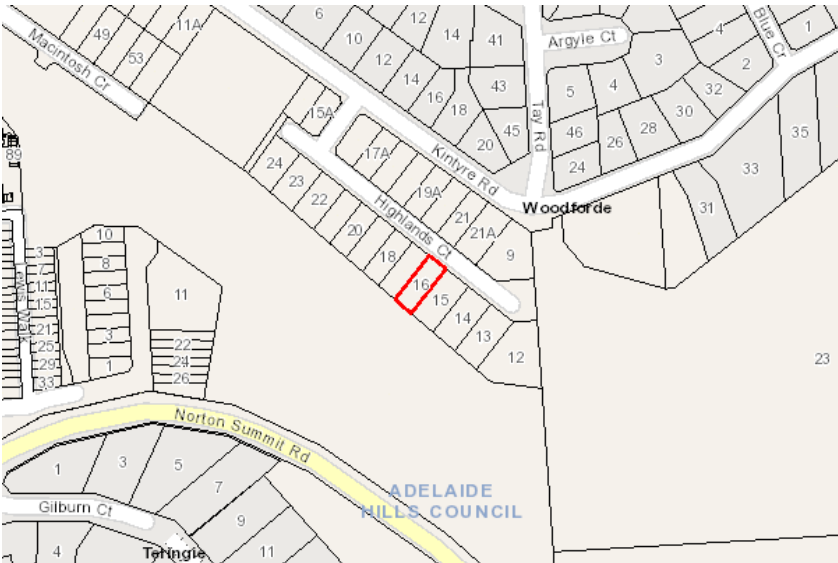
**Table 2 - Off-Street Car Parking Requirements in Designated Areas**

Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	<p>No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:</p> <p>1 space for each dwelling with a total floor area less than 75 square metres</p> <p>2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres</p> <p>3 spaces for each dwelling with a total floor area greater than 150 square metres.</p> <p>Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.</p>	<p>Capital City Zone</p> <p>City Main Street Zone</p> <p>City Riverbank Zone</p> <p>Adelaide Park Lands Zone</p> <p>Business Neighbourhood Zone (within the City of Adelaide)</p> <p>The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone</p>



Address: 16 HIGHLANDS CT WOODFORDE SA 5072

To view a detailed interactive property map in SAPPA click on the map below



Property Zoning Details

Zone

Housing Diversity Neighbourhood

Overlay

- Affordable Housing
- Hazards (Bushfire - Urban Interface)
- Hazards (Flooding - Evidence Required)
- Prescribed Wells Area
- Regulated and Significant Tree
- Stormwater Management
- Traffic Generating Development
- Urban Tree Canopy
- Water Resources

Local Variation (TNV)

- Maximum Building Height (Metres) (Maximum building height is 9m)
- Maximum Building Height (Levels) (Maximum building height is 2 levels)

Selected Development(s)

Fence

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards. If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Fence - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

## Housing Diversity Neighbourhood Zone

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Medium density housing supports a range of needs and lifestyles, located within easy reach of a diversity of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

### Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

#### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	Except development involving any of the following: <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>

<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) ancillary accommodation</li> <li>(b) dwelling</li> <li>(c) dwelling addition</li> <li>(d) recreation area</li> <li>(e) residential flat building</li> <li>(f) retirement facility</li> <li>(g) student accommodation</li> <li>(h) supported accommodation.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>4. Alteration of or addition to any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) child care facility</li> <li>(b) community facility</li> <li>(c) educational facility.</li> </ul>	<p>Except development that does not satisfy Housing Diversity Neighbourhood Zone DTS/DPF 1.4.</p>
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1 or</li> <li>2. does not satisfy Housing Diversity Neighbourhood Zone DTS/DPF 1.2 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>6. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) carport</li> <li>(c) deck</li> <li>(d) fence</li> <li>(e) internal building works</li> </ul>	<p>None specified.</p>

<ul style="list-style-type: none"> <li>(f) land division</li> <li>(g) outbuilding</li> <li>(h) pergola</li> <li>(i) private bushfire shelter</li> <li>(j) replacement building</li> <li>(k) retaining wall</li> <li>(l) shade sail</li> <li>(m) solar photovoltaic panels (roof mounted)</li> <li>(n) swimming pool or spa pool and associated swimming pool safety features</li> <li>(o) temporary accommodation in an area affected by bushfire</li> <li>(p) tree damaging activity</li> <li>(q) verandah</li> <li>(r) water tank.</li> </ul>	
<p>7. Any development involving any of the following (or of any combination of any of the following) within the Tunnel Protection Overlay:</p> <ul style="list-style-type: none"> <li>(a) storage of materials, equipment or vehicles (whether temporary or permanent) over an area exceeding 100 square metres</li> <li>(b) temporary stockpiling of soil, gravel, rock or other natural material over an area exceeding 100 square metres</li> <li>(c) excavation or ground intruding activity at a depth greater than 2.5 metres below the regulated surface level.</li> </ul>	<p>Except where not undertaken by the Crown, a Council or an essential infrastructure provider.</p>
<p>8. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
<p>9. Railway line.</p>	<p>Except where located outside of a rail corridor or rail reserve.</p>
<b>Placement of Notices - Exemptions for Performance Assessed Development</b>	
<p>None specified.</p>	
<b>Placement of Notices - Exemptions for Restricted Development</b>	
<p>None specified.</p>	

## Part 3 - Overlays

### Water Resources Overlay



## Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Catchment	
PO 1.1 Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.	DTS/DPF 1.1 None are applicable.
PO 1.4 Watercourses, areas of remnant native vegetation, or areas prone to erosion that are capable of natural regeneration are fenced off to limit stock access.	DTS/DPF 1.4 None are applicable.
PO 1.7 Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.	DTS/DPF 1.7 None are applicable.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Part 4 - General Development Policies

### Clearance from Overhead Powerlines

## Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied:  (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i>  (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

## Design in Urban Areas

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is:  (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Fences and walls	
PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.

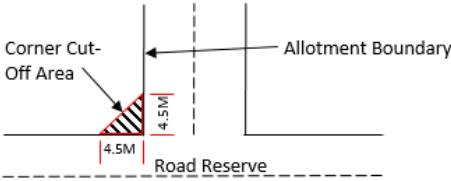
Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome (DO)

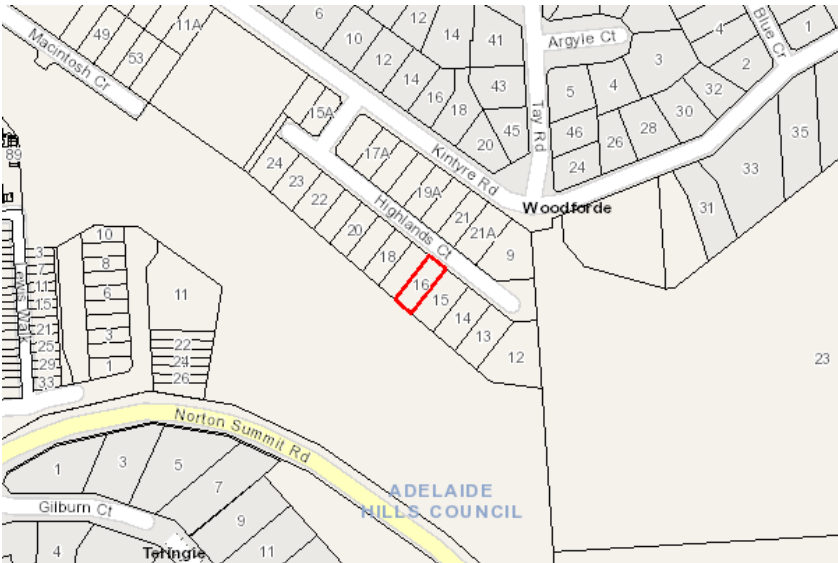
Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Sightlines	
PO 2.2 Walls, fencing and landscaping adjacent to driveways and corner sites are designed to provide adequate sightlines between vehicles and pedestrians.	DTS/DPF 2.2 None are applicable.
Corner Cut-Offs	
PO 10.1 Development is located and designed to ensure drivers can safely turn into and out of public road junctions.	DTS/DPF 10.1 Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram: 

Address: 16 HIGHLANDS CT WOODFORDE SA 5072

To view a detailed interactive property map in SAPPA click on the map below



Property Zoning Details

Zone

Housing Diversity Neighbourhood

Overlay

- Affordable Housing
- Hazards (Bushfire - Urban Interface)
- Hazards (Flooding - Evidence Required)
- Prescribed Wells Area
- Regulated and Significant Tree
- Stormwater Management
- Traffic Generating Development
- Urban Tree Canopy
- Water Resources

Local Variation (TNV)

- Maximum Building Height (Metres) (Maximum building height is 9m)
- Maximum Building Height (Levels) (Maximum building height is 2 levels)

Selected Development(s)

Retaining wall

**This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards. If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development**

Retaining wall - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones



## Housing Diversity Neighbourhood Zone

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Medium density housing supports a range of needs and lifestyles, located within easy reach of a diversity of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

### Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

#### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	Except development involving any of the following: <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>

<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) ancillary accommodation</li> <li>(b) dwelling</li> <li>(c) dwelling addition</li> <li>(d) recreation area</li> <li>(e) residential flat building</li> <li>(f) retirement facility</li> <li>(g) student accommodation</li> <li>(h) supported accommodation.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>4. Alteration of or addition to any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) child care facility</li> <li>(b) community facility</li> <li>(c) educational facility.</li> </ul>	<p>Except development that does not satisfy Housing Diversity Neighbourhood Zone DTS/DPF 1.4.</p>
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1 or</li> <li>2. does not satisfy Housing Diversity Neighbourhood Zone DTS/DPF 1.2 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>6. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) carport</li> <li>(c) deck</li> <li>(d) fence</li> <li>(e) internal building works</li> </ul>	<p>None specified.</p>

<ul style="list-style-type: none"> <li>(f) land division</li> <li>(g) outbuilding</li> <li>(h) pergola</li> <li>(i) private bushfire shelter</li> <li>(j) replacement building</li> <li>(k) retaining wall</li> <li>(l) shade sail</li> <li>(m) solar photovoltaic panels (roof mounted)</li> <li>(n) swimming pool or spa pool and associated swimming pool safety features</li> <li>(o) temporary accommodation in an area affected by bushfire</li> <li>(p) tree damaging activity</li> <li>(q) verandah</li> <li>(r) water tank.</li> </ul>	
<p>7. Any development involving any of the following (or of any combination of any of the following) within the Tunnel Protection Overlay:</p> <ul style="list-style-type: none"> <li>(a) storage of materials, equipment or vehicles (whether temporary or permanent) over an area exceeding 100 square metres</li> <li>(b) temporary stockpiling of soil, gravel, rock or other natural material over an area exceeding 100 square metres</li> <li>(c) excavation or ground intruding activity at a depth greater than 2.5 metres below the regulated surface level.</li> </ul>	<p>Except where not undertaken by the Crown, a Council or an essential infrastructure provider.</p>
<p>8. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
<p>9. Railway line.</p>	<p>Except where located outside of a rail corridor or rail reserve.</p>
<b>Placement of Notices - Exemptions for Performance Assessed Development</b>	
<p>None specified.</p>	
<b>Placement of Notices - Exemptions for Restricted Development</b>	
<p>None specified.</p>	

## Part 3 - Overlays

### Water Resources Overlay

## Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Catchment	
PO 1.1 Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.	DTS/DPF 1.1 None are applicable.
PO 1.5 Development that increases surface water run-off includes a suitably sized strip of vegetated land on each side of a watercourse to filter runoff to:  (a) reduce the impacts on native aquatic ecosystems (b) minimise soil loss eroding into the watercourse.	DTS/DPF 1.5 A strip of land 20m or more wide measured from the top of existing banks on each side of the watercourse is free from development, livestock use and revegetated with locally indigenous vegetation.
PO 1.7 Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.	DTS/DPF 1.7 None are applicable.
PO 1.8 Watercourses, floodplains (1% AEP flood extent) and wetlands are protected and enhanced by stabilising watercourse banks and reducing sediments and nutrients entering the watercourse.	DTS/DPF 1.8 None are applicable.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Part 4 - General Development Policies

### Design in Urban Areas

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>

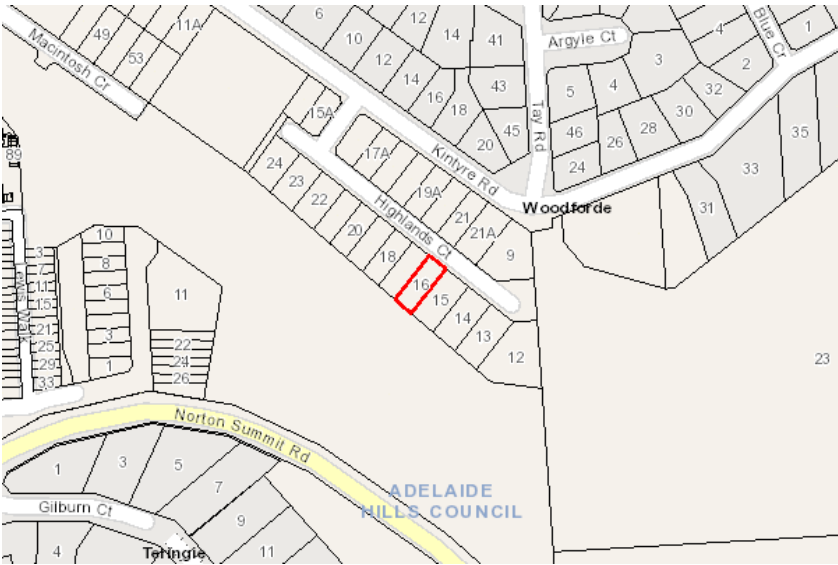
Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Fences and walls	
<p>PO 9.1</p> <p>Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.</p>	<p>DTS/DPF 9.1</p> <p>None are applicable.</p>
<p>PO 9.2</p> <p>Landscaping is incorporated on the low side of retaining walls that are visible from public roads and public open space to minimise visual impacts.</p>	<p>DTS/DPF 9.2</p> <p>A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.</p>



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To view a detailed interactive property map in SAPPA click on the map below



Property Zoning Details

Zone

Housing Diversity Neighbourhood

Overlay

- Affordable Housing
- Hazards (Bushfire - Urban Interface)
- Hazards (Flooding - Evidence Required)
- Prescribed Wells Area
- Regulated and Significant Tree
- Stormwater Management
- Traffic Generating Development
- Urban Tree Canopy
- Water Resources

Local Variation (TNV)

- Maximum Building Height (Metres) (Maximum building height is 9m)
- Maximum Building Height (Levels) (Maximum building height is 2 levels)

Selected Development(s)

Swimming pool or spa pool and associated swimming pool safety features

**This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards. If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development**

Swimming pool or spa pool and associated swimming pool safety features - Accepted Development

Part 2 - Zones and Sub Zones

## Housing Diversity Neighbourhood Zone

**Table 1 - Accepted Development Classification**

Unless otherwise specified in another class of development, the reference to a class of development includes a reference to a change in the use of the relevant land or building work (including construction of a new building, or alteration/addition of an existing building).

The following table identifies Classes of Development that are classified as Accepted Development subject to meeting the Accepted Development Classification Criteria

Class of Development	Accepted Development Classification Criteria										
Swimming pool or spa pool and associated swimming pool safety features Except where any of the following apply: <ul style="list-style-type: none"> <li>• Future Local Road Widening Overlay</li> <li>• Future Road Widening Overlay</li> <li>• Hazards (Flooding) Overlay</li> <li>• Local Heritage Place Overlay</li> <li>• State Heritage Area Overlay</li> <li>• State Heritage Place Overlay</li> </ul>	<ol style="list-style-type: none"> <li>The development will not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i>.</li> <li>The development will not be built, or encroach, on an area that is, or will be, required for a sewerage system or waste control system.</li> <li>It is ancillary to a dwelling erected on the site or a dwelling to be erected on the site in accordance with a development authorisation which has been granted.</li> <li>Allotment boundary setback - not less than 1m (other than a swimming pool safety feature).</li> <li>Primary street setback - at least as far back as the building line of the building to which it is ancillary.</li> <li>Location of filtration system from a dwelling on an adjoining allotment:               <ol style="list-style-type: none"> <li>not less than 5m where the filtration system is located inside a solid structure that will have material impact on the transmission of noise; or</li> <li>not less than 12m in any other case.</li> </ol> </li> <li>Does not involve the clearance of native vegetation.</li> <li>The development will not be located within the extents of the River Murray 1956 Flood Level as delineated by the SA Property and Planning Atlas</li> <li>Retains a total area of soft landscaping in accordance with (a) or (b), whichever is less:               <ol style="list-style-type: none"> <li>a total area as determined by the following table:                   <table border="1"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>201-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </tbody> </table> </li> <li>the amount of existing soft landscaping prior to the development occurring</li> </ol> </li> </ol>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	201-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
201-450	20%										
>450	25%										

	<div><div>10.</div><div>It does not involve filling of land more than 1m above the regulated surface level where located within the Tunnel Protection Overlay</div></div> <div><div>11.</div><div>It does not involve excavation or ground intruding activity more than 2.5m below the regulated surface level where located within the Tunnel Protection Overlay.</div></div>
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